



Corcoran City Council Agenda
September 26, 2024, 7:00 pm

1. **Call to Order / Roll Call**
2. **Pledge of Allegiance**
3. **Agenda Approval**
4. **Presentations**
 - a. Mark Reinking – 5 years (Public Works)
 - b. Joe Zerwas – 20 years (Public Safety)
 - c. Northland – Long-term Financial Plan
5. **Open Forum – Public Comment Opportunity**
6. **Consent Agenda**
 - a. Financial Claims September 26, 2024
 - b. 2023-05-11 DRAFT Council Minutes
 - c. 2023-08-24 DRAFT Council Work Session Minutes
 - d. 2023-08-24 DRAFT Council Minutes
 - e. 2023-09-14 DRAFT Council Work Session Minutes
 - f. 2023-09-28 DRAFT Council Minutes
 - g. 2023-10-12 DRAFT Council Minutes
 - h. 2023-10-12 DRAFT Council Work Session Minutes
 - i. 2023-10-26 DRAFT Council Minutes
 - j. 2023-10-26 DRAFT Council Work Session Minutes
 - k. 2023-11-06 DRAFT Special Council Meeting Minutes
 - l. 2023-11-09 DRAFT Council Minutes
 - m. 2023-11-20 DRAFT Council Minutes
 - n. 2023-12-18 DRAFT Council Minutes
 - o. REMOVED 2024-07-25 DRAFT Council Minutes
 - p. 2024-08-08 DRAFT Council Minutes
 - q. 2024-08-08 DRAFT Council Work Session Minutes
 - r. 2024-09-12 DRAFT Council Minutes
 - s. Heather Meadows Final Plat
 - t. Heather Meadows Early Grading
 - u. Upward Acres Final Plat
 - v. Upward Acres Early Grading
 - w. Slabaugh Preliminary Plat, Final Plat, and Variance
 - x. Tavera 7 FP/FPUD
 - y. Long-Term Financial Management Plan
 - z. Finance Director Services Contract
 - aa. IT Manager Job Description and Hiring
 - bb. Communications Specialist Job Description and Hiring
 - cc. Hennepin County Youth Sport Grant - Equipment
 - dd. Water Tower – Pay Request 14
 - ee. Water Tower – Pay Request 17
 - ff. Trail Haven Bridge Replacement – Pay Request 3 & FINAL
 - gg. NE Trunk Infrastructure improvements – Pay Request 1
 - hh. Water Treatment Plant – Pay Request 16

HYBRID MEETING OPTION AVAILABLE

The public is invited to attend the regular Council meetings at City Hall.

Meeting Via Telephone/Other Electronic Means

Call-in Instructions:

+1 312 626 6799 US

Enter Meeting ID: 821 6350 4979

Video Link and Instructions:

<https://us02web.zoom.us/j/84587541654>

visit <http://www.zoom.us> and enter

Meeting ID: 845 8754 1654

**Please note in-person comments will be taken at the scheduled meeting where noted. Comments received via email to City Administrator Tobin at jtobin@corcoranmn.gov or via public comment cards will also be accepted. All email and public comment cards must be received by the Wednesday prior to scheduled Council meeting.*

For more information on options to provide public comment visit:

www.corcoranmn.gov



Corcoran City Council Agenda
September 26, 2024, 7:00 pm

- ii. Stieg Road Improvements – Pay Request 1
- jj. Toward Zero Deaths Grant
- kk. ADDED Police Resignation and Hiring Process Authorization
- 7. Planning**
 - a. Public Hearing. Slabaugh Easement Vacation
 - b. Public Hearing. Heather Meadows 2nd Easement Vacation
 - c. Public Hearing. Hope Meadows ROW
 - d. Domino's
 - e. Schutte/Streeter Rezoning Concept
 - f. M&J Wine Tasting Room Concept Plan
- 8. Unfinished Business -- Public Comment Opportunity**
- 9. New Business – Public Comment Opportunity**
 - a. North Hennepin Pioneer Society Request for Funds in 2025
- 10. Council Reports**
 - a. Planning Project Update
- 11. 2024 City Council Schedule**
- 12. Closed Session**
 - a. City Center - Easement
- 13. Adjournment**

STAFF REPORT

Agenda Item 7a.

City Council Meeting: September 26, 2024	Prepared By: Natalie Davis McKeown
Topic: Slabaugh Addition Easement Vacation (PID 10-119-23-21-0013 and 10-119-23-21-0014) (City File No. 24-029)	Action Required: Decision

60-Day Review Deadline: October 11, 2024

1. Application Request

The applicant, Gideon Slabaugh, requests approval of a vacation of drainage and utility (D&U) easements that follow the perimeter of previously established lot lines.

2. Analysis

As a part of the Slabaugh Addition final plat, a condition of approval is to vacate D&U easements established with the previous plat – Ebert Addition. These easements are no longer necessary, and new perimeter D&U easements will be established in the new final plat. The final plat for Slabaugh Addition is on the consent agenda for the September 26, 2024, meeting. The easement vacation will be filed with the final plat that dedicates new perimeter easements.

3. Recommendation

Staff recommends approval of Resolution 2024-104 approving the easement vacation of Slabaugh Addition.

Attachments:

1. Resolution 2024-104 Approving the Easement Vacation for Slabaugh Addition (includes the Easement Vacation Exhibit).
2. City Engineer’s Memo Dated August 26, 2024.



Figure 1 Site Location

RESOLUTION NO. 2024-104

Motion By:
Seconded By:

A RESOLUTION VACATING DRAINAGE AND UTILITY EASEMENTS FOR “SLABAUGH ADDITION” ON THE PROPERTIES LOCATED AT 9925 EBERT ROAD AND 9945 EBERT ROAD (PID 10-119-23-21-0013 AND 10-119-23-21-0014) (CITY FILE NO. 24-029)

WHEREAS, Gideon Slabaugh (“the applicant”) requests vacation of drainage and utility easements located within the subdivision;

WHEREAS, the applicant requested vacation of the existing easements legally described as follows:

See Attachment A.

WHEREAS, the applicant requested vacation of the existing easements as depicted on Attachment B..

WHEREAS, notice of the Public Hearing was mailed to all landowners of property directly abutting the area to be vacated and to all utility companies serving the area;

WHEREAS, notice of the Public Hearing was published in the official newspaper;

WHEREAS, the City Council considered this time at a duly called Public Hearing;

WHEREAS, the City finds that the existing drainage and utility easements are no longer required as new easements will be dedicated with the plat for Slabaugh Addition; and

NOW, THEREFORE, BE IT RESOLVED that the Corcoran City Council approves the requested easement vacation, subject to the following conditions:

1. Approval of the vacation is contingent upon approval of the final plat for “Slabaugh Addition” and dedication of new easements.
2. The applicant must record this Resolution approving the vacation at Hennepin County.
3. Proof of recording must be submitted to the City.

VOTING AYE

- McKee, Tom**
 Bottema, Jon
 Lanterman, Mark
 Nichols, Jeremy
 Vehrenkamp, Dean

VOTING NAY

- McKee, Tom**
 Bottema, Jon
 Lanterman, Mark
 Nichols, Jeremy
 Vehrenkamp, Dean

RESOLUTION NO. 2024-104

Whereupon, said Resolution is hereby declared adopted on this 26th day of September 2024.

Tom McKee - Mayor

ATTEST:

Deb Johnson – City Clerk

City Seal

RESOLUTION NO. 2024-104

ATTACHMENT A

Easement Release Legal Description:

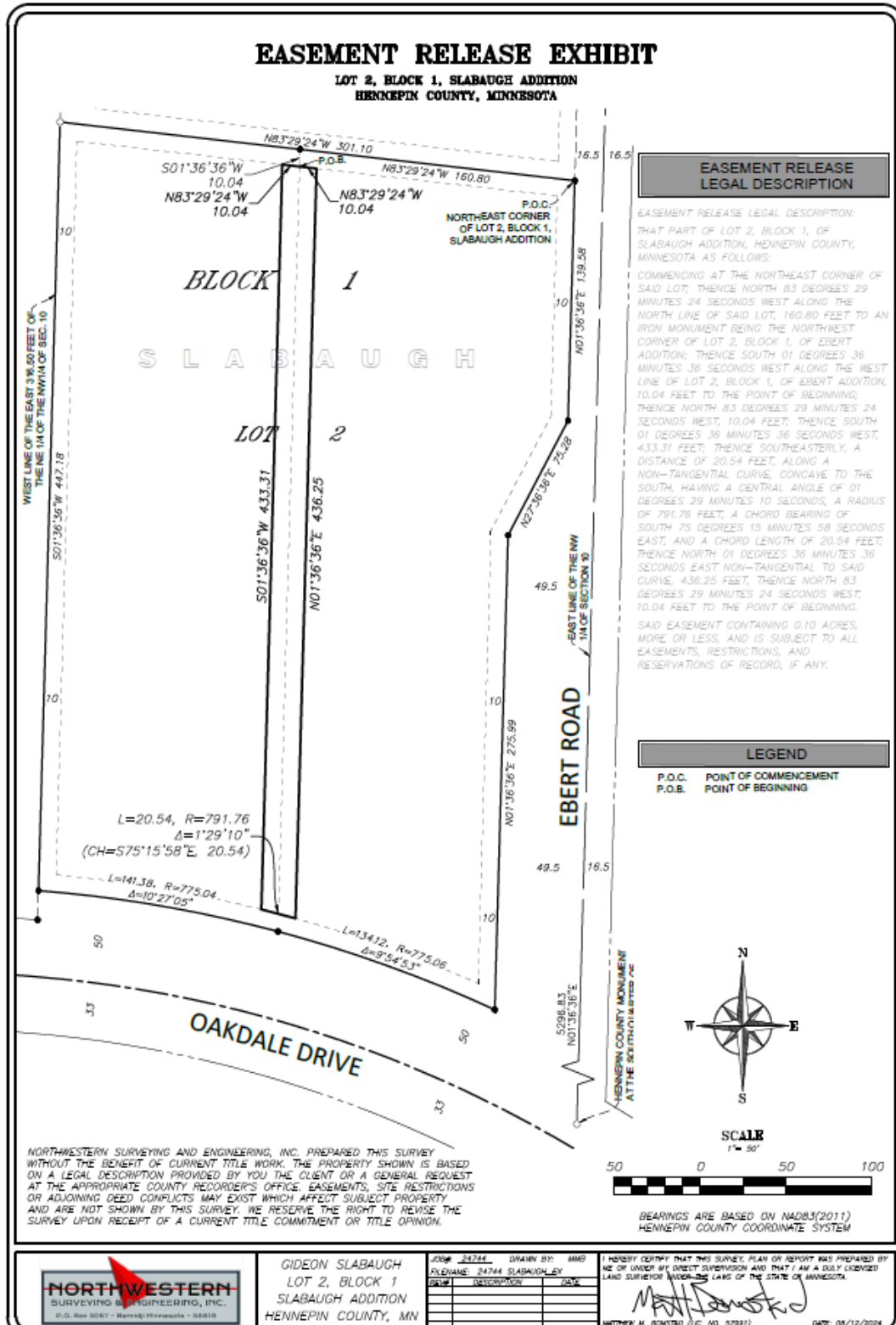
That part of Lot 2, Block 1, of Slabaugh Addition, Hennepin County, Minnesota as follows:

Commencing at the northeast corner of said lot; thence north 83 degrees 29 minutes 24 seconds west along the north line of said lot, 160.80 feet to an iron monument being the northwest corner of Lot 2, Block 1 of Ebert Addition; thence south 01 degrees 36 minutes 36 seconds west along the west line of Lot 2, Block 1, of Ebert Addition, 10.04 feet to the point of beginning; thence north 83 degrees 29 minutes 24 seconds west, 10.04 feet; thence south 01 degrees 36 minutes 36 seconds west, 433.31 feet; thence southeasterly, a distance of 20.54 feet, along a non-tangential curve, concave to the south, having a central angle of 01 degrees 29 minutes 10 seconds, a radius of 791.76 feet, a chord bearing of south 75 degrees 15 minutes 58 seconds east, and a chord length of 20.54 feet; thence north 01 degrees 36 minutes 36 seconds east non-tangential to said curve, 436.25 feet, thence north 83 degrees 29 minutes 24 seconds west, 10.04 feet to the point of beginning.

Said easement containing 0.10 acres more or less, and is subject to all easements, restrictions, and reservations of record, if any.

RESOLUTION NO. 2024-104

ATTACHMENT B



To: Kevin Mattson, PE Public Works
Director

From: Kent Torve, PE, City Engineer
Steve Hegland, PE, Client Manager

Project: Slabaugh Easement Vacation

Date: August 26, 2024

Summary

The vacation of the existing easement for Slabaugh plat has no impact on City infrastructure.

STAFF REPORT

Agenda Item 7b.

City Council Meeting: September 26, 2024	Prepared By: Natalie Davis McKeown
Topic: Heather Meadows 3 rd Addition Easement Vacation (PIDs 05-119-23-31-0001; 05-119-23-32-0001; 08-119-23-22-0011) (City File No. 24-032)	Action Required: Decision

60-Day Review Deadline:

November 3, 2024

1. Application Request

The applicant, Markus Lee of ML Unlimited LLC, requests vacation of drainage and utility (D&U) easements that follow the perimeter of previously established lot lines.

2. Analysis

As a part of the Heather Meadows 3rd Addition final plat, a condition of approval is to vacate previously established D&U easements established with Heather Meadows 2nd Addition. These easements are no longer necessary based on the new property lines. New perimeter D&U easements will be established in the new final plat. The final plat for Heather Meadows 3rd Addition is on the consent agenda for the September 26, 2024, meeting. The easement vacation will be filed with the plat that dedicates the new easements.



3. Recommendation

Staff recommends approval of Resolution 2024-100 approving the easement vacation for Heather Meadows 3rd Addition.

Attachments:

1. Resolution 2024-100 Approving the Easement Vacation for Heather Meadows 3rd Addition (including the Easement Vacation Exhibit).
2. City Engineer's Memo Dated September 11, 2024.

RESOLUTION NO. 2024-100

Motion By:
Seconded By:

A RESOLUTION VACATING DRAINAGE AND UTILITY EASEMENTS FOR “HEATHER MEADOWS 3RD ADDITION” ON THE PROPERTIES LOCATED NEAR OAKDALE DRIVE AND HEATHER LANE (PID 05-119-23-31-0001; 05-119-23-32-0001; AND 08-119-23-22-0011) (CITY FILE NO. 24-032)

WHEREAS, Markus Lee and ML Unlimited, LLC (“the applicant”) request vacation of drainage and utility easements located within the subdivision;

WHEREAS, the applicant requested vacation of the existing easements legally described as follows:

See Attachment A.

WHEREAS, the applicant requested vacation of the existing easements as depicted on Attachment B.

WHEREAS, notice of the Public Hearing was mailed to all landowners of property directly abutting the area to be vacated and to all utility companies serving the area;

WHEREAS, notice of the Public Hearing was published in the official newspaper;

WHEREAS, the City Council considered this time at a duly called Public Hearing;

WHEREAS, the City finds that the existing drainage and utility easements are no longer required as new easements will be dedicated with the plat for Heather Meadows 3rd Addition; and

NOW, THEREFORE, BE IT RESOLVED that the Corcoran City Council approves the requested easement vacation, subject to the following conditions:

1. Approval of the vacation is contingent upon approval of the final plat for “Heather Meadows 3rd Addition” and dedication of new easements.
2. The applicant must record this Resolution approving the vacation at Hennepin County.
3. Proof of recording must be submitted to the City.

VOTING AYE

- McKee, Tom**
- Bottema, Jon**
- Lanterman, Mark**
- Nichols, Jeremy**
- Vehrenkamp, Dean**

VOTING NAY

- McKee, Tom**
- Bottema, Jon**
- Lanterman, Mark**
- Nichols, Jeremy**
- Vehrenkamp, Dean**

RESOLUTION NO. 2024-100

Whereupon, said Resolution is hereby declared adopted on this 26th day of September 2024.

Tom McKee - Mayor

ATTEST:

Deb Johnson – City Clerk

City Seal

RESOLUTION NO. 2024-100

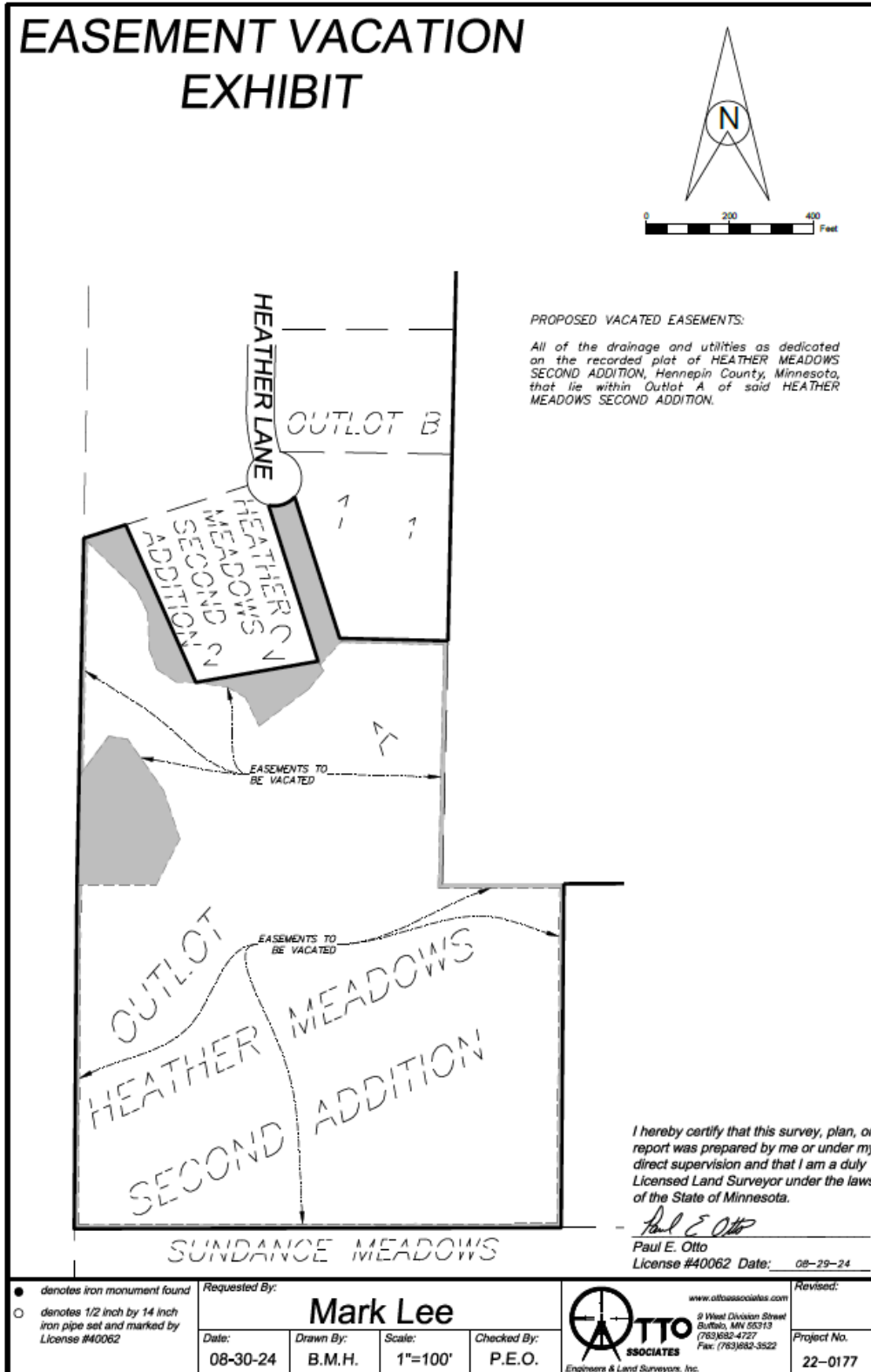
ATTACHMENT A

Legal Description of Easements to be Vacated:

All of the drainage and utilities as depicted on the recorded plat of HEATHER MEADOWS SECOND ADDITION, Hennepin County, Minnesota that lie within Outlot A of said HEATHER MEADOWS SECOND ADDITION.

RESOLUTION NO. 2024-100

ATTACHMENT B



To: Kevin Mattson, PE Public Works
Director

From: Kent Torve, PE, City Engineer
Steve Hegland, PE

Project: Heather Meadows 2nd Addition
Easement Vacation

Date: September 11, 2024

Summary

The vacation of the existing easements for Heather Meadows 2nd Addition has no impact on City infrastructure.

Necessary easements for the development will be dedicated with the Final Plat of 3rd Addition.

STAFF REPORT

Agenda Item 7c.

City Council Meeting: September 26, 2024	Prepared By: Natalie Davis McKeown
Topic: Hope Meadows Right-of-Way Vacation (City File No. 24-025)	Action Required: Decision

Review Deadline: October 7, 2024

1. Request

The applicant, Hope Community Development, LLC, requests a vacation of right-of-way (ROW) along Hunters Ridge and Oswald Farm Road. The existing ROW will ultimately be replaced with new ROW that will allow for the “Y” intersection to be improved to a four-way, 90-degree intersection.

2. Background

As part of the Hope Meadows final plat approved at the September 12, 2024, regular City Council meeting, a condition of approval required vacating existing ROW in favor of new ROW as shown on the final plat that will allow for an improved, four-way intersection entering into the neighborhood from County Road 116. The City Council initiated the ROW vacation process with the conditional approval of the final plat. A road easement will be placed over the existing roadway as an interim measure. Once the new intersection is fully constructed, the road easement can be vacated. The ROW vacation and road easement will be filed with the plat that dedicates the new easements.

3. Recommendation

Staff recommends approval of Resolution 2024-105 approving the ROW vacation for Hope Meadows. Because this is a ROW/road vacation initiated by the City, a super majority vote (4/5) is required for approval.

Attachments

1. Resolution 2024-105 Approving the Easement Vacation for Hope Meadows (including the ROW Vacation Exhibit).

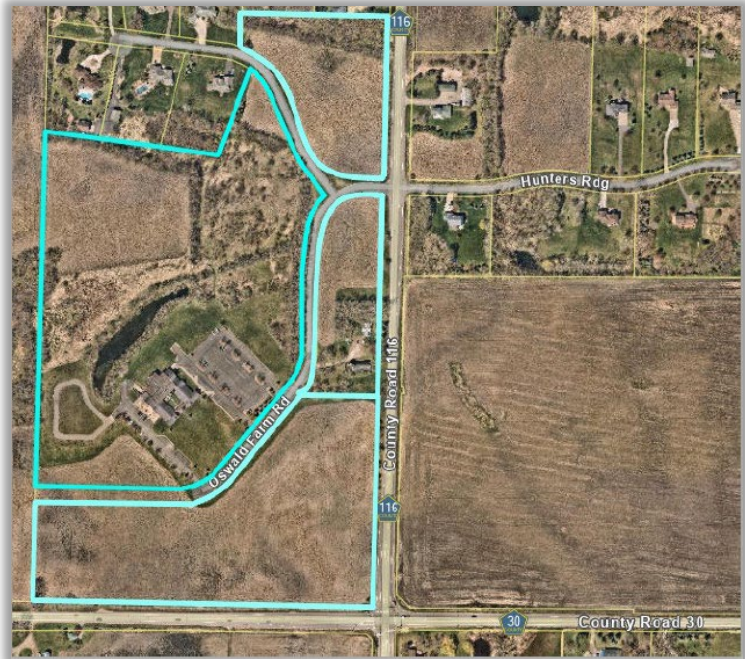


Figure 1 Site Location

2. City Engineer's Memo Dated September 17, 2024.

RESOLUTION NO. 2024-105

Motion By:
Seconded By:

**A RESOLUTION APPROVING VACATION OF DRAINAGE AND UTILITY EASEMENTS FOR
“HOPE MEADOWS” SUBDIVISION (CITY FILE NO. 24-025)**

WHEREAS, Hope Community Development, LLC (“the applicant”) requested approval of right-of-way vacation along Hunters Ridge and Oswald Farm Road within the subdivision;

WHEREAS, the applicant requested vacation of the right-of-way legally described and depicted as follows:

See Attachment A.

WHEREAS, the Corcoran City Council considered this item at a Public Hearing;

WHEREAS, notice of the Public Hearing was mailed to all landowners of property directly abutting the area to be vacated and to all utility companies serving the area;

WHEREAS, notice of the Public Hearing was published in the official newspaper;

WHEREAS, the City finds that the existing right-of-way is no longer required as new right-of-way will be dedicated to allow for an improved intersection with the plat for Hope Meadows; and

NOW, THEREFORE, BE IT RESOLVED that the Corcoran City Council approves the requested right-of-way vacation, subject to the following conditions:

1. Approval of the vacation is contingent upon approval of the final plat for Hope Meadows and dedication of new right-of-way and drainage and utility easements.
2. Approval of the vacation is contingent upon a road easement to cover the existing roadway which must remain in place until the new intersection and roadway is constructed.
3. The applicant must record the following with Hennepin County and provide proof of recording:
 - a. Resolution approving the vacation at Hennepin County.
 - b. Road Easement
4. The applicant must record the resolution approving the vacation with the final plat for Hope Meadows.

RESOLUTION NO. 2024-105

VOTING AYE

- McKee, Tom
- Bottema, Jon
- Lanterman, Mark
- Nichols, Jeremy
- Vehrenkamp, Dean

VOTING NAY

- McKee, Tom
- Bottema, Jon
- Lanterman, Mark
- Nichols, Jeremy
- Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this 26th day of September 2024.

Tom McKee - Mayor

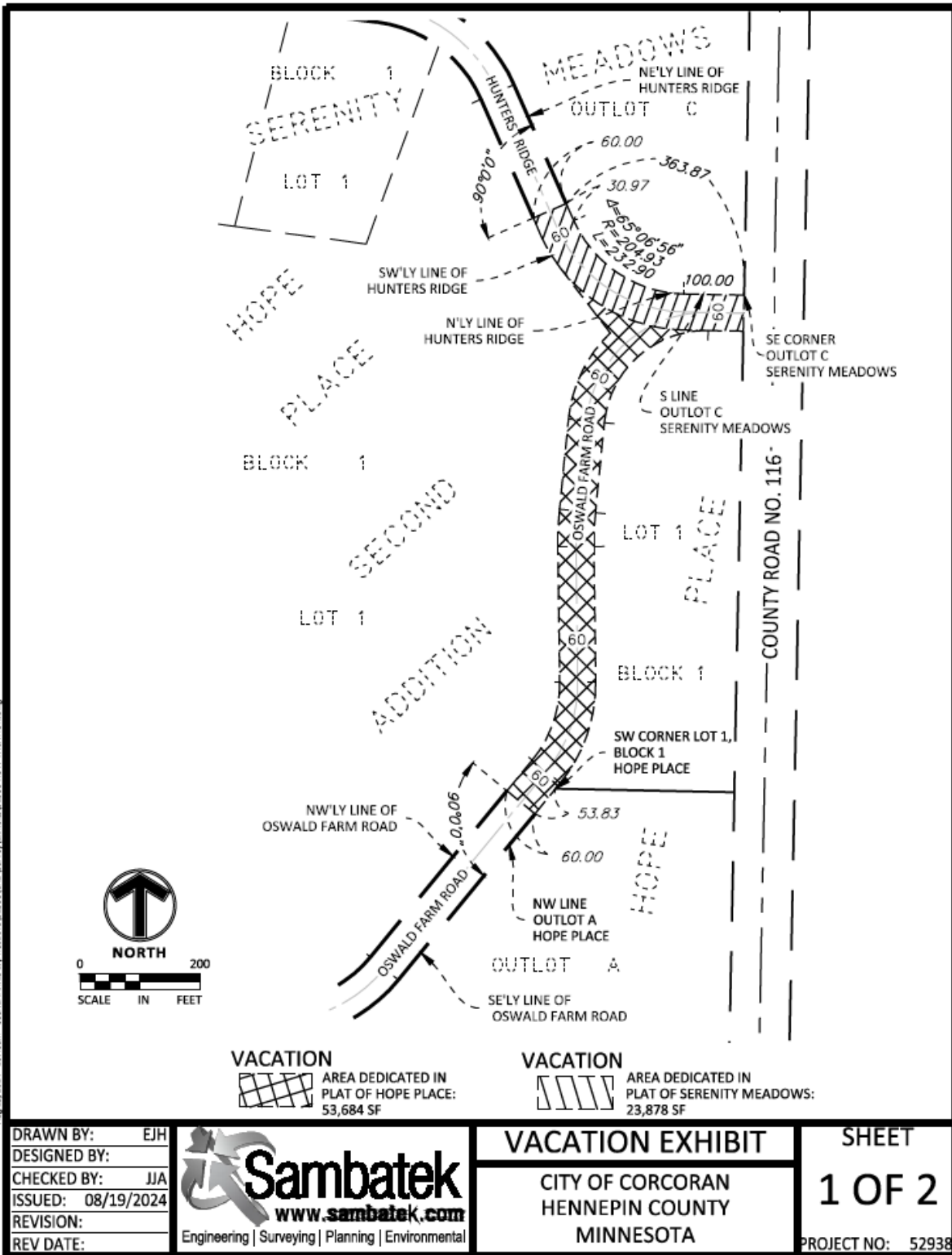
ATTEST:

Jason (Jay) Tobin

City Seal

RESOLUTION NO. 2024-105

ATTACHMENT A



Aug 30, 2024 - 10:43am - User: E:\HARRIS\PROJECTS\52938\CAD\Survey\Tch\hbs\52938-2024-VACATION.dwg

DRAWN BY: EJJ
 DESIGNED BY:
 CHECKED BY: JJA
 ISSUED: 08/19/2024
 REVISION:
 REV DATE:



Sambatek
 www.sambatek.com
 Engineering | Surveying | Planning | Environmental

VACATION EXHIBIT
 CITY OF CORCORAN
 HENNEPIN COUNTY
 MINNESOTA

SHEET
 1 OF 2
 PROJECT NO: 52938

RESOLUTION NO. 2024-105

VACATION DESCRIPTION

That part of Oswald Farm Road and that part of Hunters Ridge as dedicated in the recorded plat of HOPE PLACE, Hennepin County, Minnesota, lying northerly of the following described line:

Commencing at the southwest corner of Lot 1, Block 1 of said HOPE PLACE; thence southwesterly along the southeasterly right of way line of said Oswald Farm Road, a distance of 53.83 feet to the point of beginning of said line; thence deflecting to the right 90 degrees 00 minutes 00 seconds, a distance of 60.00 feet to the northwesterly right of way line of said Oswald Farm Road and there terminating.

Together with that part of Hunters Ridge as dedicated in the recorded plat of SERENITY MEADOWS, Hennepin County, Minnesota, lying southerly of the following described line:

Commencing at the southeast corner of OUTLOT C of said SERENITY MEADOWS, thence westerly and northwesterly along the northerly and northeasterly right of way line of said Hunters Ridge, a distance of 363.87 feet to the point of beginning of said line; thence deflecting to the left 90 degrees 00 minutes 00 seconds, a distance of 60.00 feet to the southwesterly right of way of said Hunters Ridge and there terminating.

2024-09-26 11:58:00 AM - 12:52:27 PM - 08/19/2024 - 08/19/2024 - 08/19/2024 - 08/19/2024

DRAWN BY: EJH	 Sambatek www.sambatek.com Engineering Surveying Planning Environmental	VACATION EXHIBIT	SHEET
DESIGNED BY:		CITY OF CORCORAN	2 OF 2
CHECKED BY: JJA		HENNEPIN COUNTY	PROJECT NO: 52938
ISSUED: 08/19/2024		MINNESOTA	
REVISION:			
REV DATE:			

To: Kevin Mattson, PE Public Works
Director

From: Kent Torve, PE, City Engineer
Steve Hegland, PE

Project: Hope Development Right of Way
Vacation

Date: September 17, 2024

Summary

We have no issues with the vacation of the existing Right of Way for the Hope Development.

Necessary easements and Right of Way for the development will be dedicated with the 1st Addition of the Hope Development.

STAFF REPORT

Agenda Item 7d.

Council Meeting: September 26, 2024	Prepared By: Dwight Klingbeil
Topic: Domino's Site Plan, Conditional Use Permit, and Variance 20115 and 20121 County Road 10 (PID 23-119-23-43-0003 & 23-119-23-43-0004) (City File No. 24-027)	Action Required: Recommendation

1. Application Request

Strack Construction Company on behalf of College Town Pizza requests approval of a Site Plan, Conditional Use Permit, and Variance for a take-out only Domino's pizza at 20115 and 20121 County Road 10.

2. Background

Concept Plan

Council reviewed a conceptual version of this application at the May 21, 2024, regular meeting. Council provided feedback on the color choice of the façade and expressed general support of a sign variance request to allow for additional wall signage in lieu of a freestanding sign.



Figure 1 Site Location

Lot Consolidation

The current condition of the site consists of two separate properties, 20115 County Road 10 (the former location of the 10-50 Club) and 20121 County Road 10 (the former location of the Corcoran Meat Locker). In order to develop a drive-through restaurant on this site, the applicant requested approval of a lot consolidation.

Section 926 of the City Code allows lot consolidations to be approved administratively. Staff reviewed the application and found that it satisfied the requirements for the consolidation. Staff administratively approved this portion of the request on July 16, 2024. The applicant must record the lot consolidation with Hennepin County for the approval to be finalized.

3. Planning Commission Review

The Planning Commission held a public hearing for the CUP and variance during a regularly scheduled meeting on September 5, 2024. Two members of the public spoke

during the public hearing, and expressed concerns regarding glare from vehicle headlights, noise pollution from vehicles, the size of the wall sign, and lack of screening.

The commission motioned to recommend approval of the site plan, CUP, and variance requests with the condition that trees along County Road 10 be shifted north to screen residential structures in the Rush Creek Reserve neighborhood. The Commission also expressed interest in exploring a mural-style wrap for the vinyl siding around the walk-in cooler.

4. Context

Zoning and Land Use

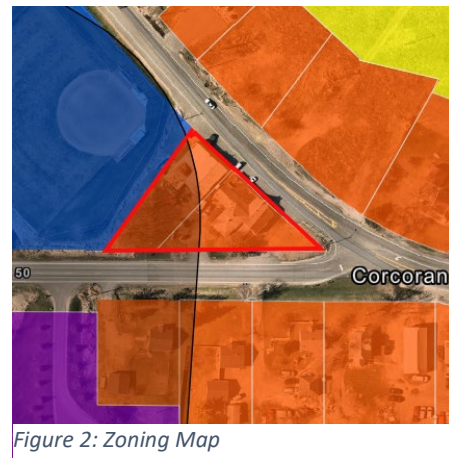
The two parcels, with a combined total 0.52 acres, are guided Commercial in the Comprehensive Plan and zoned Neighborhood Commercial (C-1). The property is in the Southeast District. The site includes the two buildings for the previous uses: the Corcoran Meat Locker and the 10-50 Club.

Surrounding Properties

The properties to the north, east and south are also guided Commercial and zoned C-1. The property to the west is the City Park, which is guided Parks/Open Space and zoned Public Institutional (P-I).

Natural Characteristics of the Site

The Comprehensive Plan identifies no significant natural features on site. However, the west parcel is entirely in the shoreland overlay district (unnamed creek Henn_9228, located on the park property) and a portion of the east parcel is also in the district.



5. Analysis

Staff reviewed the application for consistency with the Comprehensive Plan, Zoning Ordinance, and City policies. The City Engineer's comments are incorporated into this staff report, the detailed comments are included in the attached engineering memo, and the approval conditions require compliance with the memo.

A. Level of City Discretion in Decision-Making

The City's discretion in approving a site plan and conditional use permit is limited to whether the plan meets the standards outlined in the Zoning Ordinance. If it meets these standards, the City must approve the site plan and/or conditional use permit. The City has a higher discretion with a variance, as the burden of proof is on the applicant to show that the variance standards have been met. Conditions can be applied to mitigate the impact of granting the variance.

B. Consistency with Ordinance Standards

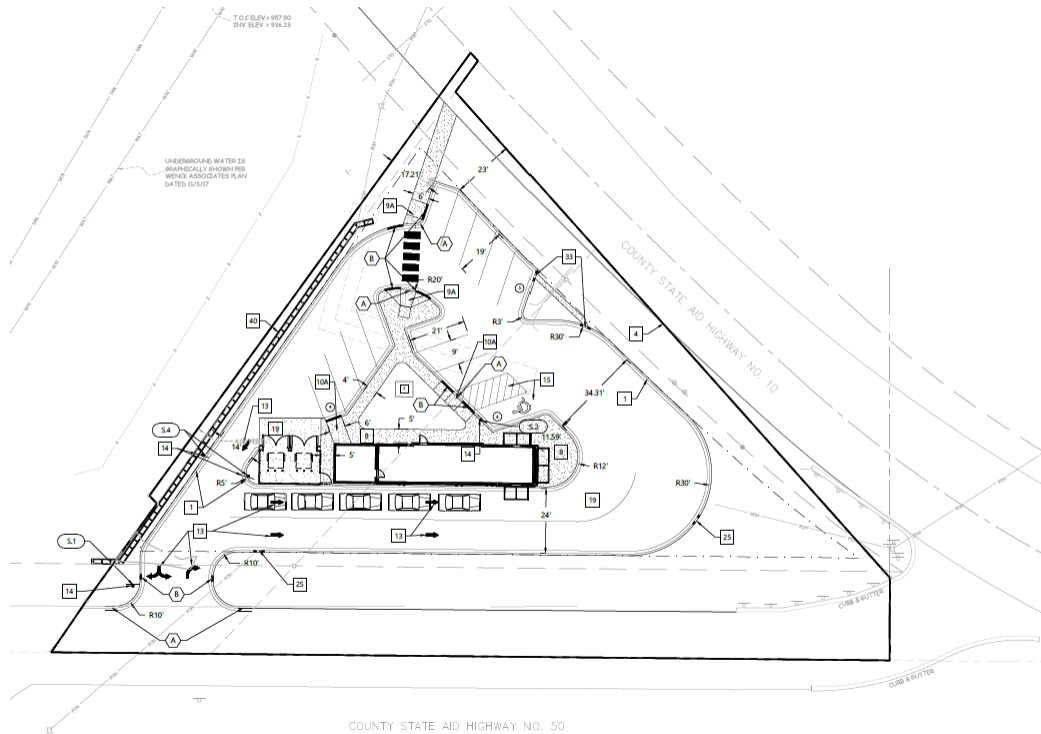


Figure 3: Site Plan

Site Plan

The request is for approval of a site plan for a take-out only Domino's restaurant in the C-1 district. The proposal includes a 1,125 square-foot building on a 0.52-acre lot, with a drive-through and off-street parking spaces.

Lot Analysis

Lot standards for the C-1 district are as follows:

Minimum lot area:	
Single-tenant building	25,000 square feet
Multi-tenant building	1 acre
Minimum lot width	100 feet
Minimum lot depth	200 feet
Minimum Principal Structure Setbacks:	
Front, From Major Roadways*	100 feet
Front, From all other streets	25 feet
Side	20 feet
Rear	20 feet
Adjacent to Residential	50 feet
Maximum Principal Building Height	35 feet

Maximum Building Size	50,000 square feet
Maximum Impervious Surface Coverage	80%

**Major Roadways are State Highways and County Roads.*

The existing lots do not comply with these standards and are legal, non-conforming. The combined lots will result in a 22,655 square-foot parcel excluding the right-of-way, that reduced the extent of nonconformity in minimum lot dimensions. The proposed impervious surface area would reduce the existing 19,469 square feet of impervious surface area (53.9% lot coverage) to 17,074 square feet (47.3% of lot coverage). Since the degree of nonconformities are decreased by these changes, a variance is not needed.

Location and Building Setbacks

The proposed building is setback 30 ft from the south property line (along County Road 50) and 51 ft from the northeast property line (along County Road 10). The proposed setbacks along both County Roads do not comply and will require a variance from these standards since this is a new building. The setback from the northwest property line is 46 ft, which complies with the minimum rear setback of 20 ft and eliminates the building encroachment onto the City Park parcel.

Parking lot drive aisles are subject to a 100-foot setback from County Road frontages (this can be reduced to 25 ft with additional landscaping) and a 10-foot setback from interior property lines. The drive aisle for the parking lot is setback 5 ft from all sides of the property. There is off-street parking located on the northeast and northwest portion of the property. The parking spaces are setback from the interior northwest property line by 22.6 ft. However, the parking on the northeast portion of the site only has a 5-foot setback from the road easement. A variance is required to allow the drive aisle and parking as shown.

Building Size, Height, and Architecture

The site currently consists of two structures that have a cumulative footprint of roughly 7,194 sq. ft. The applicant plans to demolish these two structures and construct a 1,120 sq. ft. building.

The design for the building plan features a flat roof with three staggered heights. At its tallest point it is 20 ft, which complies with the 35 ft height limit for the C-1 district.

The building is unique as there is no customer access to the building. Customers will either approach the drive-through on the south or the walk-up



Figure 4: Building Rendering

window on the north. The building materials consist of coal colored stone, prefinished slate lap siding, metal accents, black fiber cement siding, and vinyl siding around the cooler. City Code allows for stone, lap siding, and fiber siding for building materials. City Code also allows for metal siding so long as it does not exceed 20% wall coverage in non-residential districts. Other materials may be allowed if deemed appropriate by the Zoning Administrator. This includes the vinyl siding around the walk-in cooler. Staff found this to be an appropriate material, but the Planning Commission discussed the potential of approving this material with a mural-style wrap over the vinyl siding. The applicant provided a sample image from a similar cooler for the Council's consideration. Overall, the proposed materials comply with City standards.

Parking & Drive Aisle

Under Section 1060 of the Zoning Ordinance, the minimum number of parking stalls required for a restaurant with a floor area of 963 sq. ft. is 8 parking stalls. The site plan shows 13 parking stalls, which complies with the minimum requirements of the zoning ordinance. However, the submitted plans do not comply with the minimum dimension requirements for parking stalls. The parking stalls on site have an angle of 60 degrees, which requires a stall width of 10.33 ft, line length of 22 ft, stall depth of 19 ft, and a drive aisle width of 16 ft. The plans submitted by the applicant show parking stall dimensions of 9 ft, stall length of line of 21 ft, dimension the parking stall width of 9 ft, stall length of line of 21 ft, and a drive aisle that is less than 16 ft. in certain spots. A variance is required to allow the proposed parking dimensions.

Access

The plan shows a single access point onto County Road 10. This replaces two existing access points on County Road 10 and two on County Road 50. Additionally, the proposal will remove on-street parking on County Road 10 and provide off-street parking for employees and customers. An infrastructure feasibility study for this project was completed in June of this year. This study found that the consolidation of access points was a significant improvement over the current conditions of the site. Additionally, with County Road 50 having a stopped condition at the intersection with County Road 10, it is the preferred street for the entrance location.

The site does not offer much space for vehicles to queue in line for the drive-through. However, unlike the typical drive-through, the proposed restaurant would not allow drive up orders and would require all orders to be placed ahead of time. Because of this, staff does not anticipate queuing to be a concern for this type of use. Hennepin County will ultimately control and permit the access to the site.

Lighting

Section 1060.040 of the City Code restricts the maximum glare of lighting fixtures to 1 foot-candle as measured from the property line. The revised photometric plan complies

with this standard, and all glare at and beyond the property line is less than 1 foot-candle.

The applicant provided a specification for the lighting fixtures used on the site. Code requires light fixtures and freestanding luminaries to have a cutoff angle that is 90 degrees or less. The spec sheet provided complies with this standard. Additionally, the height limit of freestanding luminaries cannot exceed a height of 30 ft or the height of the roofline, whichever is less. The building is shown to be 20 ft. at its highest point. Therefore, exterior lighting cannot be taller than 20 ft. The submitted spec sheet indicates freestanding light poles with a height of 18 ft, which complies with this standard.

Landscaping

The site is subject to the landscape standards in Section 1060.070 which requires the following:

- One overstory tree per 1,000 sq. ft. of gross building floor area or one tree per 50 lineal ft. of site perimeter, whichever is greater. *The site perimeter is 740 ft., which would require 15 overstory trees to be planted on site. The plan shows 22 overstory trees.*
- One understory shrub for each 300 sq. ft. of building or one tree per 30 lineal ft. of site perimeter, whichever is greater. *The site perimeter is 740 ft., which would require 25 shrubs to be planted. The plan shows a total of 35 understory shrubs.*

Of the trees planted, code requires no more than 33% of the required number of trees to be one species. The revised landscaping plan breaks down the quantity of each species of coniferous and deciduous overstory trees. In total, there are four species of overstory trees being planted: 5 Black Hills White Spruce, 6 Sugar Maple, 6 Birch, and 5 Honey Locusts. None of the planned species exceed 33% of the required number of trees.

The minimum plant size requirements for shrubs shall be 3-4 ft. high. The revised landscaping plan includes 31 shrubs that would comply with this height requirement.

The Planning Commission recommended approval of the variance requests with the condition that trees along County Road 10 be shifted northwesterly, to provide additional screening to the Rush Creek Reserve neighborhood. Rather than shifting trees along County Road 10, the applicant revised their landscaping plan to plant additional 4 overstory trees and 4 additional understory shrubs to provide the additional screening.

Signage

The applicant submitted two sign plans for the site. The first sign plan includes a 32 sq-ft tile and a 55.49 sq ft sign on the north façade of the building. These signs would cover 7.2% of the wall face, where 10% is allowed. Additionally, Sign Plan Option 1 also includes a 64 square foot, 16' tall freestanding sign on the corner of County Road 50 and County Road 10. Code allows a freestanding sign on the site, but this creates a less-than-ideal situation near the corner of two County Roads.



Figure 5: Freestanding sign from option 1

Alternatively, the applicant submitted an additional sign plan, which removes the freestanding sign, reduces the area of the wall signs on the north façade to 44.5 square feet (3.66% of building face), and adds wall signs on the south (44.5 square feet, 3.66% of building face) and east (15.76 square feet or 5.32% of building face) facades. Chapter 84 of the City Code only allows an individual wall sign on the primary face of the building, so this alternate sign plan would require approval of a variance from these standards.



Figure 6: Requested wall sign flexibility from option 2

Grading and Drainage

City Engineers had a chance to review the submitted grading plan and have incorporated their comments into the attached staff report. In their review, they recommended that that drainage swales maintain a minimum slope of 2%. The grading shown in the swale on County Road 50 is shown to be 1.31%, engineers recommend incorporating an additional drain tile for these flatter areas. It was also noted that the drainage along County Road 10 will need to be reviewed more extensively, as the area appears to be flat and may trap water. The complete analysis of the grading and drainage of this proposal can be found in the engineering memo dated August 22, 2024.

Refuse

Section 1060.020 requires all exterior storage of trash/garbage to be in an accessory building enclosed by walls and roof or in closed containers within a totally screened area. The applicant's site plan and renderings include a trash enclosure west of the

building with doors facing north. This complies with the applicable screening requirements for refuse.

Conditional Use Permit to allow a Drive-Through business

Drive-through businesses are allowed as a conditional use in the C-1 district. Section 1070.020 of the Zoning Ordinance outlines general evaluation criteria for CUPs. In order to grant a CUP, the CUP standards of Section 1070.020 Subd. 3 must be met:

- a. *Compliance with and effect upon the Comprehensive Plan, including public facilities and capital improvement plans.*

Granting the CUP for a new take-out only Domino's restaurant aligns with Goal 3 of the Land Use Chapter in the 2040 Comprehensive Plan, which is to create new land use opportunities to expand and diversify the City's tax base by encouraging new commercial development.

- b. *The establishment, maintenance, or operation of the conditional use will promote and enhance the general public welfare and will not be detrimental to or endanger the public health, safety, morals, or comfort.*

The establishment, maintenance, or operation of the use will promote and enhance the public welfare as it will revitalize a neighborhood commercial site at the intersection of two county roads.

The use also provides several improvements compared to the current site. The requested use would eliminate on-street parking along County Road 10, eliminate non-conforming building setback from the northwestern property line, and would eliminate building encroachment onto City Park property.

- c. *The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.*

Assuming the recommended conditions of approval are adopted, staff does not find reason to believe the CUP for the drive-through would be injurious to the use and enjoyment of the surrounding properties for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

- d. *The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*

The establishment of the conditional use will likely not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

- e. *Adequate public facilities and services are available or can be reasonably provided to accommodate the proposed use.*

Adequate public facilities are available to accommodate the proposed commercial use as confirmed in the feasibility study completed for the project. The applicant shall be responsible for improvements to accommodate the site.

- f. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

The site generally conforms to the applicable regulations of the C-1 district. While variances are requested and required, the proposed use will allow for several improvement to the existing conditions on a site that is challenging due to its triangular shape and county road frontages on two of three sides. Additionally, the direct access on to a County Road is ideal for the proposed use.

- g. *The conditional use and site conform to performance standards as specified by this Chapter.*

The conditional use and site generally conform to the performance standards found within the Zoning Ordinance. Areas of the site that do not conform to required performance standards will need to be addressed with a variance. A condition of approval for the CUP is that the proposed variances are either granted or plans must be revised to conform to the Ordinance as written.

In addition to the CUP standards, drive-through businesses must also comply with the standards found in Section 1060.060 Subd. 12:

- a. *The business shall be located on a site with direct access to a minor arterial street, collector or service road.*

The business will have direct access to County Road 50, which is a minor connector road and meets this standard.

- b. *Drive-Through Lanes: Drive-through or drive-in lanes are not allowed between the building and a lot line that faces a public street. This does not pertain to driveways.*

The proposed drive-through is in between the building and a public street, and will require approval of a variance.

- c. *All portions of the business with drive through facilities, including but not limited to, the building in which they are located, service windows and stacking spaces, shall be separated from residentially zoned or guided property by an arterial or collector street or shall be set back at least 300 feet from residentially zoned or guided property.*

All portions of the business will be setback at least 300 feet from any residentially zoned or guided property.

- d. *The public address or order system shall not be audible from any adjacent residentially zoned or guided property.*

This type of drive-through does not have a public address system, as orders are placed ahead either online or over the phone.

- e. *Adequate stacking distance shall be provided as determined by the City Engineer, which does not interfere with other driving areas, parking spaces, or sidewalks. Stacking spaces shall not interfere with parking spaces or traffic circulation.*

The infrastructure feasibility study notes that the business plan requires users to place orders ahead from their phone prior to picking up the order. This will result in vehicles not needing to queue to order. The stacking space provided does not interfere with other driving areas, parking spaces, or sidewalks.

- f. *The applicant shall demonstrate that such use will not significantly lower the existing level of service on streets and intersections.*

Staff has no reason to believe the use will significantly lower the existing level of service on streets and intersections.

- g. *Screening shall be provided of automobile headlights in the drive-through lane to adjacent properties. Such screening shall be at least three feet (3') in height and fully opaque, consisting of a wall, fence, dense vegetation, berm, or grade change.*

The landscaping plan provided shows a sufficient amount of trees and shrubs to screen vehicle headlights at the intersection of County Road 50 and County Road 10. However, the applicant must revise these plans to include a different species of coniferous shrubs to meet the minimum height requirement for this screening.

- h. *A bypass lane shall be provided for each drive-through use, allowing cars to leave the drive-through lane from the stacking area.*

A bypass lane is provided for vehicles to drive around any vehicle queued to pick up their order.

Variance for reduced building, parking and drive-aisle setbacks

The required building, parking and drive-aisle setbacks along major roads in the C-1 district is 100 feet. The applicant requested a variance to allow a 30-foot and 50-foot building setback, as well as a 5-foot parking & drive-aisle setback. The burden of proof is on the applicant to show that all variance standards from Section 1070.040, Subd. 2(B) are met with their request.

- A. *That there are practical difficulties in complying with the Zoning Ordinance.*
- B. *That the conditions upon which a petition for a variation is based are unique to the parcel of land for which the variance is sought and were not created by the landowner.*
- C. *That the granting of the variation will not alter the essential character of the locality.*
- D. *The proposed variance would be in harmony with the general purposes and intent of the ordinance.*
- E. *The variance is consistent with the Comprehensive Plan*
- F. *The City may impose conditions on the variance to address the impact of the variance.*

There are practical difficulties in complying with the Zoning Ordinance. The site itself is unique in its shape, as two of its three lot lines front a county roadway. The setback from frontages along major roadways in the C-1 district is 100 ft. At its widest point, the site is 198 ft. wide. This means that the minimum setbacks from each frontage overlap one another, resulting in no buildable space on the site. While the City has a clause that allows setbacks to be reduced with additional landscaping, there is not enough space on the site to accommodate additional landscaping. These conditions are unique to this parcel and were not created by landowners nor the applicant.

The granting of the variation will not alter the essential character of the locality, as it would allow the applicant to develop a commercial site on the subject property. This is consistent with the previous use, as well as the guided use in the comprehensive plan.

The proposed variance would be in harmony with the general purposes and intent of the ordinance. The intent of the C-1 district is to provide establishment of single and multi-use commercial buildings at major intersections on small neighborhood scale sites where public sewer is available. The request would allow the applicant to develop a commercial restaurant at the intersection of two county roads, which is consistent with the purpose and intent of the ordinance.

Variance for Drive-through between the building and County Road 50.

Section 1060.060 of the Corcoran City Code prohibits placing drive-through lanes between a building and a lot line that faces a public street. The applicant is requesting approval of a variance from this standard to allow the installation of a drive-through lane on the south side of the property, between the building and County Road 50. Similar to the setback variance request, the burden of proof is on the applicant to show that all variance standards from Section 1070.040, Subd. 2(B) are met with their request.

There are practical difficulties in complying with the Zoning and Subdivision Ordinance standards. The site is unique as it only has one lot line that does not face a public street. The site is also limited by where the County is willing to permit access, and the location shown was set through discussions with the County. To allow for stacking, the drive aisle must wrap around the building. While it may be possible to install a drive-through lane on the west side of the property, this would create two possible conflicts with the zoning ordinance. If vehicles in the drive-through are oriented south toward County Road 50, vehicle headlights in the drive-through will shine onto the public road where the access is located. This would violate the standard in code which requires vehicle headlights in drive-throughs to be blocked by screening of a height of at least 3 ft. If the vehicles in the drive-through are oriented north, this may cause a stacking issue for the drive-through lane.

The granting of this variation will not alter the essential character of the locality. The proposed variance would be in harmony with the general purposes and intent of the ordinance, as it would allow for a commercial drive-through business in the C-1 district. The variance would allow for development of the site in a manner that is consistent with the commercial uses anticipated in the Comprehensive Plan. The landscaping plan shows landscaping between the drive aisle and County Road 50 to mitigate the impact of locating the drive-through lane between the street and the building.

Variance for increased wall signage

Chapter 84 of the City Code allows for a single wall sign on the primary entrance and a single freestanding sign, which cannot exceed 64 sq. ft. in copy area and 16 ft. in height. Due to the narrowness of the site, and the possibility of additional right-of-way being taken during future intersection improvement projects, the applicant is requesting

a variance from the wall sign limitation to allow wall signage on multiple faces of the building in lieu of a freestanding sign. Again, the burden of proof is on the applicant to show that all variance standards from Section 1070.040, Subd. 2(B) are met with their request.

There are practical difficulties complying with the sign standards on this site. Due to site size and location of the site, it is difficult to erect a freestanding sign that is not in the site visibility triangle for the intersection of County Road 50 and County Road 10. These conditions are unique to this site and were not created by the landowners nor the applicant. In order to have an adequate means of business identification, the applicant requests approval of wall signage on multiple faces of the building in lieu of a freestanding sign.

Staff has no reason to believe the granting of this variation will alter the essential character of the locality. The proposed variance would be in harmony with the general purposes and intent of the ordinance as it would provide an adequate means of business identification, while protecting the safety and welfare of the public by minimizing freestanding signs that would otherwise be hazardous to vehicles and pedestrians.

The City may impose conditions to prevent any unsightly and chaotic signage on the site. These conditions may include sign copy area, brightness, quantity of wall signs and logo tiles, and restrictions on freestanding signs.

Variance from Minimum Parking Dimension Requirements

Section 1060.060 of the Corcoran City Code requires parking stalls with angles of 60 degrees to have the following minimum dimensions: 10.33 ft. stall width parallel to aisle, 22 ft. stall length of line, 19 ft. stall depth, and a 16' aisle width. The applicant is requesting a variance from these standards to allow for a 9 ft. stall width, a 21 ft. length of line, and a minimum drive aisle of 13 ft. in certain spots.

There are practical difficulties in complying with the Zoning and Subdivision Ordinance standards. The site is unique in its size and shape, which creates challenges in site layout while maintaining other requirements. The unique shape and size of the site was not created by the landowner or applicant.

The granting of the variance will not alter the essential character of the locality, as it is improving the parking conditions of existing nonconforming parking spaces. The proposed variance is in harmony with the general purposes of the ordinance. The proposed variance does not conflict with the Comprehensive Plan, as would provide a sufficient amount of parking for a commercial use on a site that is guided for commercial use.

There are several conditions of approval to be added with this variance. The applicant shall provide plans that clearly dimension the drive aisle width at its most narrow point for all three sides of the site. Based on staff measurements, at the narrowest points, the

drive aisle width on the northeast side of the property is 15 ft., and the drive aisle width on the northwest side of the property is 13 ft. It is worth noting that the traffic flow on the site will be one-way. Staff has researched other parking design guides, and it is not unheard of for drive aisles to be this narrow in one-way lots. With the consideration of the one-way traffic flow and the difficult site constraints, staff is comfortable allowing for the variance with a condition of approval that the drive aisle on the northeast portion of the property must be at least 15 ft wide.

The parking stalls on the northwest side of the property are measured at roughly 55 degrees. Code allows for a minimum drive width of 12 ft. for parking stalls angled at 45 degrees. With consideration of the site constraints, the one-way traffic, and the parking angle between 45 and 60 degrees, staff is comfortable allowing the variance reducing the drive aisle width on this side to 13 ft. with a condition of approval that the drive aisle width on this side of the property by at least 13 ft. wide.

Most of the stalls had a width of 9 ft. Staff is comfortable allowing a stall width of 9 ft for parking at the proposed angles. Staff noted at least two stalls that were narrower than that. A condition of approval should require any stall that is less than 9 ft wide be marked as a compact parking spot. Any compact parking spaces shall comply with the compact parking standards found in Section 1060.060 Subd. 4(C.3). Summary

Staff reviewed the plans with the applicable standards outlined in the Comprehensive Plan and Zoning Ordinance and finds that the variance standards have been met and recommends approval.

However, the Planning Commission can add conditions of approval to mitigate the impact of granting the variances or recommend denial should the Commission find the variance standards have not been met.

6. Recommendation

Move to recommend approval of the resolutions approving the site plan, conditional use permit, and the variance requests.

Attachments:

1. Resolution 2024-108 Approving the Site Plan & Conditional Use Permit
2. Resolution 2024-109 Approving the Variance from the setback standards and the sign standards
3. Engineering Memo dated August 22, 2024
4. Public Safety Memo dated August 7, 2024
5. Applicant Narrative
6. Civil Plans dated September 16, 2024
7. Building Renderings dated July 3, 2024
8. 911/Emergency Services Exhibit dated July 25, 2024
9. Sign Plan option 1 & 2
10. Vinyl Siding Wrap Example

RESOLUTION NO. 2024-108

Motion By:
Seconded By:

A RESOLUTION APPROVING A SITE PLAN AND CONDITIONAL USE PERMIT FOR A DRIVE-THROUGH/WALK-OUT ONLY DOMINO’S PIZZA RESTURANT ON THE NORTHWEST CORNER OF COUNTY ROAD 50 & COUNTY ROAD 10 (PID 23-119-23-43-0004 & 23-119-23-43-0003) (CITY FILE NO. 24-027)

WHEREAS, Strack Construction, Co. Inc. and College Town Pizza (“the applicant”) requests approval of a site plan and conditional use permit for to develop a drive-through and walk-out only Domino’s Restaurant, a commercial development on property legally described as follows:

See Attachment A

WHEREAS, the Planning Commission reviewed the plan at a duly called Public Hearing and recommends approval;

NOW, THEREFORE, BE IT RESOLVED that the Corcoran City Council approves the request for a site plan and conditional use permit, subject to the following conditions:

1. A site plan and conditional use permit are approved to allow for the construction of building addition as shown on the application received by the City on June 27, 2024 and revisions received on September 16, 2024, except as amended by this resolution.
2. Approval is contingent upon City Council approval of the variance request to allow a drive-through to face the public street, reduced structural setbacks, and reduced parking setbacks for Domino’s. Otherwise plans shall be revised to conform to zoning standards.
3. Stormwater plans must be approved by Elm Creek Watershed Management Organization.
4. A conditional use permit is approved to allow a drive-through business, subject the following conditions and findings:
 - a. Applicable criteria are satisfied as outlined in Section 1060.060 Subd. 12 (Drive Through Business).
 - i. The business will have direct access to a minor collector street.
 - ii. The business must receive approval of a variance to install a drive-through lane facing a public street or submit revised plans to comply with this standard.
 - iii. All portions of the business are setback at least 300 ft. from residentially zoned or guided property.
 - iv. The business will not have an order system that is audible from adjacent residentially zoned or guided property.
 - v. Adequate stacking space is provided for an order-ahead drive-through business.
 - vi. There is no reason to believe that the use will significantly lower the existing level of service on streets and intersections.

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- vii. Sufficient screening of automobile headlights in the drive-through will be provided based on the landscape plan submitted on July 3, 2024.
 - viii. A bypass lane has been provided for the drive-through, allowing cars to leave the drive-through lane from the staking area.
- b. Applicable criteria are satisfied as outlined in Section 1070.020 (Conditional Use Permits) of the Corcoran Zoning Ordinance.
- i. The use complies with the Comprehensive Plan, including public facilities and capital improvement plans. Granting the conditional use permit will create new land use opportunities to expand and diversify the City’s tax base by encouraging new commercial development. This satisfies Goal 3 of the Land Use chapter in the 2040 Comprehensive Plan.
 - ii. The establishment, maintenance, or operation of the use will promote and enhance the public welfare as it will revitalize a neighborhood commercial site that is located at the intersection of two county roads that are currently unused. Additionally, consolidation of access points and removal of on-street parking on County Road 10 would be beneficial to traffic safety in the area and would enhance the general public welfare.
 - iii. The drive-through business will not be injurious to the use, enjoyment, and property values of surrounding properties. The City does not have reason to believe the drive-through business would be injurious to the use and enjoyment of the surrounding properties for the purposes already permitted in the C-1 district, nor substantially diminish or impair property values within the neighborhood.
 - iv. The establishment of the drive-through business with the above listed conditions will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.
 - v. Adequate public facilities can be reasonably provided to accommodate commercial use as confirmed in the feasibility study completed for the project. The applicant shall be responsible for improvements to accommodate the site. Reasonable modifications to the site design as required above will allow for emergency services to navigate the site.
 - vi. The conditional use conforms or can reasonably conform with modifications included as conditions of approval, to the regulations of the C-1 zoning district and the Southeast District.
 - vii. The commercial kennel and site can reasonably conform to performance standards as specified by the Zoning Ordinance with required modifications to the submitted plans.
5. Trees, shrubs, curb, retaining walls and other private improvement shall be located outside of the public street easement and drainage and utility easement.

RESOLUTION NO. 2024-108

- a. If the City determines that encroachments are necessary, the applicant will be required to enter into an encroachment agreement with the City.
6. Any signage not in compliance with the standards in Chapter 84 of the City Code must receive approval of a variance from City Council and a sign permit for each sign prior to construction of the signs.
7. Prior to approval of the building permit, the plans must be revised to show the following:
 - a. The landscaping plan must be modified to relocate the furthest south-west proposed tree to a minimum distance of 10' from sanitary sewer alignment.
 - b. Show vehicle tracks and vehicle swing separately on turning movement.
 - c. Grading plan must be modified to contain the following:
 - i. Clearly labeled EOF's for all areas where water will be collected including all low areas in roadways and greenspaces.
 - ii. Calculations for pipe capacity shall be provided to ensure a larger size isn't necessary.
 - iii. Drainage along County Road 10 appears to be flat and may trap water.
 - d. Design and certification of all retaining walls exceeding 4' in height.
 - e. Detail of curb with concrete swale.
 - f. On construction drawings, show pedestrian ramp designs for the site including spot elevations of landings and curb lines.
 - g. Water and Sanitary Sewer
 - i. Profile views for all utilities shall be provided with construction drawings.
 - ii. Move water service to the property lot line and confirm if the shutoff will be a gate valve or more likely a curb stop.
 - h. Typical section for parking lot
 - i. Placement of mechanical equipment and/or utility service structures.
 - i. These items must be screened in compliance with Section 1060.030
13. The applicant must either enter into an encroachment agreement for any improvements located within the County right-of-way.
14. The applicant must connect to municipal sanitary sewer.
15. As part of the application, the applicant must enter into a Site Improvement Performance Agreement to cover the public and private improvements for the project. This must be executed by the developer and the City, financial guarantees in place and fees paid.

RESOLUTION NO. 2024-108

- 16. A building permit is required prior to beginning construction.
- 17. FURTHER, the following conditions must be met prior to issuance of building permits:
 - a. Record the approving final plat, resolutions and associated documents with Hennepin County and provide proof of recording to the City.
 - b. The applicant shall submit any and all necessary permits to the watershed and receive approval and provide proof of permits to the City.
 - c. Plans must be submitted to confirm the metal roof material for the front porch overhang meets the following standards:
 - i. Compliance with the MN State Building Code.
 - ii. Has a high-quality commercial thickness/weight.
- 18. FURTHER, the following conditions must be met prior to release of remaining escrow:
 - a. Any request for the City to inspect the required landscaping in order to reduce financial guarantees must be accompanied by recertification/verification of field inspection by the project Landscape Architect. A letter signed by the project Landscape Architect verifying plantings (including wetland and pond buffers) have been correctly installed in compliance with the plans and specifications will suffice.
- 19. Approval shall expire within one year of the date of approval unless the applicant commences the authorized use and completes the required improvements.

RESOLUTION NO. 2024-108

VOTING AYE

- McKee, Tom
- Bottema, Jon
- Lanterman, Mark
- Nichols, Jeremy
- Vehrenkamp, Dean

VOTING NAY

- McKee, Tom
- Bottema, Jon
- Lanterman, Mark
- Nichols, Jeremy
- Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this 26th day of September 2024.

Tom McKee - Mayor

ATTEST:

Jason (Jay) Tobin

City Seal

RESOLUTION NO. 2024-108

ATTACHMENT A

That part of the Southwest Quarter of the Southeast Quarter of Section 23, Township 119, Range 23 described as beginning at the Southeast corner of said Southwest Quarter; thence West along the South line of said Southwest Quarter of the Southeast Quarter, a distance of 252.5 feet; thence North 42 degrees 55 minutes East (assuming the South line of said Southeast Quarter as bearing East and West) 207.9 feet; thence South 42 degrees 20 minutes East 167.9 feet to the East line of said Southwest Quarter of the Southeast Quarter; thence South along said East line 28 feet to the point of beginning.

AND

That part of the Southwest Quarter of the Southeast Quarter of Section 23, Township 119, Range 23, described as beginning at a point in the South line of said Southwest Quarter of the Southeast Quarter, distant 252.5 feet West from the Southeast corner of said Southwest Quarter of the Southeast Quarter; thence North 42 degrees 55 minutes East (assuming the South line of said Southwest Quarter of the Southeast Quarter as bearing East and West) 207.9 feet; thence North 42 degrees 20 minutes West 78.10 feet to an intersection with a line bearing North 35 degrees 26 minutes West to an intersection with a line bearing North 22 degrees 47 minutes East, from a point on said South line distant 312.03 feet West from the Southeast corner of said Southwest Quarter of the Southeast Quarter; thence South 33 degrees 47 minutes West to said South line; thence East along said South line 59.53 feet to the point of beginning/ Hennepin County, Minnesota Torrens Property.

AND

The Southeasterly 4 feet of the Northeasterly 200 feet of that part of the Southwest Quarter of the Southeast Quarter of Section 23, Township 119, Range 23 lying Southwesterly of County Road No. 10 and Northwesterly of the following described line: Beginning at a point in the South line of said Southwest Quarter of the Southeast Quarter distant 252.5 feet West from the Southeast corner of said Southwest Quarter of the Southeast Quarter; thence North 42 degrees 55 minutes East (assuming the South line of said Southwest Quarter of the Southeast Quarter as bearing East and West) 207.9 feet; thence North 42 degrees 20 minutes West 78.10 feet to the point of intersection with a line bearing North 35 degrees 26 minutes East from a point on the South line of said Southwest Quarter of the Southeast Quarter distant 312.85 feet West from the Southeast corner of said Southwest Quarter of the Southeast corner, being the point of beginning of the line to be described; thence South 35 degrees 26 minutes West to an intersection with a line bearing North 33 degrees 47 minutes East from a point of said South line distant 312.03 feet West from the Southeast corner of said Southwest Quarter of the Southeast Quarter; thence South 33 degrees 47 minutes West to said South line and there terminating, according to the United States Government Survey thereof.

RESOLUTION NO. 2024-109

Motion By:
Seconded By:

A RESOLUTION APPROVING THREE VARIANCES FOR “DOMINO’S” ON THE PROPERTIES LOCATED AT THE NORTHWEST CORNER OF COUNTY ROAD 50 AND COUNTY ROAD 10 (PID 23-119-23-43-0004 & 23-119-23-43-0003) (CITY FILE NO. 24-027)

WHEREAS, Strack Construction, Co. Inc. (“the applicant”) requests approval of a site plan, conditional use permit, and lot consolidation to develop a Domino’s preliminary plat for 60 residential lots, 1 amenity lot, and 5 outlots on property described as follows:

See Attachment A

WHEREAS, the applicant also requested approval of three variances from the underlying district standards, performance standards, and the sign standards;

WHEREAS, the Planning Commission reviewed the request at a duly called Public Hearing, and;

NOW, THEREFORE, BE IT RESOLVED that the Corcoran City Council approves the request for three variances subject to the following findings and conditions;

1. The requested variance from Section 1040.030, Subd. 8 to allow a 30’ front setback from County Road 50, and a 51’ front setback from County Road 10, and the request variance from Section 1060.060, Subd. 4 to allow 5’ parking and drive aisle setback is approved based on the following findings:
 - a. That there are practical difficulties in complying with the Zoning Ordinance. The applicant requests flexibility from the minimum front setback along major roadways. At its widest point, the setbacks for both County Roads overlap one another and engulf the site.
 - b. That the conditions upon which a petition for a variation is based are unique to the parcels of land for which the variance is sought and were not created by the landowners. The subject property on a 0.52 acre site that is bordered by County Road 50 to the south and County Road 10 to the north. These constraints result in a lot design and structure placement restrictions that are unique to the project boundaries.
 - c. That the granting of the variation will not alter the essential character of the locality. The variation will allow the applicant to develop a commercial use on the site which is consistent with the previous uses on the site.
 - d. The proposed variance would be in harmony with the general purposes and intent of the ordinance. The intent of the C-1 district is to provide establishment of single and multi-use commercial buildings at major intersections. The request would allow the applicant to develop a commercial restaurant at the intersection of two county roads, which is consistent with the purpose and intent of the ordinance.

RESOLUTION NO. 2024-109

- e. The variance is consistent with the Comprehensive Plan and re-establishes a commercial use on the site.
2. The requested variance from Section 1060.060, Subd. 12(B) to allow a drive-through lane between the building and a lot line that faces a public street is approved based on the following findings:
 - a. That there are practical difficulties in complying with the Zoning and Subdivision Ordinance standards. The site only has one lot line that does not face a public street. Due to the access point on the site, installing a drive-through lane on that side of the lot would result in either vehicle headlight screening issues or vehicle queuing issues.
 - b. That the conditions upon which a petition for a variation is based are unique to the parcel of land for which the variance is sought and were not created by the landowner. The subject property only has one internal boundary line and is bordered by County Roads on all other boundary lines. These constraints result in a structure and drive-through lane that is unique to the project boundaries.
 - c. That the granting of the variation will not alter the essential character of the locality.
 - d. The proposed variance would be in harmony with the general purposes and intent of the ordinance.
 - e. The variance is consistent with the Comprehensive Plan as a deviation does not conflict with the Commercial land use guiding.
 3. The requested variance from Chapter 84.05 (3.f) to allow wall signs on multiple faces of the building is approved based on the following findings:
 - a. That there are practical difficulties in complying with the Zoning and Subdivision Ordinance standards. Due to the size of the site, and its proximity to two major roadway, it is difficult to erect a freestanding sign that is outside of the site visibility triangle.
 - b. That the conditions upon which a petition for a variation is based are unique to the parcel of land for which the variance is sought and were not created by the landowner. The subject property is a narrow site that fills much of the site visibility triangle in the intersection of County Road 50 and County Road 10.
 - c. The granting of the variation will not alter the essential character of the locality.
 - d. The proposed variance would be in harmony with the general purposes and intent of the ordinance as it would provide an adequate means of business identification, while protecting the safety and welfare of the public by minimizing hazards to vehicles and pedestrians.
 - e. The variance is consistent with the Comprehensive Plan.

RESOLUTION NO. 2024-109

- f. The City may impose conditions that would limit the size, brightness, and quantity of wall signs, as well as restrict freestanding signs in an effort to prevent unsightly and chaotic signage of the site.
 4. The requested variance from Section 1060.060, Subd. 4(C.2) to allow reduced stall widths, stall lengths, stall depth, and drive aisle width is approved based on the following findings:
 - a. That there are practical difficulties in complying with the Zoning and Subdivision Ordinance standards. The size and shape of the site create practical difficulties in complying with the dimensional requirements for parking stalls while complying with other requirements of the ordinance.
 - b. That the conditions upon which a petition for a variation is based are unique to the parcel of land for which the variance is sought and were not created by the landowner. The 0.52-acre site is uniquely shaped as it only three boundary lines on a narrow parcel. The landowner did not create the unique conditions of the parcel.
 - c. That the granting of the variation will not alter the essential character of the locality.
 - d. The proposed variance would be in harmony with the general purposes and intent of the ordinance.
 - e. The variance is consistent with the Comprehensive Plan as the deviation would provide parking for a commercial user on a site that is guided for Commercial land use.
 - f. The City imposes the following conditions for the variance from Section 1060.060, Subd. 4(C.2)
 - i. The applicant must provide plans that clearly dimensions the narrowest point of the drive aisle on all three sides of the site.
 - ii. The minimum drive aisle width on the northeast side of the site fronting County Road 10 shall be 15 ft.
 - iii. The minimum drive aisle width on the northeast side of the site fronting the city park shall be 13 ft.
 - iv. Any parking stall that is less than 9 ft. wide shall be marked as a compact space. Compact spaces shall comply with the standards found in Section 1060.060 Subd. 4(C.3).
 - v. There shall be no more than two compact parking spaces on this site.
5. The applicant is required to record this resolution with the Hennepin County's Recorder's Office and provide proof of recording to the City.

RESOLUTION NO. 2024-109

VOTING AYE

- McKee, Tom
- Bottema, Jon
- Lanterman, Mark
- Nichols, Jeremy
- Vehrenkamp, Dean

VOTING NAY

- McKee, Tom
- Bottema, Jon
- Lanterman, Mark
- Nichols, Jeremy
- Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this 26th day of September 2024.

Tom McKee - Mayor

ATTEST:

Jason (Jay) Tobin

City Seal

RESOLUTION NO. 2024-109

ATTACHMENT A

Parcel 1:

The East 450.00 feet, as measured along the north and south lines, of the South 933.80 feet as measured at right angles to the south line, of the Southwest Quarter of the Southwest Quarter (SW $\frac{1}{4}$ of SW $\frac{1}{4}$) of Section 36, Township 119, Range 23, Hennepin County, Minnesota.
Abstract Property.

Parcel 2:

The South 933.80 feet of the Southwest Quarter of the Southwest Quarter (SW $\frac{1}{4}$ of SW $\frac{1}{4}$) of Section 36, Township 119, Range 23, Hennepin County, Minnesota, as measured at right angles to the south line thereof; except the East 450 feet as measured along the north and south lines thereof, and except that part thereof which lies West of a line parallel with and distant 40 feet East of the West line of said section.
Abstract property.

Parcel 3:

That part of the Southwest Quarter of the Southwest Quarter (SW $\frac{1}{4}$ of SW $\frac{1}{4}$), of Section 36, Township 119, Range 23, lying North of the South 933.80 feet as measured at right angles to the South line thereof. Except the West 450.00 feet of the North 200.00 feet as measured at right angles to the North and West lines thereof. Also except the West 40.00 feet of said Southwest Quarter of the Southwest Quarter, Hennepin County, Minnesota.
Abstract Property.

**Memo**

To: Kevin Mattson, PE Public Works Director From: Kent Torve, City Engineer
Steve Hegland, PE

Project: Domino's of Corcoran Date: August 22, 2024

Exhibits:

This Memorandum is based on a review of the following documents:

1. Certificate of Survey – Domino's dated June 27, 2024
2. Civil Plans – Domino's dated June 27, 2024.

Comments:General:

1. Consistent with the review process, a comment response letter shall be provided in which the applicant provides a written response to each of the items below.
2. In addition to engineering comments, the proposed plans are subject to review by planning, and shall comply with all other City of Corcoran zoning, land-use and code requirements.
3. For any site activity (demo, grading, utilities, etc.) no closures or restrictions of any kind shall be imposed upon the public use of County Road 10 or County Road 50 without Hennepin County permission.
4. An encroachment agreement shall be required for all site improvements or items placed within the City ROW or easements. This would include the utility services extended into the park.
5. Final civil construction plans shall include all Corcoran standard detail plates that pertain to construction which is to take place.
6. Development shall be responsible for identifying and mitigating all environmental cleanup from the site, if necessary, including areas in which previous uses had encroached onto the City park. Provide the site with any Phase 1 or subsequent environmental reports for the property.

Plat:

1. The applicant shall provide a 5' drainage and utility easement per City Code along the west property boundary.
2. ROW is typically not provided with a lot consolidation. The site plan identifies an existing 66-foot right of way per Hennepin County State Aid Highway Plats.
3. We would recommend a 10' utility easement be provided beyond the 66-foot right of way to accommodate small utilities.

August 9, 2024

Domino's

Kevin Mattson, PE Public Works Director

Page 2 of 3

Erosion Control/SWPPP

1. The site should implement appropriate erosion prevention and sediment control measures on grading plan such as a rock construction entrance, bio logs for swales, silt fence, and flared end inlet protection.
2. As the site plan is less than 1 acre a SWPPP is not anticipated to be necessary with this project.

Site Plans

1. Work will require a Hennepin County permit for access and Hennepin County shall review and approve all work along their roadways.
2. All sidewalk shall be a minimum of 5' in width.
3. Typical section for parking lot shall shown on plans.
4. Furthest south-west proposed tree must be minimum of 10' from sanitary sewer alignment.
5. Show vehicle tracks and vehicle swing separately on turning movement. There are locations where the vehicle is outside the pavement and it should be confirmed if this is just the swing of the vehicle.
6. Provide confirmation from Hennepin County that trees are to be allowed to be planted in the Hennepin County ROW.

Grading/Stormwater

1. Label clearly on plans EOF's for all areas where water will be collected including all low areas in roadways and greenspaces.
2. All drainage swales should maintain a minimum of 2% slope and all slope should be 4:1 or flatter unless approved by the city engineer. Grading shown in the swale along CR50 is shown to be 1.31%. if flatter grades are incorporated draitile should be added to ensure areas drain.
3. Pipe under driveway entrance shall be minimum of 15". Calculations for pipe capacity shall be provided to ensure that larger size isn't necessary.
4. Review drainage along County Road 10. Area appears to be flat and may trap water.
5. All walls higher than 4' shall be designed by a certified engineer and the design and certification of those walls shall be provided to the city.
6. Provide detail of curb with concrete swale. A curbing may need to be added to swale to ensure it contains runoff and doesn't erode along edges.
7. On construction drawings, show pedestrian ramp designs for the site including spot elevations of landings and curb lines.

Watermain/Sanitary Sewer

1. Profile views for all utilities shall be provided with construction drawings. Modification to sewer and water elevations may be necessary depending on profiles.
2. Sewer service should be 6" until property line where it can be reduced to 4". The City has required larger services for its commercial properties to ensure that redevelopment in the future has minimal interruption to trunk infrastructure.
3. Move water service to the property lot line. Confirm if the shutoff will be a gate valve or more likely a curb stop.

August 9, 2024

Domino's

Kevin Mattson, PE Public Works Director

Page 3 of 3

4. There are many park elements within the utility alignment that are not shown on the site plan including a portion of the baseball field and significant riprap armoring of the creek. These shall be identified on the plans and the contractor shall be responsible for restoring all elements in a timely manner. Because this is an active park use, the timing of certain construction activities may be limited by the city to ensure minimal disruption to the park and its programming.
5. Hydrant spacing to be reviewed by public safety with final construction plans.
6. If fire protection is necessary for the building a separate fire and water service shall be provided with individual shutoff valves prior to the building.
7. If larger water service is required that can't be accomplished with a service saddle, the tee must be cut in.
8. Ensure sanitary sewer manhole location is not in wheel path.
9. Applicant is proposing to create a drop structure with the manhole. The City requires that drop structures be lined with a spray in liner if retrofitted.

End of Comments



MEMO

Date: August 7, 2024

To: Planning (Community Development Director Davis McKeown and Planner Klingbeil)

From: Lieutenant Burns

Re: City File 24-027 Domino's Lot Consolidation, Site Plan, CUP, & Variance

A Public Safety plan review meeting was held on August 7, 2024, to review the submitted application for the Domino's Lot Combination, Site Plan, Conditional Use Permit, and Variance. In attendance were the following: Police Chief Gottschalk, Lieutenant Burns, Fire Chief Malewicki, Building Official Rosenau, Construction Services Supervisor Prichard, Planner Klingbeil, and Community Development Director Davis McKeown. The comments below are based on the materials submitted on July 3, July 16, July 25, and July 29, 2024.

1. No additional comments aside from those made in the Public Safety Memo dated May 1, 2024. These comments include:
 - a. With the current site design, a fire truck will not be able to enter the site. However, standing could be provided from the county roads.
 - b. There likely will be no sprinkler requirement for the building, but an audio/visual alarm will be required due to the kitchen hood.



MEMO

Date: August 7, 2024

To: Planning (Community Development Director Davis McKeown and Planner Klingbeil)

From: Lieutenant Burns

Re: City File 24-027 Domino's Lot Consolidation, Site Plan, CUP, & Variance

A Public Safety plan review meeting was held on August 7, 2024, to review the submitted application for the Domino's Lot Combination, Site Plan, Conditional Use Permit, and Variance. In attendance were the following: Police Chief Gottschalk, Lieutenant Burns, Fire Chief Malewicki, Building Official Rosenau, Construction Services Supervisor Prichard, Planner Klingbeil, and Community Development Director Davis McKeown. The comments below are based on the materials submitted on July 3, July 16, July 25, and July 29, 2024.

1. No additional comments aside from those made in the Public Safety Memo dated May 1, 2024. These comments include:
 - a. With the current site design, a fire truck will not be able to enter the site. However, standing could be provided from the county roads.
 - b. There likely will be no sprinkler requirement for the building, but an audio/visual alarm will be required due to the kitchen hood.

Conditional Use Permit Application Narrative

We are applying for a Conditional Use Permit to build and operate a drive-through business within a C-1, Neighborhood Commercial zoned area. There will be minimal to no impact on the surrounding properties, and all necessary precautions will be taken during construction to reduce and/or eliminate any impacts on the surrounding area.

The project will consist of demolition of the existing buildings to make way for the re-development of a new free standing (1,000 sf ±) Dominos pizza drive-through, take-out only store. As part of the demolition, the contractor will coordinate the abandonment of the septic system and sealing of well on-site.

The business owner expects 4-6 employees per shift. The hours of operation will be from 10 am to Midnight seven days a week. Once the store is open for business, the owner may choose to change closing time to 2 am on Friday and Saturday only but will go through the appropriate permitting processes to do so. Beyond the potential extension of hours of operation, there will be no further expansion of the building or parking areas. Access to the site will be minimal with only one access point on the South property line located as far away from the main intersection as possible.

The site is situated between two county roads and a public park, the impact of the redevelopment and operation of business will provide minimal impact. To help reduce future impacts screening will be provided between the site and park to the West. The neighboring areas to the North, East, and south are also guided commercial uses and Zoned C-1.

Westwood

Variance Application Narrative

We are applying for multiple variances as part of the redevelopment of the two parcels located at the western end of the intersection of County Road 10 and County Road 50 (Rebecca Park Trl.). The variances being requested are as follows (detail below): Signage, Building Setback, and Parking/Drive Aisle Setback. We are applying for the variances due to the constraints the site provides, and the standards of the business proposed for the site.

The signage variance is being requested to allow for 2 additional signs, beyond the one allowed by code. The variance is specifically for the proposed signs on the north and south faces of the building. The proposed signage is the standard for this building prototype, will not project into setbacks or ROWs, and will be illuminated only during hours of operation.

The setback variance is requested for a proposed 5 ft building setback. Due to the shape and size of the site, the district standard of a 100 ft setback renders the site practically undevelopable. The same request is being made regarding the parking/drive aisle setback.

In addition to the setback, we are also applying for a variance of the drive-through lane placement. The proposed drive-through lane is placed between the building and adjacent public street as required per code. To allow for the drive-through to exist, for appropriate and safe turning movements through the site, the proposed drive-through lane location is the most appropriate placement.

All reasonable efforts were made to design the site to conform to the best of applicants ability given the constraints of the site. None of the requested variances will create harmful conditions or outcomes for the surrounding properties or general public, and are consistent with the overall character of the growing area. Furthermore, as noted by city staff in their review of the concept for the site, the proposed redevelopment will eliminate a number of existing non-conformities and encroachments by the current buildings on the subject lots. As stated in the same review, "it is not possible to redevelop the site and comply with all of the district performance standards".

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PRELIMINARY PLANS

FOR

CORCORAN DOMINO'S

CORCORAN, MN

PREPARED FOR:

STRACK CONSTRUCTION

715 15TH AVE NE

ST. JOSEPH, MN 56374

CONTACT: JAYSON REVOIR

PHONE: 320 251 5933

EMAIL: JREVOIR@STRACKCO.COM

PREPARED BY:

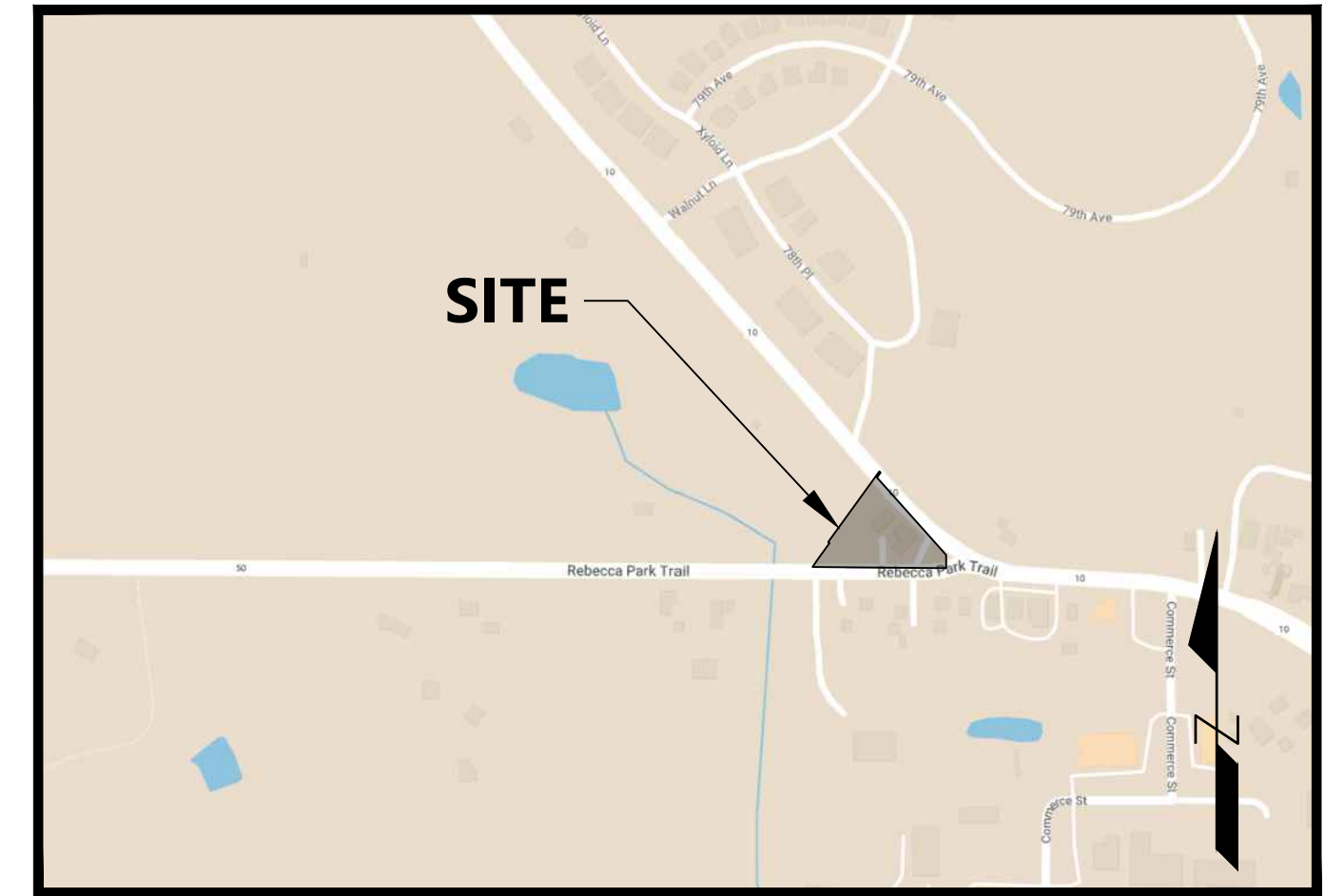
Westwood

Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
 Fax (952) 937-5822 Minnetonka, MN 55343
 TollFree (888) 937-5150 westwoodps.com

Westwood Professional Services, Inc.

PROJECT NUMBER: 0051765.01

CONTACT: JEFF WESTENDORF



Vicinity Map

(NOT TO SCALE, MAP BACKGROUND SOURCED FROM GOOGLE MY MAPS)

SHEET INDEX

Sheet List Table	
SHEET NUMBER	SHEET TITLE
C001	COVER
C100	EXISTING CONDITIONS
C200	SITE PLAN
C300	GRADING PLAN
C400	UTILITY PLAN
C500	DETAILS
L100	LANDSCAPE PLAN
XB100	TURN MOVEMENT

NO.	DATE	REVISION	SHEETS
	05/17/24	PERMIT SET	
	09/13/24	CITY/COUNTY COMMENTS	
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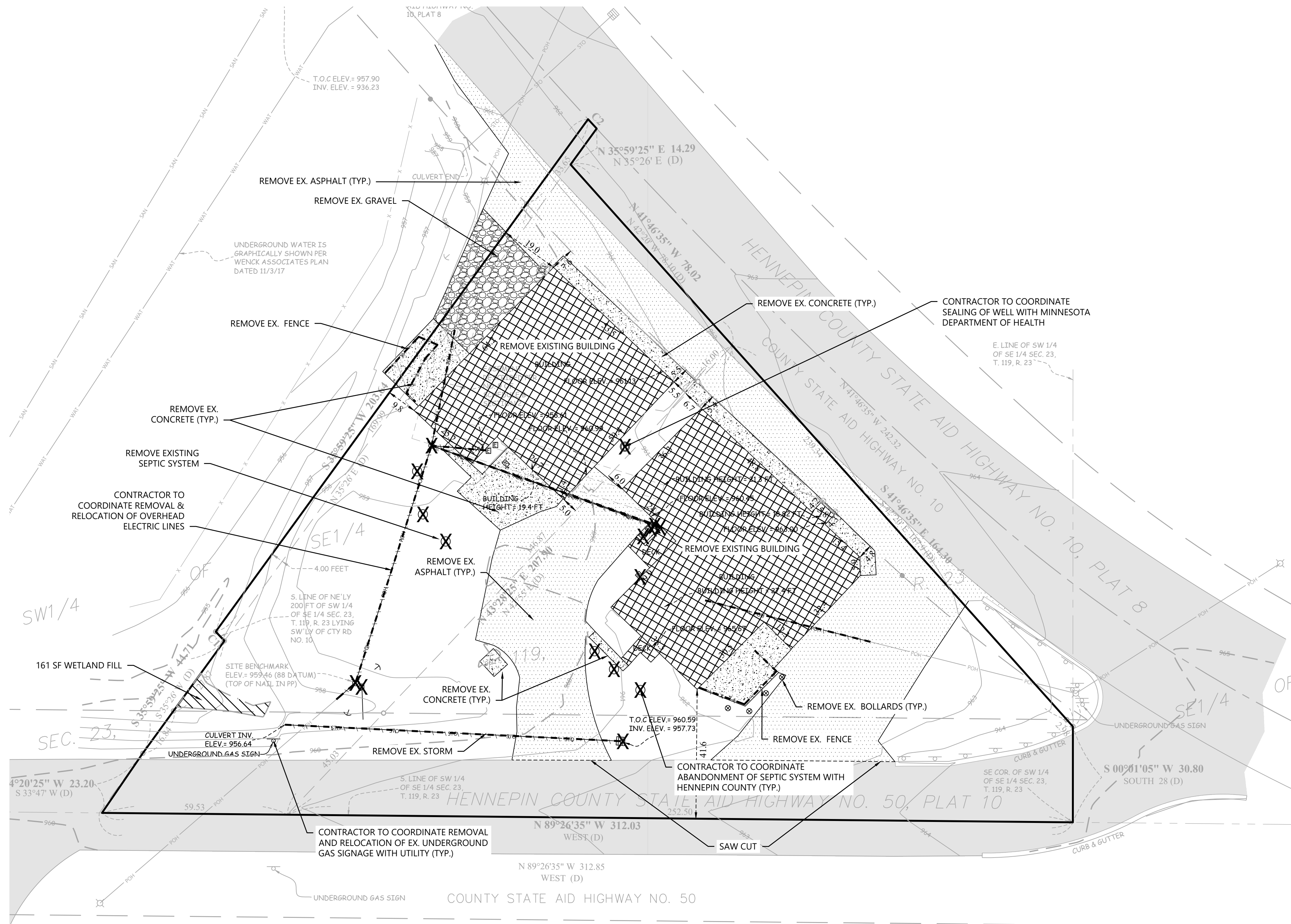
PRELIMINARY PLANS

FOR

CORCORAN DOMINO'S
 CORCORAN, MN

INITIAL SUBMITTAL DATE: 05/03/24 SHEET: C001

CORCORAN DOMINO'S



REMOVAL LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		SAW CUT PAVEMENT
		CURB & GUTTER
		SANITARY SEWER
		WATER MAIN
		HYDRANT
		STORM SEWER
		GAS
		UNDERGROUND ELECTRIC
		OVERHEAD ELECTRIC
		UNDERGROUND TELEPHONE
		OVERHEAD TELEPHONE
		TELEPHONE FIBER OPTIC
		CABLE TELEVISION
		RETAINING WALL
		FENCE
		CONCRETE
		BITUMINOUS
		BUILDING
		TREE
		LIGHT POLE
		TRAFFIC SIGN
		CONSTRUCTION BARRICADE
		SOIL BORING LOCATION
		TREE LINE

REMOVAL NOTES

- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTOR SHALL COORDINATE LIMITS OF REMOVALS WITH PROPOSED IMPROVEMENTS AND FIELD VERIFY CONDITION OF EXISTING APPURTENANCES TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING OR REPLACING MISCELLANEOUS ITEMS (SUCH AS FENCES, SIGNS, IRRIGATION HEADS, ETC.) THAT MAY BE DAMAGED BY CONSTRUCTION.
- CONTRACTOR SHALL PLACE ALL NECESSARY EROSION CONTROL MEASURES REQUIRED TO MAINTAIN SITE STABILITY PRIOR TO EXECUTING ANY SITE REMOVALS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH UTILITY PROVIDERS FOR REMOVAL AND/OR RELOCATION OF EXISTING UTILITIES AFFECTED BY SITE DEVELOPMENT. ALL PERMITS, APPLICATIONS AND FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR.

DESIGNED:	
CHECKED:	
DRAWN:	
HORIZONTAL SCALE:	20'
VERTICAL SCALE:	4' OF 2'

PREPARED FOR:
STRACK CONSTRUCTION
715 15TH AVE NE
ST. JOSEPH, MN 56374

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
GRETCHEN SCHROEDER
09/13/24 LICENSE NO. 43019

CORCORAN DOMINOS
CORCORAN, MN

Westwood
12701 Winthrop Drive, Suite #200
Minnetonka, MN 55343
westwoodps.com
Phone: (888) 937-5150
Fax: (888) 937-5150
Toll Free: (888) 937-5150
Westwood Professional Services, Inc.

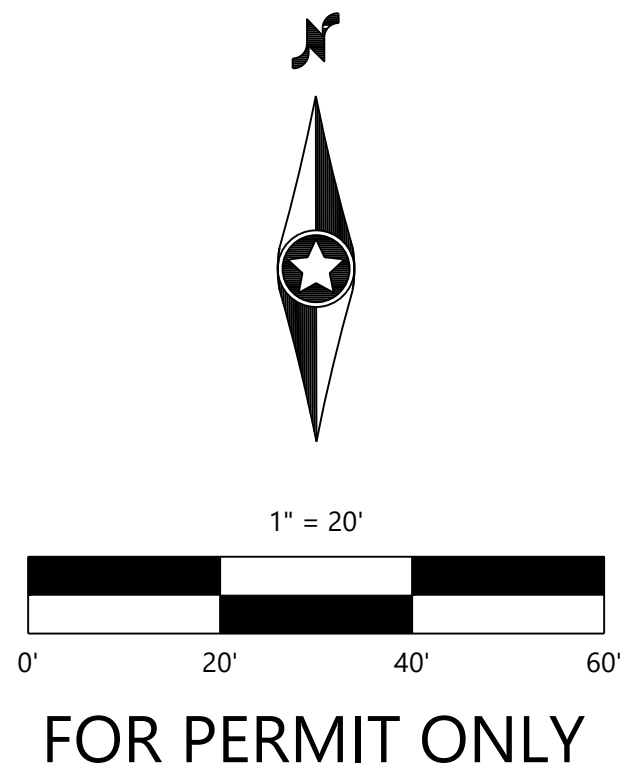
EXISTING CONDITIONS

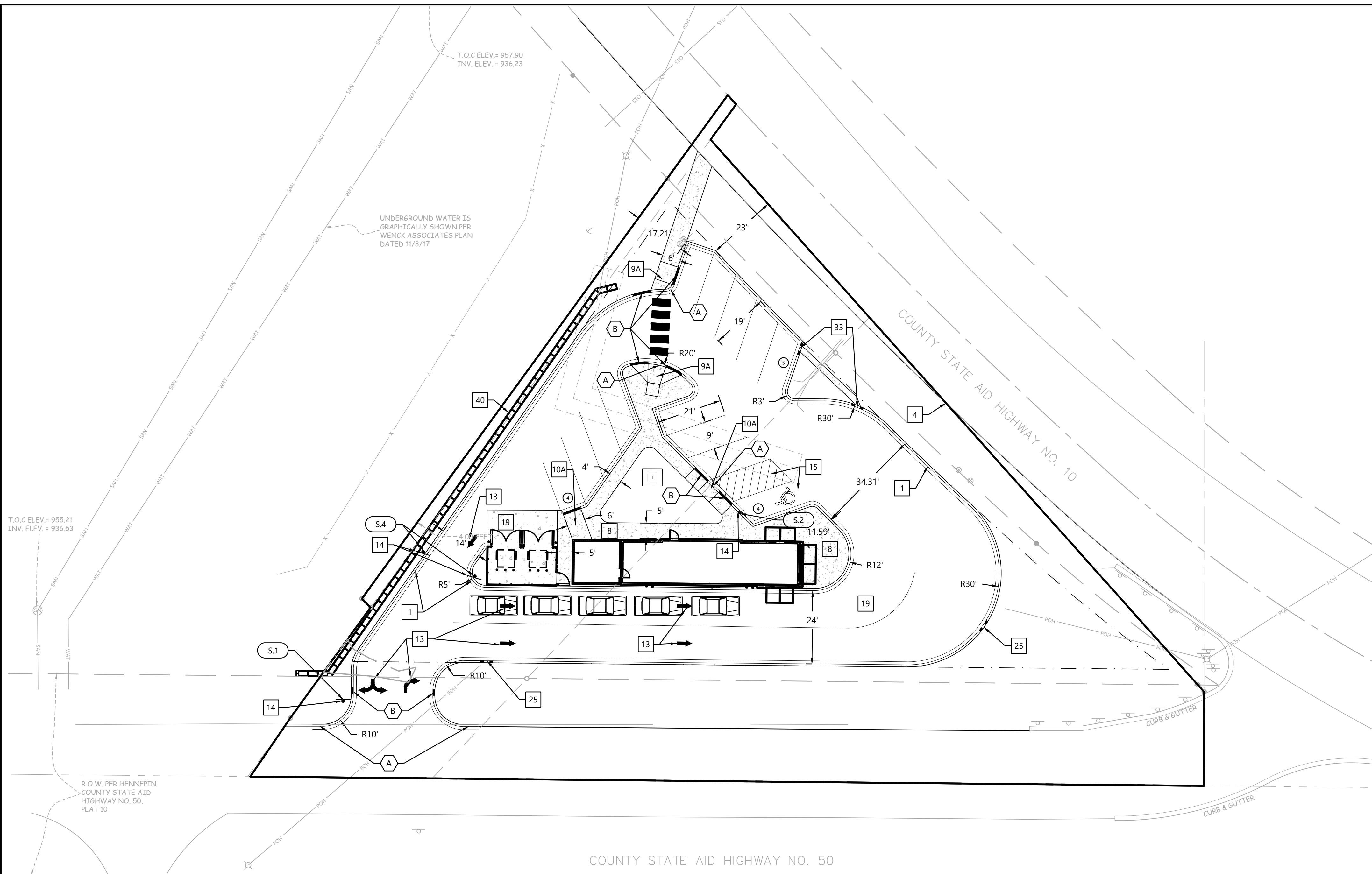
SHEET NUMBER:

C100

DATE: 09/13/24

PROJECT NUMBER: 0051765.01





SITE DEVELOPMENT SUMMARY

EXISTING ZONING:	C1, NEIGHBORHOOD COMMERCIAL
PROPOSED ZONING:	C1, NEIGHBORHOOD COMMERCIAL
PARCEL DESCRIPTION:	2311923430003 2311923430004
PROPERTY AREA:	36,130 SF (.83 AC)
EXISTING IMPERVIOUS SURFACE:	19,469 SF (53.9%)
PROPOSED IMPERVIOUS SURFACE:	17,074 SF (47.3%)
BUILDING GROSS SIZE:	1,125 SF
RESTAURANT KITCHEN:	875 SF
RESTAURANT STORAGE:	250 SF
BUILDING SETBACK PER CODE:	100'=FRONT 20'=SIDE 20'=REAR
PARKING SETBACK:	100'=FRONT AND ROW 10'=SIDE AND REAR
PARKING SPACE/DRIVE AISLE (60"):	10.33' WIDE X 19' LONG, 16' AISLE
PARKING RATIO REQUIREMENT RETAIL/OFFICE:	CITY OF CORCORAN 8 + 1 SPACE / 200 SF OF BLDG
TOTAL SPACES REQUIRED:	13 SPACES (875/200= 4.38+8= 12.38= 13)
PARKING PROVIDED:	13

GENERAL SITE NOTES

- BACKGROUND INFORMATION FOR THIS PROJECT PROVIDED BY O'MALLEY & KRON LAND SURVEYORS, INC., MINNESOTA, 01/25/24.
- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY.
- REFER TO BOUNDARY SURVEY FOR LOT BEARINGS, DIMENSIONS AND AREAS.
- ALL DIMENSIONS ARE TO FACE OF CURB OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMPS, AND TRUCK DOCKS.
- ALL CURB RADII ARE SHALL BE 3.0 FEET (TO FACE OF CURB) UNLESS OTHERWISE NOTED.
- ALL CURB AND GUTTER SHALL BE B612 UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY AND ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
- CONTRACTOR TO COORDINATE RELOCATION OF OVERHEAD ELECTRIC UTILITY LINES

SITE LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		LOT LINE
		SETBACK LINE
		EASEMENT LINE
		CURB AND GUTTER
		TIP-OUT CURB AND GUTTER
		RETAINING WALL
		FENCE
		CONCRETE PAVEMENT
		CONCRETE SIDEWALK
		NORMAL DUTY BITUMINOUS PAVEMENT
		NUMBER OF PARKING STALLS
		TRANSFORMER
		SITE LIGHTING
		TRAFFIC SIGN
		POWER POLE
		BOLLARD / POST

1 SITE DETAILS (SI-0XX)

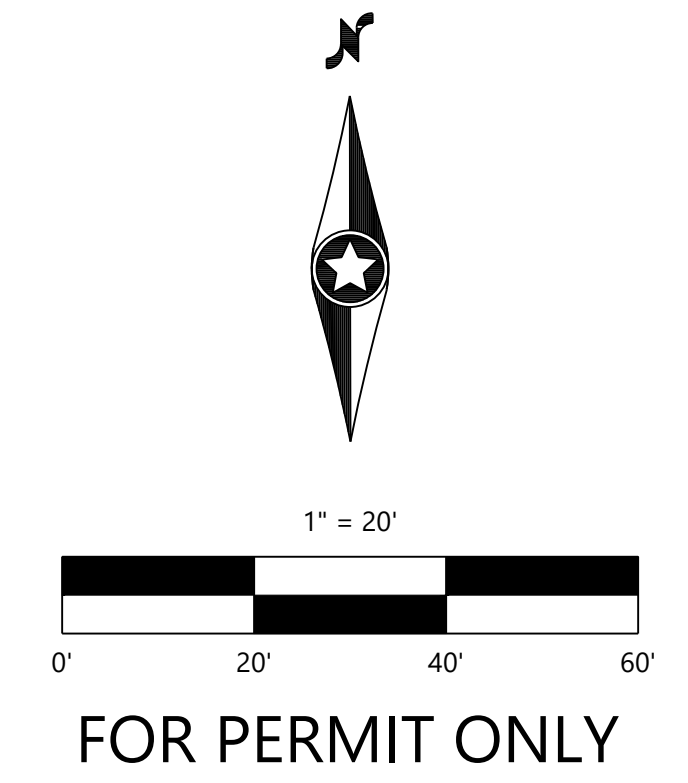
- 1 B612 CURB AND GUTTER
- 4 BITUMINOUS CURB
- 8 PRIVATE CONCRETE SIDEWALK
- 9A PRIVATE PEDESTRIAN CURB RAMP
- 10A PRIVATE PARALLEL PEDESTRIAN CURB RAMP
- 13 TRAFFIC ARROW
- 14 SIGN INSTALLATION
- 15 ACCESSIBLE SIGNAGE AND STRIPING
- 19 PAVEMENT SECTIONS
- 25 CURB CUT WITH EROSION CONTROL MAT
- 33 CURB CUT WITH CONCRETE SWALE
- 40 MODULAR BLOCK RETAINING WALL

A SITE KEYNOTES

- A FLUSH CURB
- B TRANSITION CURB

S10 SIGN LEGEND

REFERENCE	SIZE	MnDOT DESIGNATION
S.1 STOP SIGN	30" X 30"	R1-1
S.2 ACCESSIBLE PARKING	12" X 18"	R7-8M
S.4 DO NOT ENTER	30" X 30"	RS-1



DESIGNED:	05/03/24
CHECKED:	
DRAWN:	PERMIT SET
HORIZONTAL SCALE:	CITY/COUNTY COMMENTS
VERTICAL SCALE:	

PREPARED FOR:
STRACK CONSTRUCTION
715 15TH AVE NE
ST. JOSEPH, MN 56374

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
GRETCHEN SCHROEDER
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CORCORAN DOMINOS
CORCORAN, MN

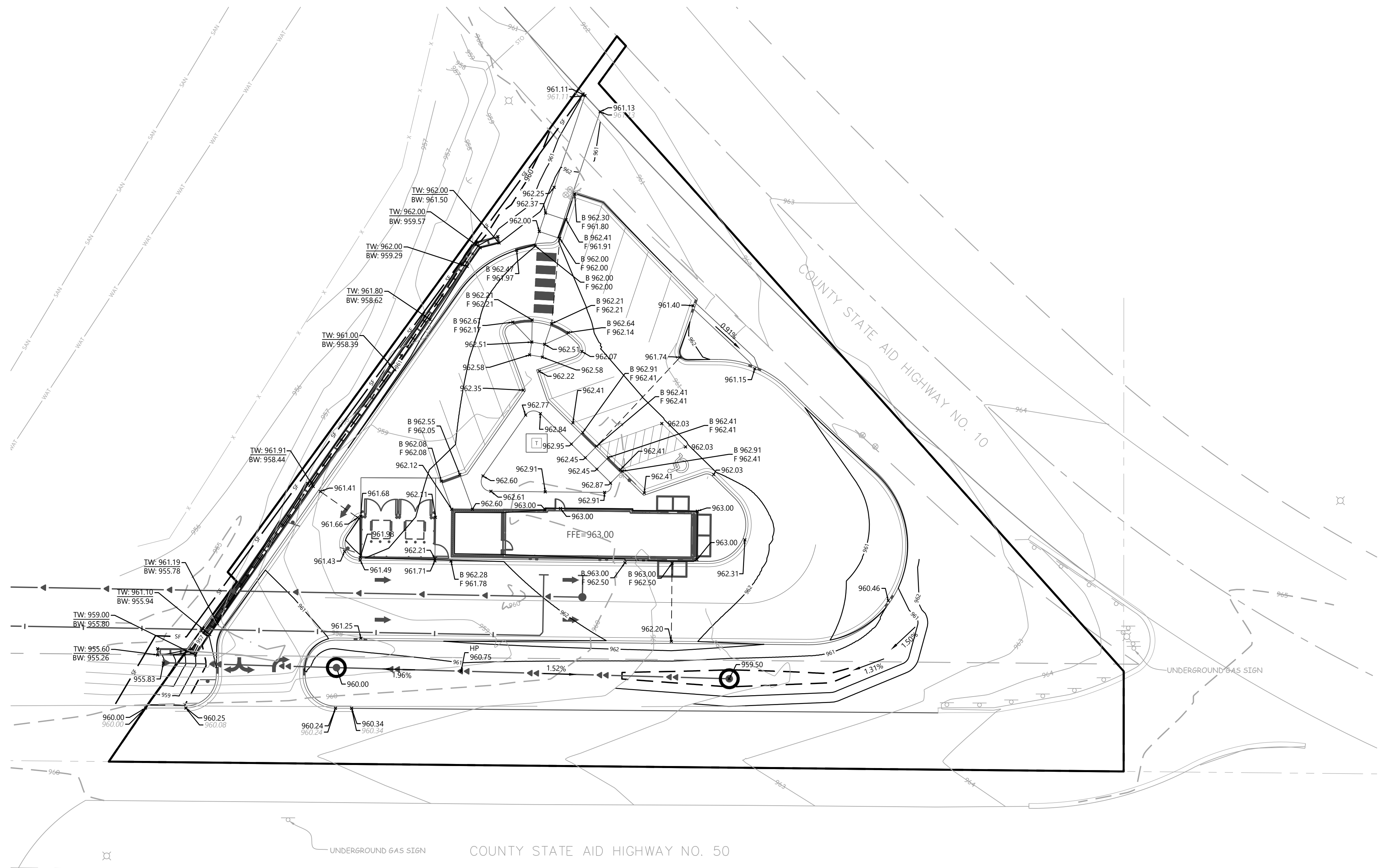
Westwood
12701 Winthrop Drive, Suite #300
Minnetonka, MN 55343
(888) 937-5150
westwoodps.com
Westwood Professional Services, Inc.

SITE PLAN

SHEET NUMBER:

C200

DATE: 09/13/24
PROJECT NUMBER: 0051765.01



GRADING LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		INDEX CONTOUR
		INTERVAL CONTOUR
		CURB AND GUTTER
		POND NORMAL WATER LEVEL
		STORM SEWER
		FLARED END SECTION (WITH RIPRAP)
		WATER MAIN
		SANITARY SEWER
		RETAINING WALL
		DRAIN TILE
		RIDGE LINE
		GRADING LIMITS
		SPOT ELEVATION
		FLOW DIRECTION
		TOP AND BOTTOM OF RETAINING WALL
		EMERGENCY OVERFLOW
		SOIL BORING LOCATION
		SILT FENCE
		INLET PROTECTION

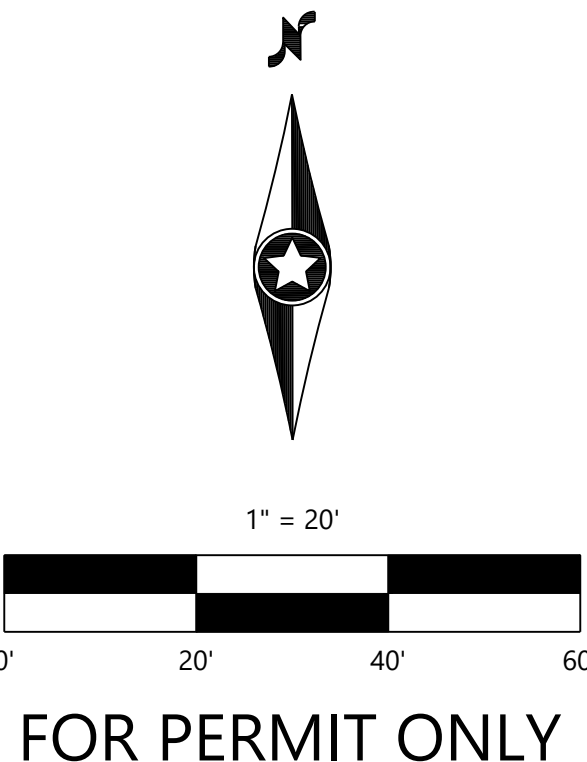
Call 48 Hours before digging:
811 or call811.com
 Common Ground Alliance

GENERAL EROSION CONTROL NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
- ALL SILT FENCE AND OTHER EROSION CONTROL FEATURES SHALL BE IN-PLACE PRIOR TO ANY EXCAVATION/CONSTRUCTION AND SHALL BE MAINTAINED UNTIL VIABLE TURF OR GROUND COVER HAS BEEN ESTABLISHED. EXISTING SILT FENCE ON-SITE SHALL BE MAINTAINED AND OR REMOVED AND SHALL BE CONSIDERED INCIDENTAL TO THE GRADING CONTRACT. IT IS OF EXTREME IMPORTANCE TO BE AWARE OF CURRENT FIELD CONDITIONS WITH RESPECT TO EROSION CONTROL. TEMPORARY PONDING, DIKES, HAYBALES, ETC., REQUIRED BY THE CITY SHALL BE INCIDENTAL TO THE GRADING CONTRACT.
- EROSION AND SILTATION CONTROL (ESC): THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL SILTATION AND EROSION OF THE PROJECT AREA. THE CONTRACTOR SHALL USE WHATEVER MEANS NECESSARY TO CONTROL THE EROSION AND SILTATION INCLUDING BUT NOT LIMITED TO: CATCH BASIN INSERTS, CONSTRUCTION ENTRANCES, EROSION CONTROL BLANKET, AND SILT FENCE. ESC SHALL COMMENCE WITH GRADING AND CONTINUE THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER. THE CONTRACTOR'S RESPONSIBILITY INCLUDES ALL IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DEPOSITING OF SILT. THE OWNER MAY DIRECT THE CONTRACTOR'S METHODS AS DEEMED FIT TO PROTECT PROPERTY AND IMPROVEMENTS. ANY DEPOSITION OF SILT OR MUD ON NEW OR EXISTING PAVEMENT OR IN EXISTING STORM SEWERS OR SWALES SHALL BE REMOVED AFTER EACH RAIN EVENT. AFFECTED AREAS SHALL BE CLEANED TO THE SATISFACTION OF THE OWNER, ALL AT THE EXPENSE OF THE CONTRACTOR. ALL TEMPORARY EROSION CONTROL SHALL BE REMOVED BY THE CONTRACTOR AFTER THE TURF IS ESTABLISHED.
- ALL STREETS DISTURBED DURING WORKING HOURS MUST BE CLEANED AT THE END OF EACH WORKING DAY. A CONSTRUCTION ENTRANCE TO THE SITE MUST BE PROVIDED ACCORDING TO DETAILS TO REDUCE TRACKING OF DIRT ONTO PUBLIC STREETS.
- PROPOSED PONDS SHALL BE EXCAVATED FIRST AND USED AS TEMPORARY PONDING DURING CONSTRUCTION.
- WHEN INSTALLING END-OF-LINE FLARED END SECTIONS, BRING THE SILT FENCE UP & OVER THE FLARED END SECTIONS & COVER DISTURBED AREAS WITH RIP RAP. THE UPSTREAM FLARED END SECTIONS SHALL HAVE WOOD FIBER BLANKET INSTALLED ON THE DISTURBED SOILS.
- ALL UNPAVED AREAS ALTERED DUE TO CONSTRUCTION ACTIVITIES MUST BE RESTORED WITH SEED AND MULCH, SOD, EROSION CONTROL BLANKET OR BE HARD SURFACE WITHIN 2 WEEKS OF COMPLETION OF CONSTRUCTION.
- THE SITE MUST BE STABILIZED PER THE REQUIREMENTS OF THE MPCA, NPDES, MNDOT, AND CITY.
 - TEMPORARY (GREATER THAN 1-YEAR) SEED SHALL BE MNDOT SEED MIX 22-111 AT 30.5-POUNDS PER ACRE.
 - TEMPORARY (LESS THAN 1-YEAR) SEED SHALL BE MNDOT SEED MIX 21-112 (FALL) OR 21-111 (SPRING/SUMMER) AT 100-POUNDS PER ACRE
 - INFILTRATION/FILTRATION BASIN SHALL BE MNDOT SEED MIX 34-262 AT 14.5-POUNDS PER ACRE.
 - POND SLOPES SHALL BE MNDOT SEED MIX 33-261 AT 35-POUNDS PER ACRE.
 - GENERAL SEEDING SHALL BE MNDOT SEED MIX 25-151 AT 70-POUNDS PER ACRE.
 - MULCH SHALL BE MNDOT TYPE 1 APPLIED AT 2-TONS PER ACRE.
- FOR AREAS WITH SLOPE OF 3:1 OR GREATER, RESTORATION WITH SOD OR EROSION CONTROL BLANKET IS REQUIRED.
- ALL TEMPORARY STOCKPILES MUST HAVE SILT FENCE INSTALLED AROUND THEM TO TRAP SEDIMENT.
- ALL PERMANENT PONDS USED AS TEMPORARY SEDIMENT BASINS DURING CONSTRUCTION SHALL BE DREDGED AFTER THE SITE HAS BEEN STABILIZED TO RESTORE THE POND TO THE PROPOSED BOTTOM ELEVATION.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL AND STATE RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- THE SITE MUST BE KEPT IN A WELL-DRAINED CONDITION AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY DITCHES, PIPING OR OTHER MEANS REQUIRED TO INSURE PROPER DRAINAGE DURING CONSTRUCTION. LOW POINTS IN ROADWAYS OR BUILDING PADS MUST BE PROVIDED WITH A POSITIVE OUTFLOW.

GRADING NOTES

- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTORS SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVEMENT, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND NUMBER OF DOWNSPOUTS.
- ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE SIX INCHES OF TOPSOIL AND SOD OR SEED. THESE AREAS SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. SEE LANDSCAPE PLAN FOR PLANTING AND TURF ESTABLISHMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- ALL SLOPES SHALL BE GRADED TO 3:1 OR FLATTER, UNLESS OTHERWISE INDICATED ON THIS SHEET.
- CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AND PROVIDE A SMOOTH FINISHED SURFACE WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN OR BETWEEN SUCH POINTS AND EXISTING GRADES.
- SPOT ELEVATIONS SHOWN INDICATE FINISHED PAVEMENT ELEVATIONS & GUTTER FLOW LINE UNLESS OTHERWISE NOTED. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.**
- SEE SOILS REPORT FOR PAVEMENT THICKNESSES AND HOLD DOWNS.
- CONTRACTOR SHALL DISPOSE OF ANY EXCESS SOIL MATERIAL THAT EXISTS AFTER THE SITE GRADING AND UTILITY CONSTRUCTION IS COMPLETED. THE CONTRACTOR SHALL DISPOSE OF ALL EXCESS SOIL MATERIAL IN A MANNER ACCEPTABLE TO THE OWNER AND THE REGULATING AGENCIES.
- CONTRACTOR SHALL PROVIDE A STRUCTURAL RETAINING WALL DESIGN CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE AND FEDERAL RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- PRIOR TO PLACEMENT OF ANY STRUCTURE OR PAVEMENT, A PROOF ROLL, AT MINIMUM, WILL BE REQUIRED ON THE SUBGRADE. PROOF ROLLING SHALL BE ACCOMPLISHED BY MAKING MINIMUM OF 2 COMPLETE PASSES WITH FULLY-LOADED TANDEM-AXLE DUMP TRUCK, OR APPROVED EQUAL, IN EACH OF 2 PERPENDICULAR DIRECTIONS WHILE UNDER SUPERVISION AND DIRECTION OF THE INDEPENDENT TESTING LABORATORY. AREAS OF FAILURE SHALL BE EXCAVATED AND RE-COMPACTED AS SPECIFIED HEREIN.
- EMBANKMENT MATERIAL PLACED BENEATH BUILDINGS AND STREET OR PARKING AREAS SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFIED DENSITY METHOD AS OUTLINED IN MNDOT 2105.3F1 AND THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
- EMBANKMENT MATERIAL NOT PLACED IN THE BUILDING PAD, STREETS OR PARKING AREA, SHALL BE COMPACTED IN ACCORDANCE WITH REQUIREMENTS OF THE ORDINARY COMPACTION METHOD AS OUTLINED IN MNDOT 2105.3F2.
- ALL SOILS AND MATERIALS TESTING SHALL BE COMPLETED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSUITABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND INSPECTIONS WITH THE GEOTECHNICAL ENGINEER.



DESIGNED: _____
 CHECKED: _____
 DRAWN: _____
 HORIZONTAL SCALE: 20'
 VERTICAL SCALE: 4' = 1'

INITIAL ISSUE: 05/03/24
 REVISIONS: 05/17/24 PERMIT SET
 09/13/24 CITY/COUNTY COMMENTS

PREPARED FOR:
STRACK CONSTRUCTION
 715 15TH AVE NE
 ST. JOSEPH, MN 56374

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
GRETCHEN SCHROEDER
 09/13/24 LICENSE NO. 43019

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 CORCORAN, MN

Westwood
 (820) 937-5160 12701 Winnebago Drive, Suite #800
 (820) 937-5822 Minneapolis, MN 55438
 (888) 937-5160 westwoodps.com
 Toll Free Westwood Professional Services, Inc.

GRADING & EROSION CONTROL PLAN

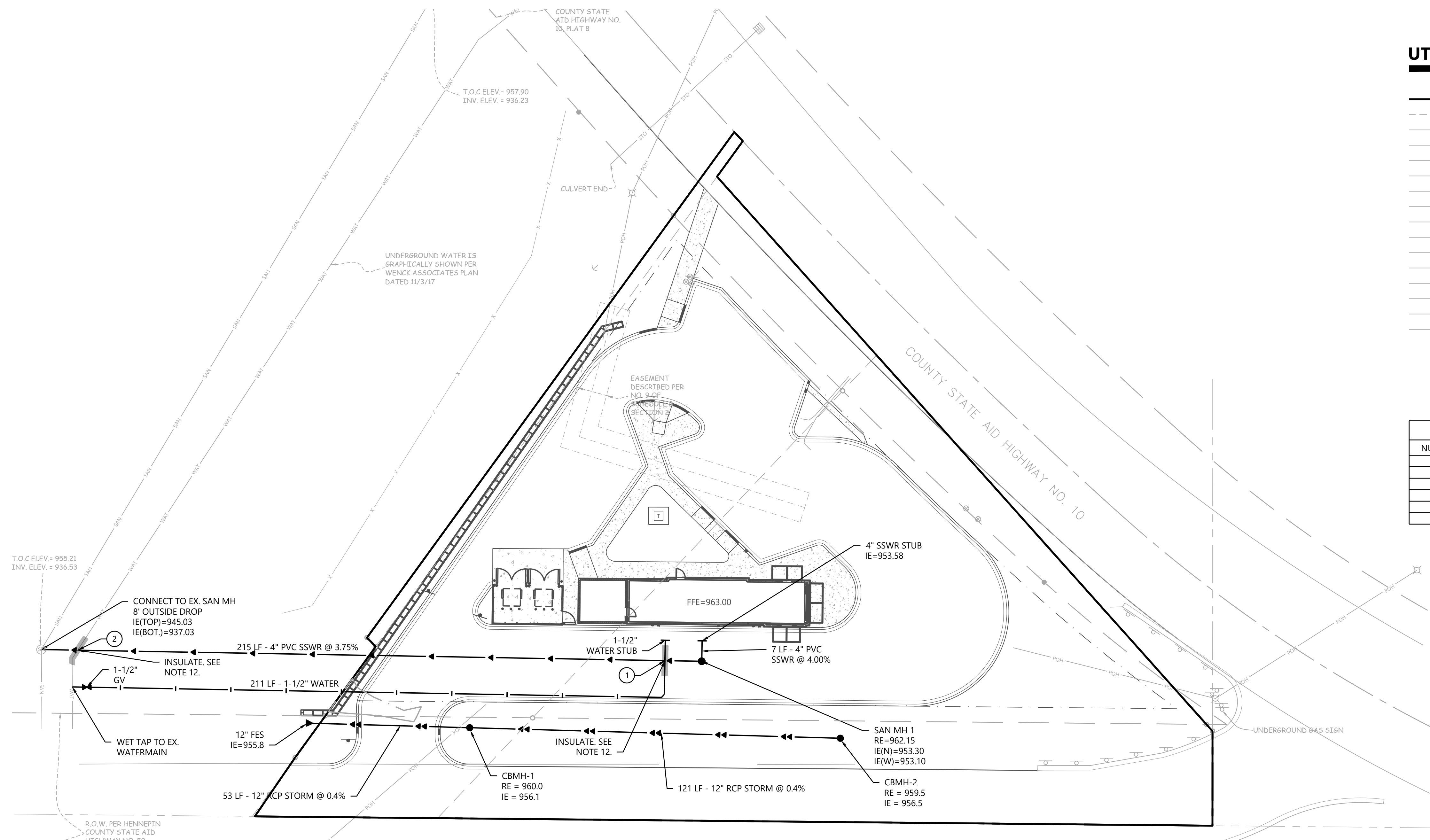
SHEET NUMBER:
C300

DATE: 09/13/24
 PROJECT NUMBER: 0051765.01

UTILITY LEGEND

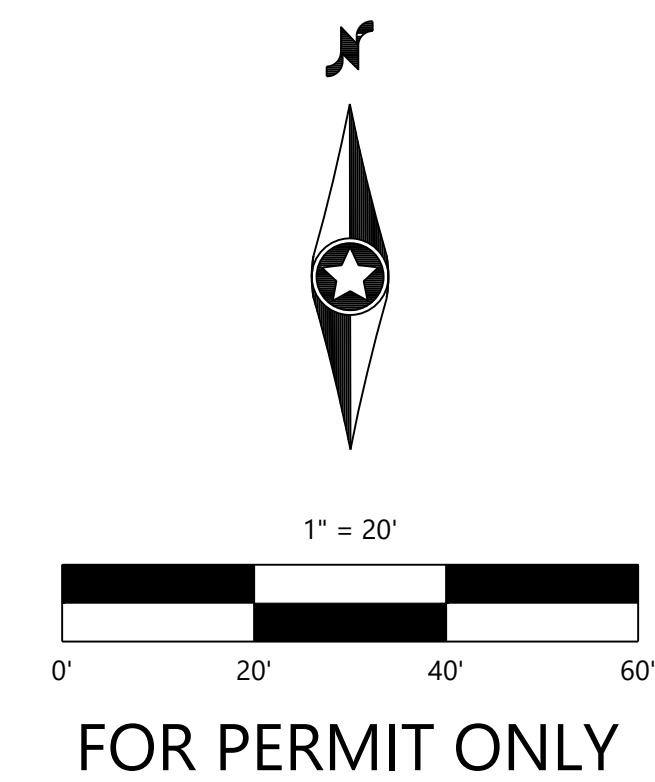
EXISTING	PROPOSED	
		PROPERTY LINE
		EASEMENT LINE
		CURB AND GUTTER
		SANITARY SEWER
		SANITARY SEWER FORCE MAIN
		STORM SEWER
		WATER MAIN
		HYDRANT
		GAS
		UNDERGROUND ELECTRIC
		OVERHEAD ELECTRIC
		UNDERGROUND TELEPHONE
		OVERHEAD TELEPHONE
		TELEPHONE FIBER OPTIC
		CABLE TELEVISION
		DRAIN TILE
		GATE VALVE
		FLARED END SECTION (WITH RIPRAP)
		LIGHT POLE

UTILITY CROSSINGS (⊕)					
NUMBER	SAN TOP	SAN IE	STO IE	WM TOP *	WM IE
1	952.83	-	-	-	954.39
2	945.83	-	-	-	947.59



GENERAL UTILITY NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
- ALL SANITARY SEWER, STORM SEWER AND WATER MAIN MATERIAL AND INSTALLATIONS SHALL BE PER CITY REQUIREMENTS, MINNESOTA PLUMBING CODE, AND IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION AND SANITARY SEWER AND STORM SEWER INSTALLATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY FEDERAL, STATE AND LOCAL PERMITS FOR THE PROPOSED WORK OR VERIFY WITH THE OWNER OR ENGINEER THAT PERMITS HAVE BEEN OBTAINED. PERMIT FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE ARRANGED WITH THE OWNER.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF DOORWAYS, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY CONNECTION LOCATIONS.
- ALL PRIVATE LARGE UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE LOCAL JURISDICTION AND MINNESOTA PLUMBING CODE. ALL SMALL / DRY UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL COORDINATE THE SERVICE LINE CONSTRUCTION WITH THE UTILITY COMPANIES.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY CITY PERMITS FOR UTILITY CONNECTIONS, AND UTILITIES SHALL BE INSPECTED AND APPROVED BY THE CITY. THE CITY SHALL BE NOTIFIED 48-HOURS PRIOR TO COMMENCING WITH THE UTILITY CONSTRUCTION OR ANY REQUIRED TESTING. CONTRACTOR SHALL NOT OPERATE, INTERFERE WITH, CONNECT ANY PIPE OR HOSE TO, OR TAP ANY WATER MAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE RESPONSIBILITY OF THE CONTRACTOR.
- WATER MAIN LENGTHS AS SHOWN ARE APPROXIMATE HORIZONTAL LENGTHS. ALLOW FOR ADDITIONAL PIPE WHEN INSTALLING ON SLOPES OR WHEN DEFLECTIONS ARE REQUIRED. THE JOINT DEFLECTIONS SHALL NOT EXCEED THE MAXIMUM RECOMMENDED BY THE PIPE MANUFACTURER OR BY LOCAL GOVERNING SPECIFICATIONS. FITTINGS REQUIRED TO CONSTRUCT WATER MAIN SHALL BE INCLUDED IN WATER MAIN CONSTRUCTION.
- PROVIDE WATER MAIN THRUST RESTRAINTS PER CITY STANDARD REQUIREMENTS.
- A MINIMUM VERTICAL SEPARATION OF 18 INCHES IS REQUIRED AT ALL WATER LINE CROSSINGS WITH SANITARY SEWER OR STORM SEWER AND WATER LINES SHALL CROSS ABOVE ANY SEWER, IF THIS IS NOT ACHIEVABLE, SANITARY AND STORM SEWER SHALL BE CONSTRUCTED OF A MATERIAL APPROVED FOR USE WITHIN A BUILDING AND AS LISTED IN TABLE 701.2 OF THE MINNESOTA PLUMBING CODE. THE WATER LINE SHALL NOT HAVE JOINTS OR CONNECTION WITHIN 10- FEET OF THE CROSSING. INSULATE CROSSINGS WITH STORM SEWER.
- UTILITY SERVICES TYPICALLY TERMINATE 5' OUTSIDE BUILDING WALL UNLESS OTHERWISE SHOWN OR NOTED.
- DUCTILE IRON WATER LINES SHALL BE CLASS 52, PER AWWA C115 OR C151. COPPER WATER LINES SHALL BE TYPE K PER ASTM B88. PVC WATER LINES SHALL BE PER AWWA C900 AND INSTALLED PER AWWA C605 IF ALLOWED BY CITY.
- ALL WATER LINES SHALL HAVE 7.5' MINIMUM COVER. INSULATE WATER MAIN IF LESS THAN 7.5' OF COVER. INSULATION SHALL BE DOW STYROFOAM HI BRAND 35 OR EQUIVALENT, WITH 4 INCHES OF THICKNESS.
- SANITARY SEWER PIPE OUTSIDE THE BUILDING ENVELOPE AND NOT WITHIN 10' OF WATER LINE SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 OR 26. SDR 26 IS REQUIRED FOR DEPTHS GREATER THAN 15 FEET. SANITARY AND STORM SEWER PIPE WITHIN 10 FEET OF THE BUILDING AND UNDER FOOTINGS, AND WITHIN 10 FEET OF WATER LINE SHALL BE SCHEDULE 40 PER ASTM D2665. ALL PLASTIC SANITARY SEWER SHALL BE INSTALLED PER D2321. SOLVENT WELD JOINTS MUST INCLUDE USE OF A PRIMER WHICH IS OF A CONTRASTING COLOR TO THE PIPE AND CEMENT. ALL SANITARY SEWER SHALL BE TESTED ACCORDING TO MINNESOTA PLUMBING CODE, PART 712.0.
- STORM SEWER PIPE:
 - RCP AND HDPE PIPE MAY BE INSTALLED WITH APPROVAL OF LOCAL GOVERNING AGENCY OR MN DEPARTMENT OF LABOR.
 - REINFORCED CONCRETE PIPE SHALL BE CLASS 5 FOR PIPE DIAMETERS 18" AND SMALLER, CLASS 3 FOR PIPE DIAMETERS 21" AND LARGER UNLESS OTHERWISE NOTED, PER ASTM C76, WITH GASKETS PER ASTM C443.
 - HDPE STORM PIPE 4- TO 10-INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF AASHTO M252. HDPE STORM PIPE 12- TO 60-INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF ASTM F2306. FITTINGS SHALL BE PER ASTM D3212 AND INSTALLED PER ASTM D2321.
- PVC STORM SEWER PIPE AND FITTINGS SHALL BE SCHEDULE 40 PIPE PER ASTM D2665 AND INSTALLED PER ASTM D2321.
- ALL STORM SEWER JOINTS AND STRUCTURE CONNECTIONS SHALL BE GASTIGHT OR WATERTIGHT AS REQUIRED BY MINNESOTA PLUMBING CODE, PART 707.3. STORM SEWER LOCATED WITHIN 10- FEET OF A BUILDING AND/OR WATER LINE SHALL BE TESTED PER MINNESOTA PLUMBING CODE, PART 712.
- ALL NONCONDUCTIVE PIPE SHALL BE INSTALLED WITH A LOCATE (TRACER) WIRE PER MINNESOTA PLUMBING CODE 604.10.1.
- AFTER CONSTRUCTION IS COMPLETED, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT RECORD OF UTILITY CONSTRUCTION. THE AS-BUILT SHALL INCLUDE LOCATION AND LENGTH DEVIATIONS OR CHANGES TO THE PLAN. CONTRACTOR TO VERIFY WITH OWNER OR ENGINEER WHETHER A PLAN WITH POST-CONSTRUCTION ELEVATIONS IS REQUIRED.



DESIGNED:	
CHECKED:	
DRAWN:	
HORIZONTAL SCALE:	20'
VERTICAL SCALE:	4" = 2'

PREPARED FOR:
STRACK CONSTRUCTION
715 15TH AVE NE
ST. JOSEPH, MN 56374

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
GRETCHEN SCHROEDER
09/13/24 LICENSE NO. 43019

CORCORAN DOMINOS
CORCORAN, MN

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(888) 937-5150
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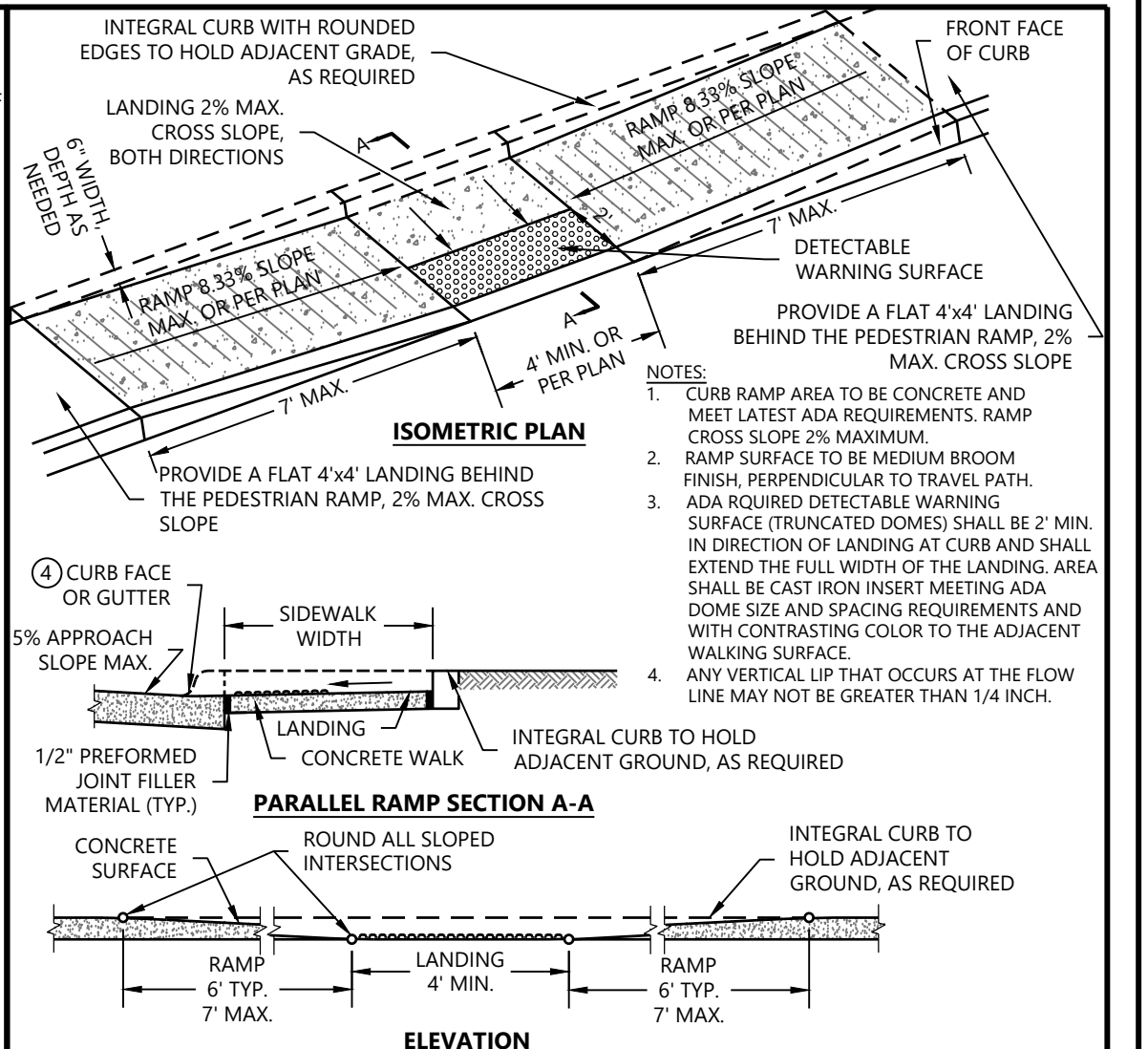
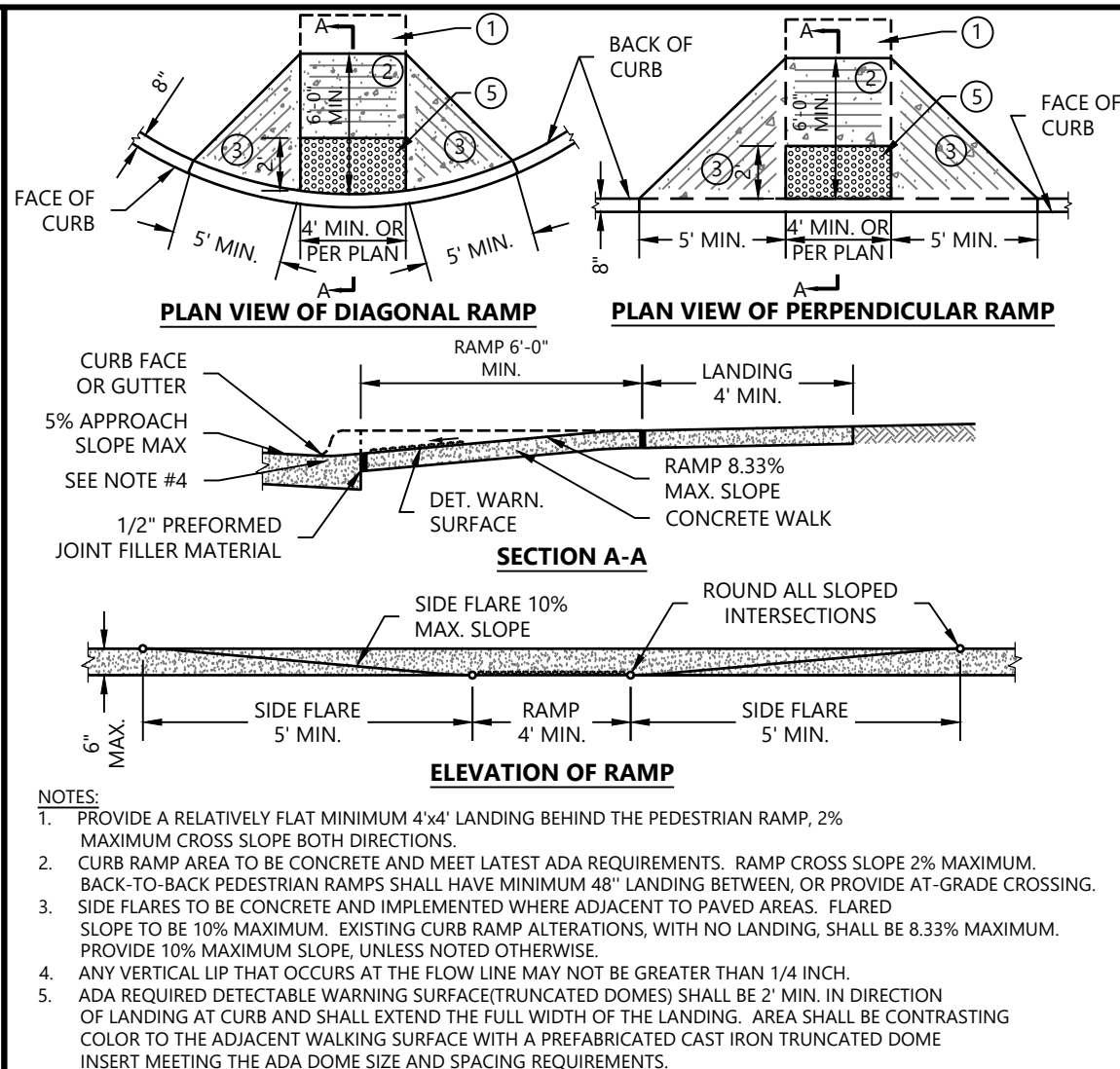
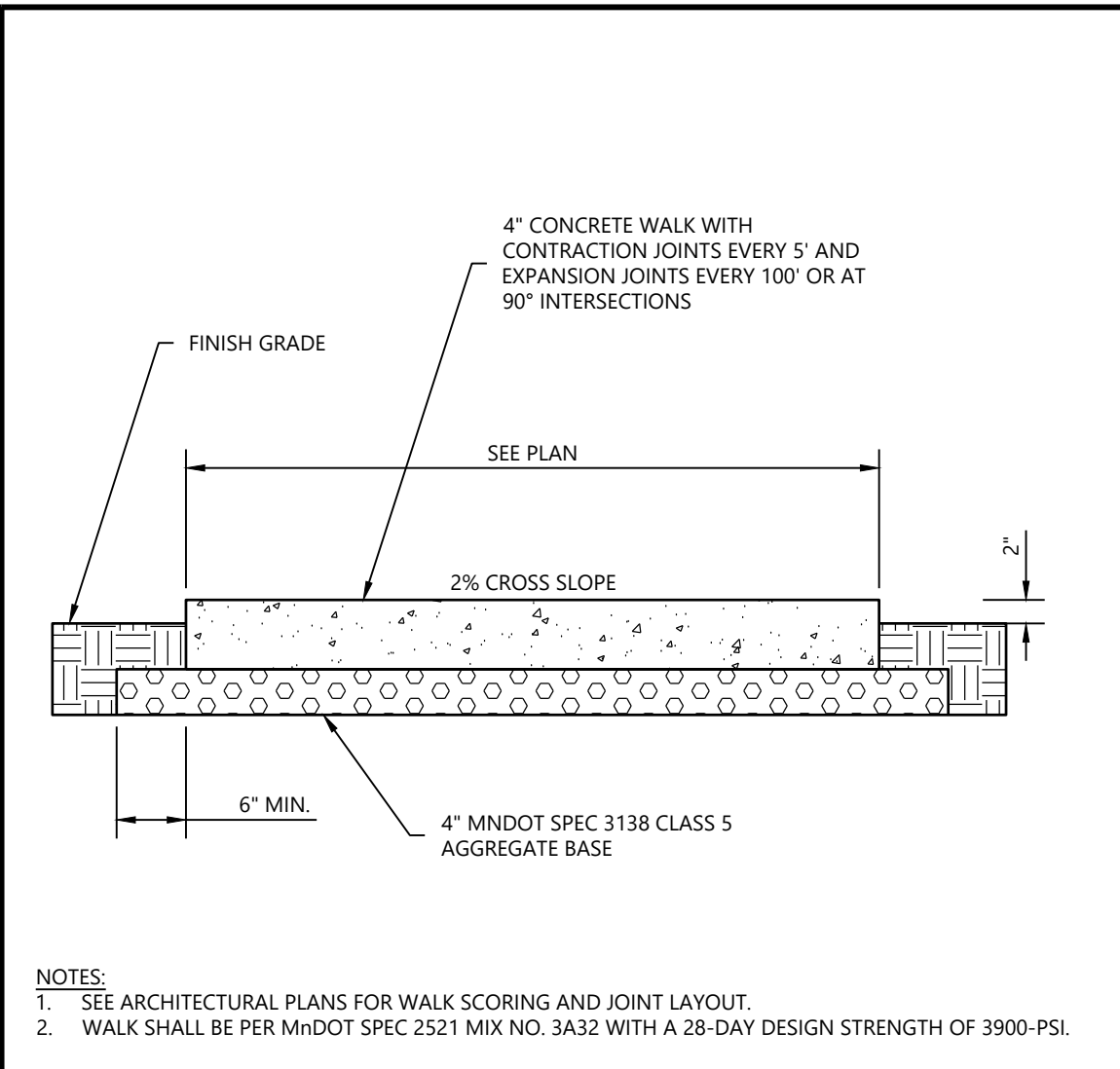
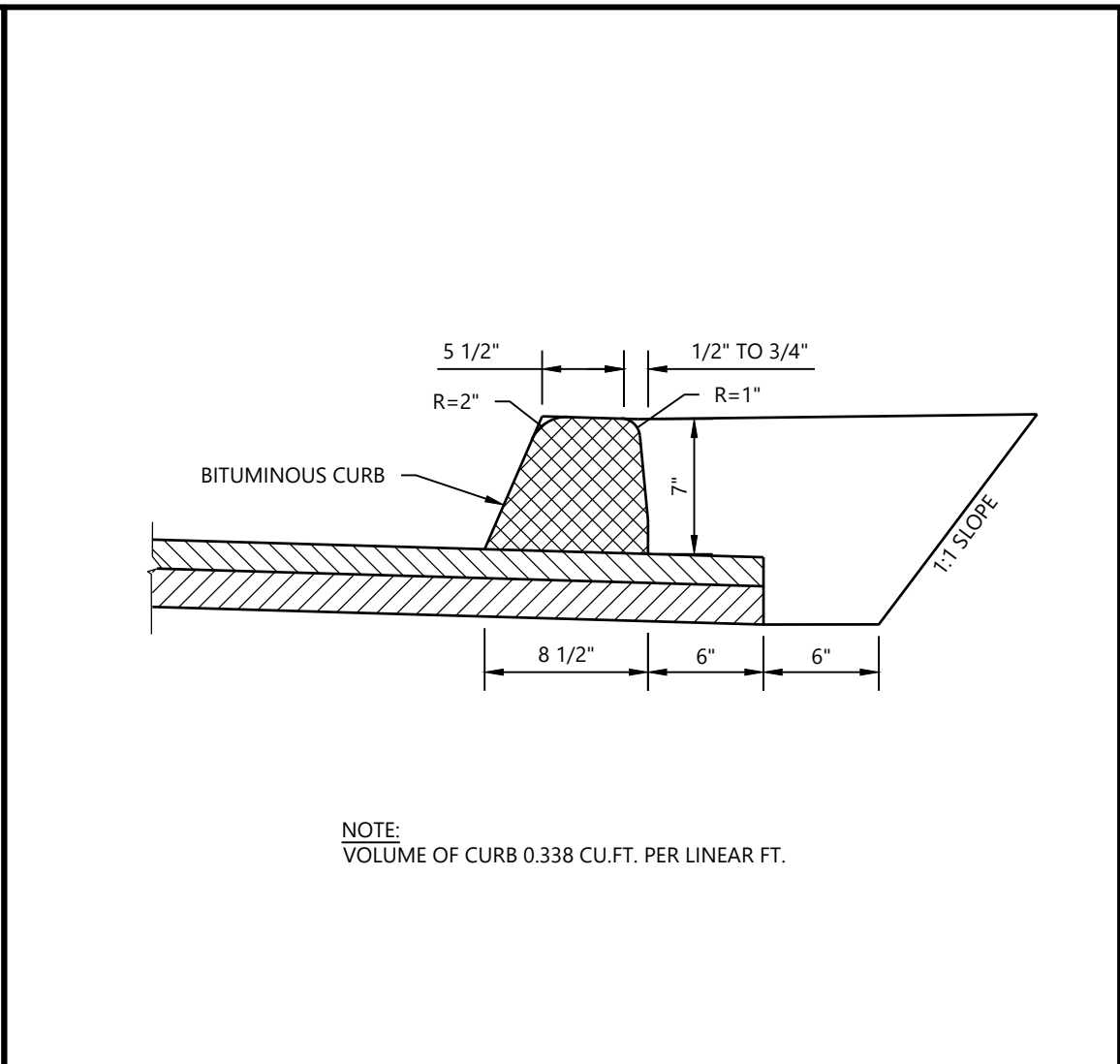
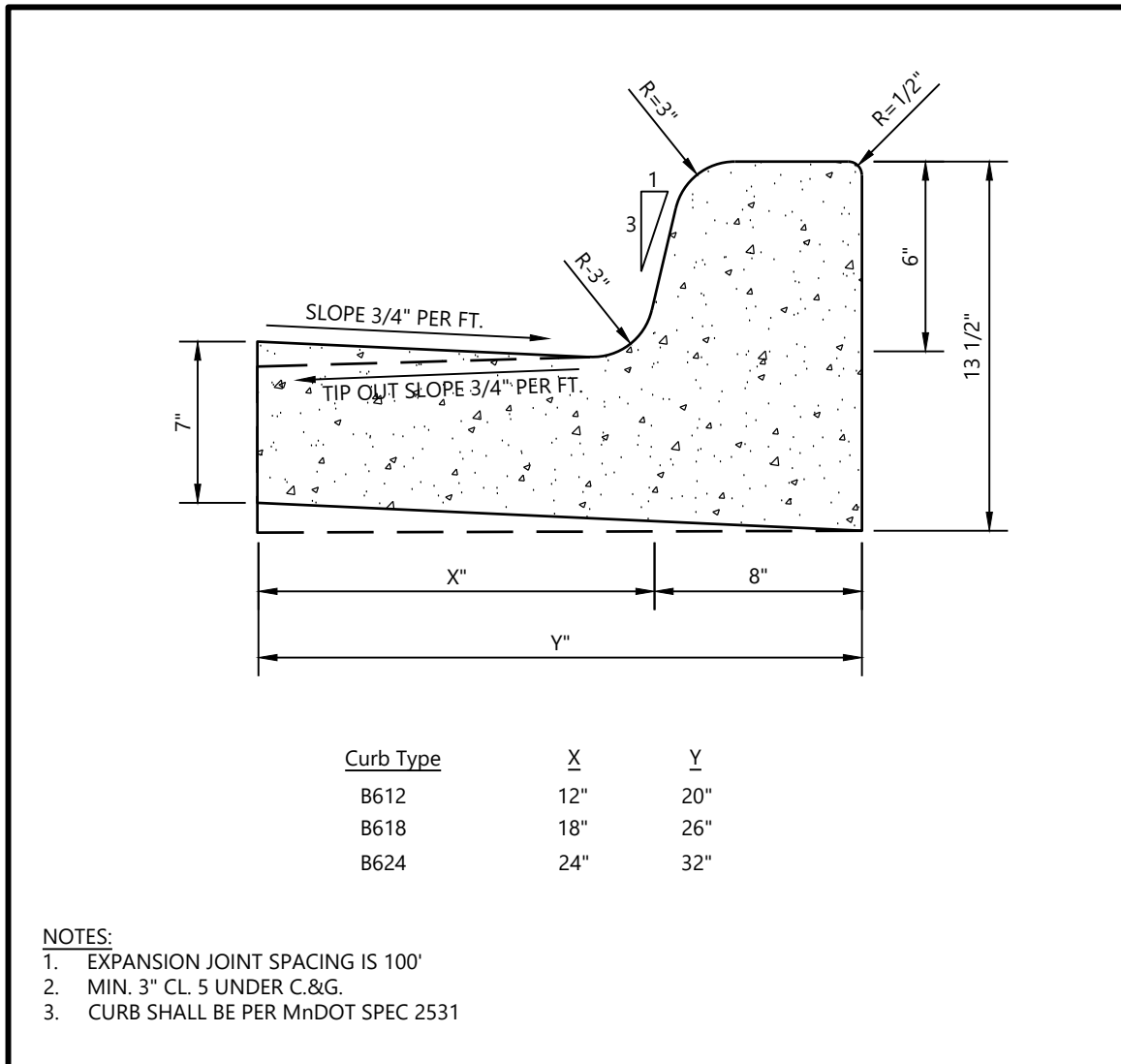
UTILITY PLAN

SHEET NUMBER:

C400

DATE: 09/13/24

PROJECT NUMBER: 0051765.01



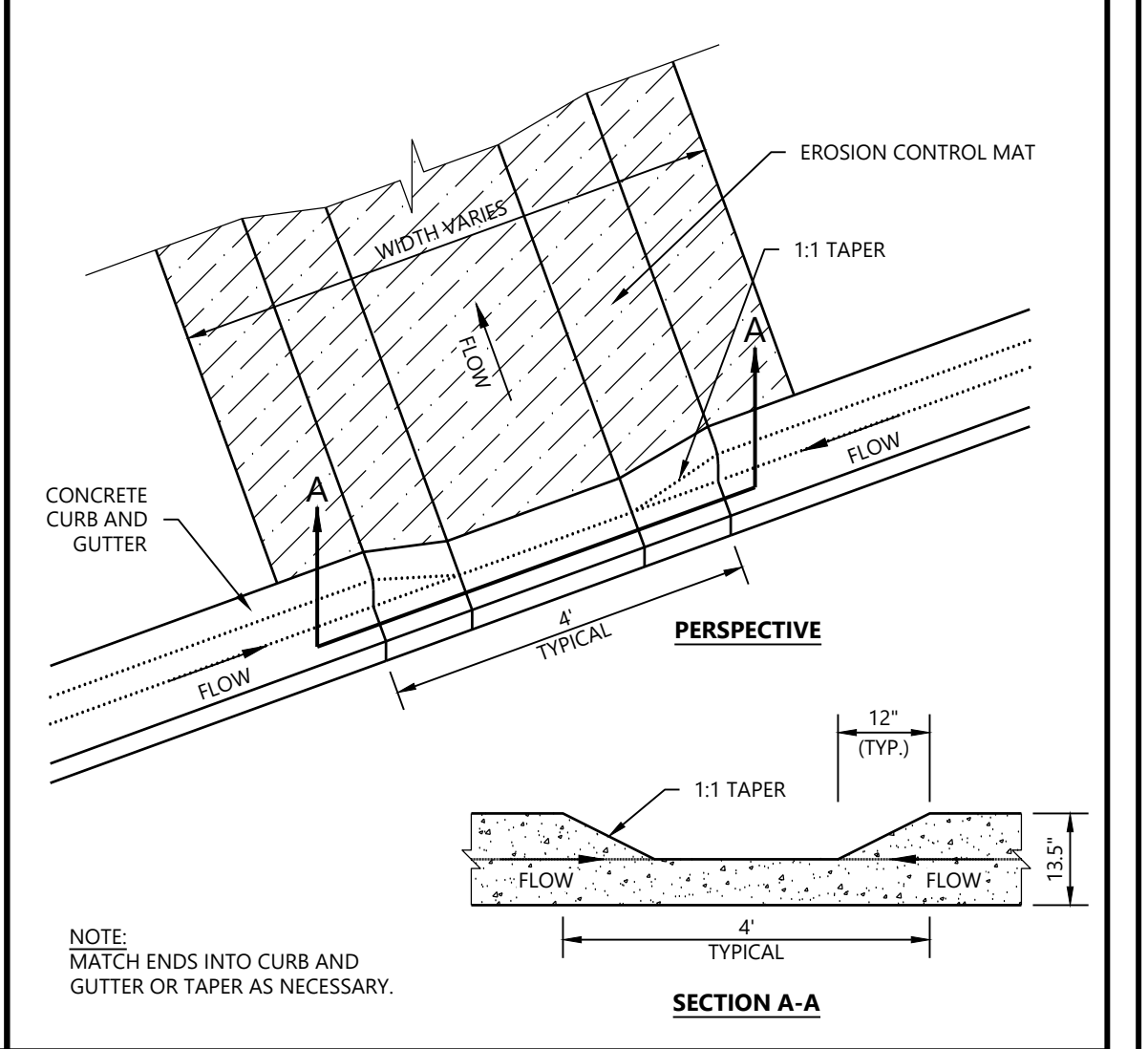
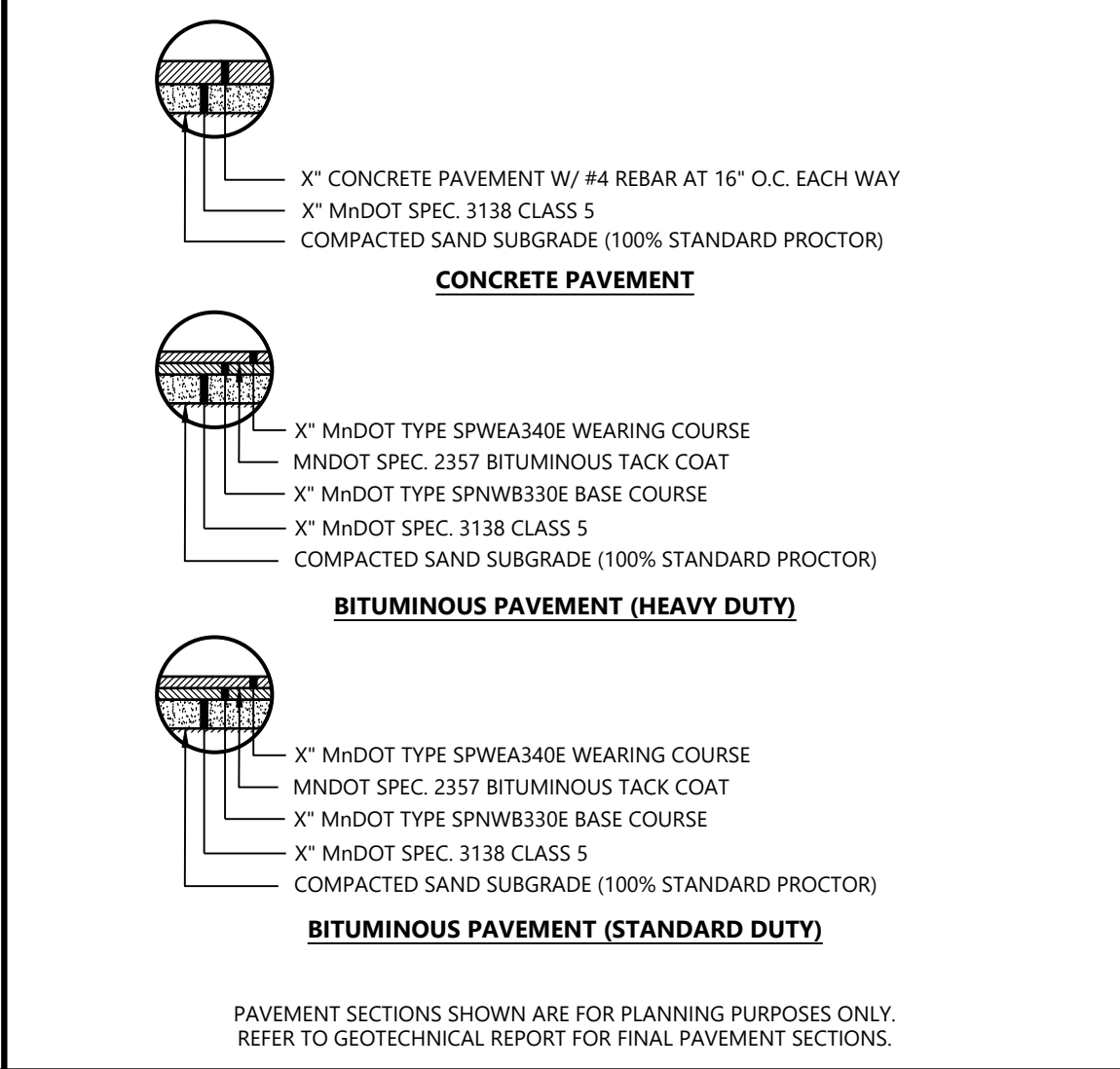
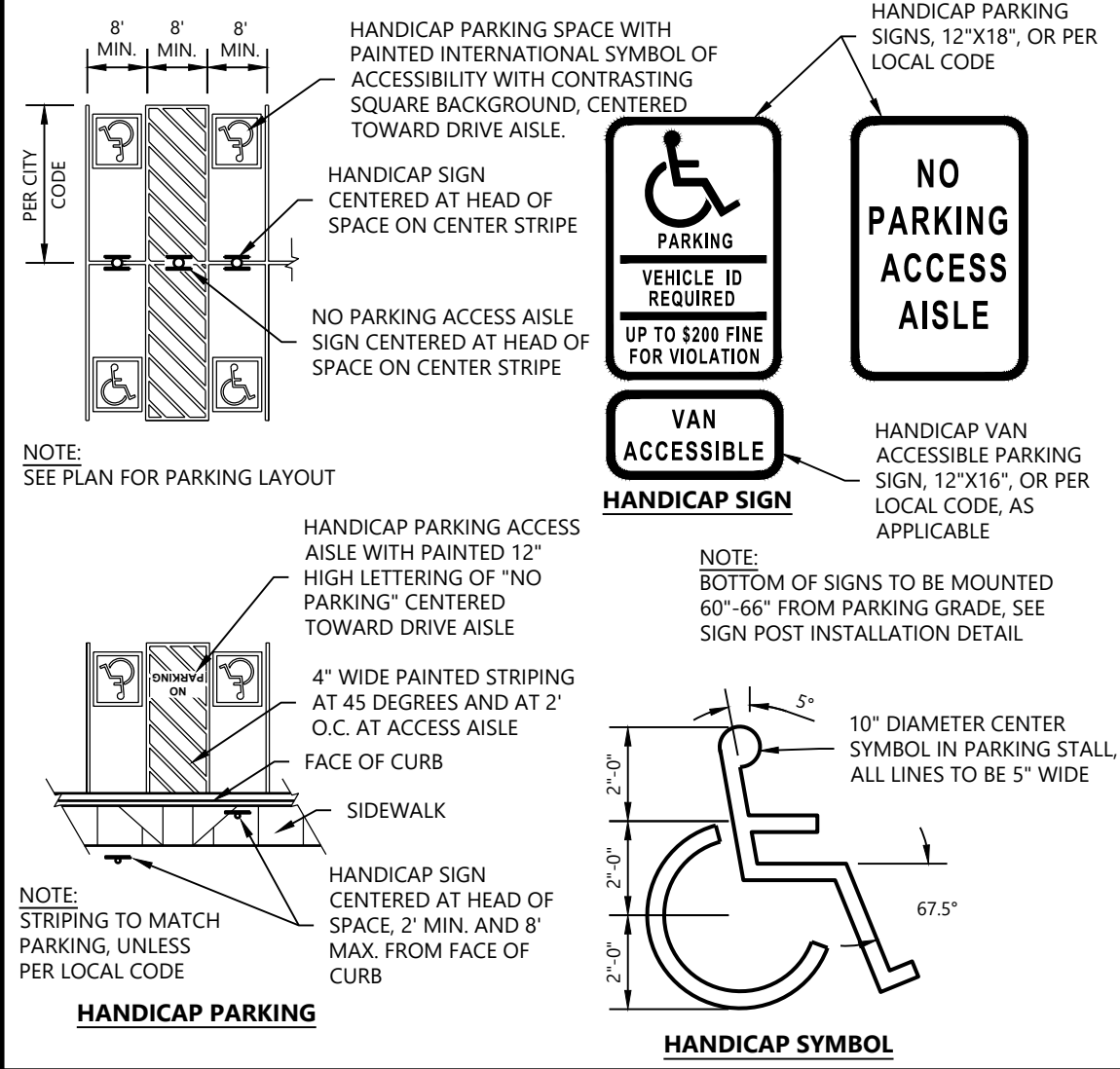
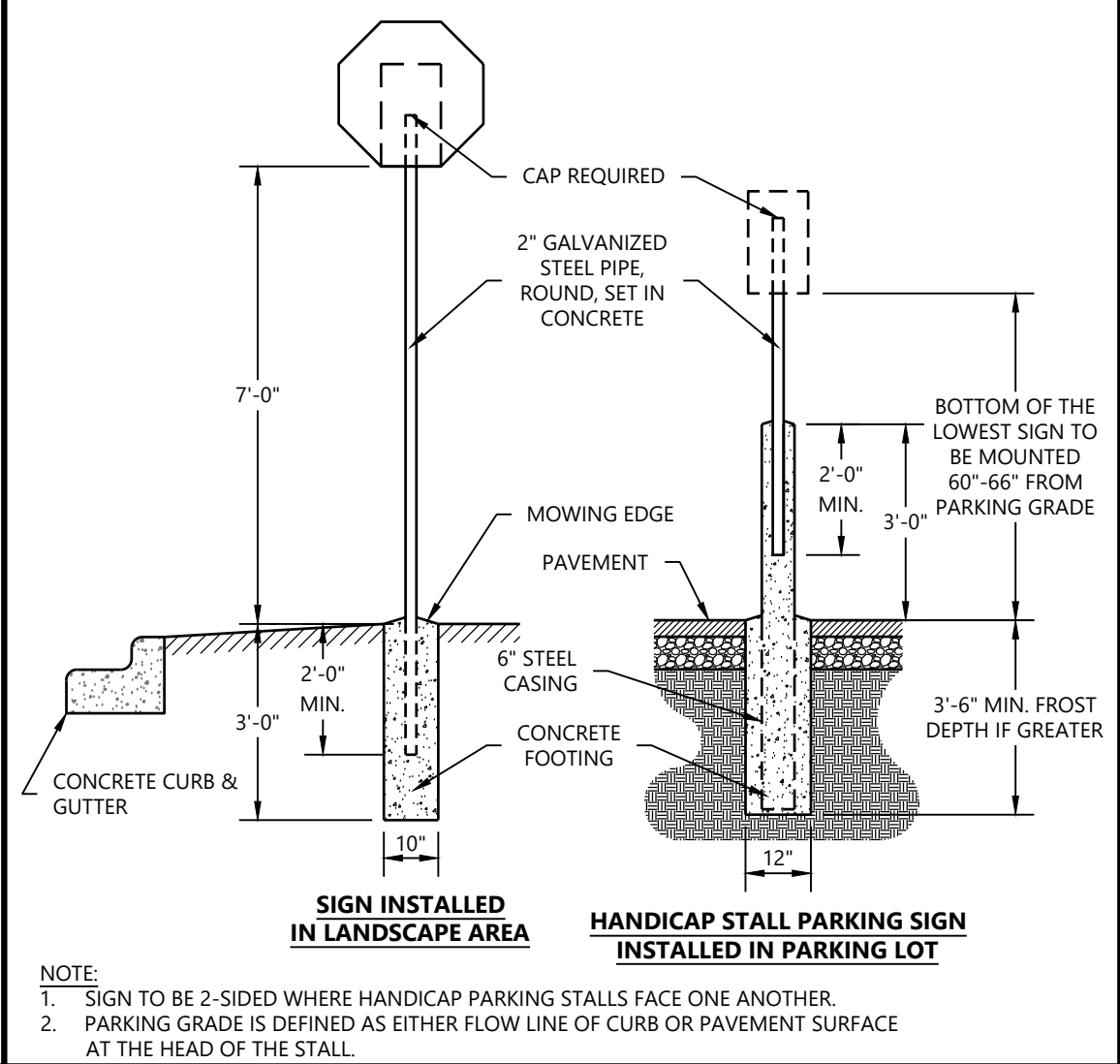
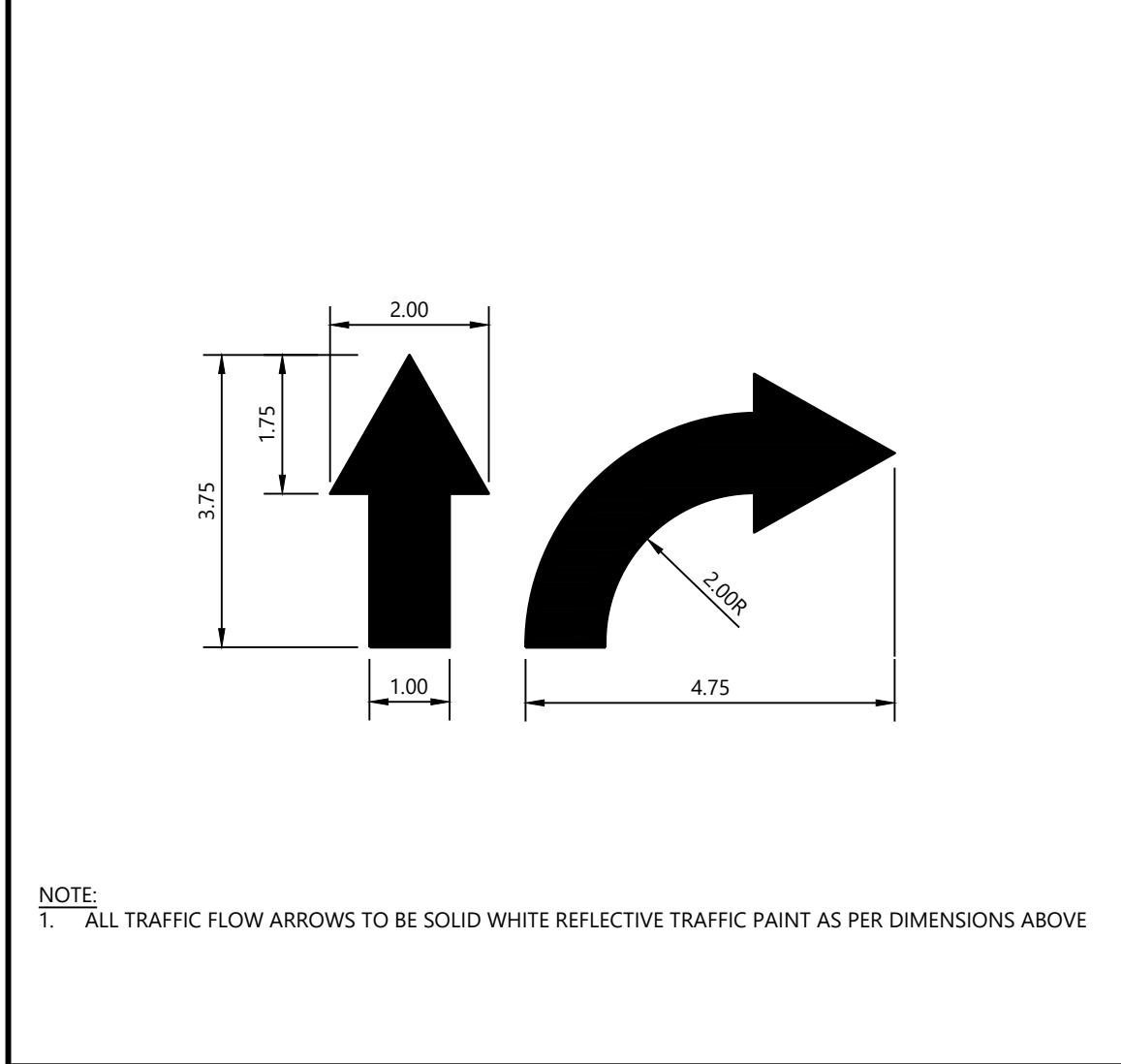
Westwood B6 STYLE CURB AND GUTTER LAST REVISED: 01/09/20 SI01

Westwood BITUMINOUS CURB LAST REVISED: 08/15/17 SI04

Westwood PRIVATE CONCRETE SIDEWALK LAST REVISED: 08/15/17 SI08

Westwood PUBLIC PEDESTRIAN CURB RAMP LAST REVISED: 08/15/17 SI09A

Westwood PUBLIC PARALLEL PEDESTRIAN CURB RAMP LAST REVISED: 08/15/17 SI10A



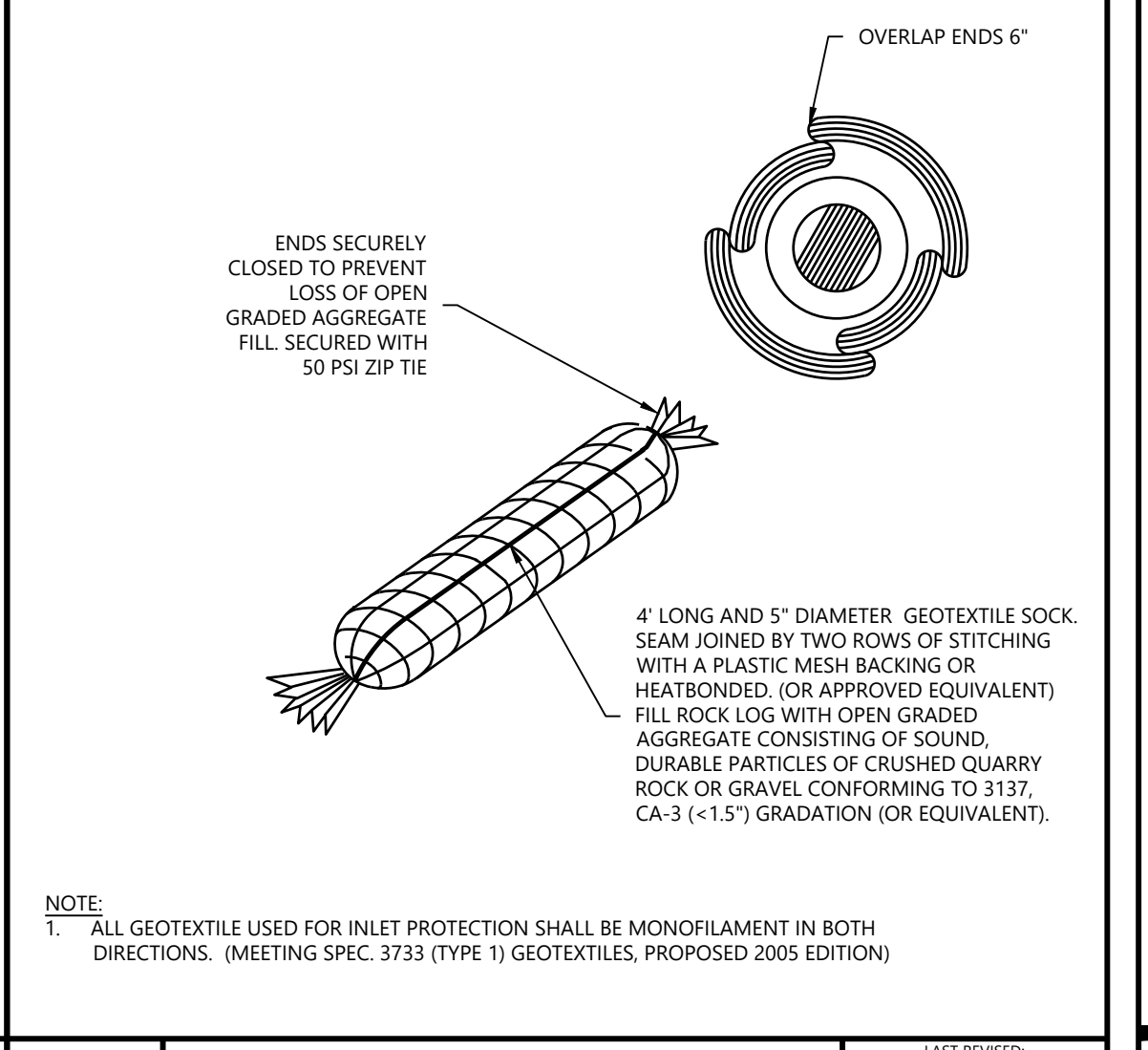
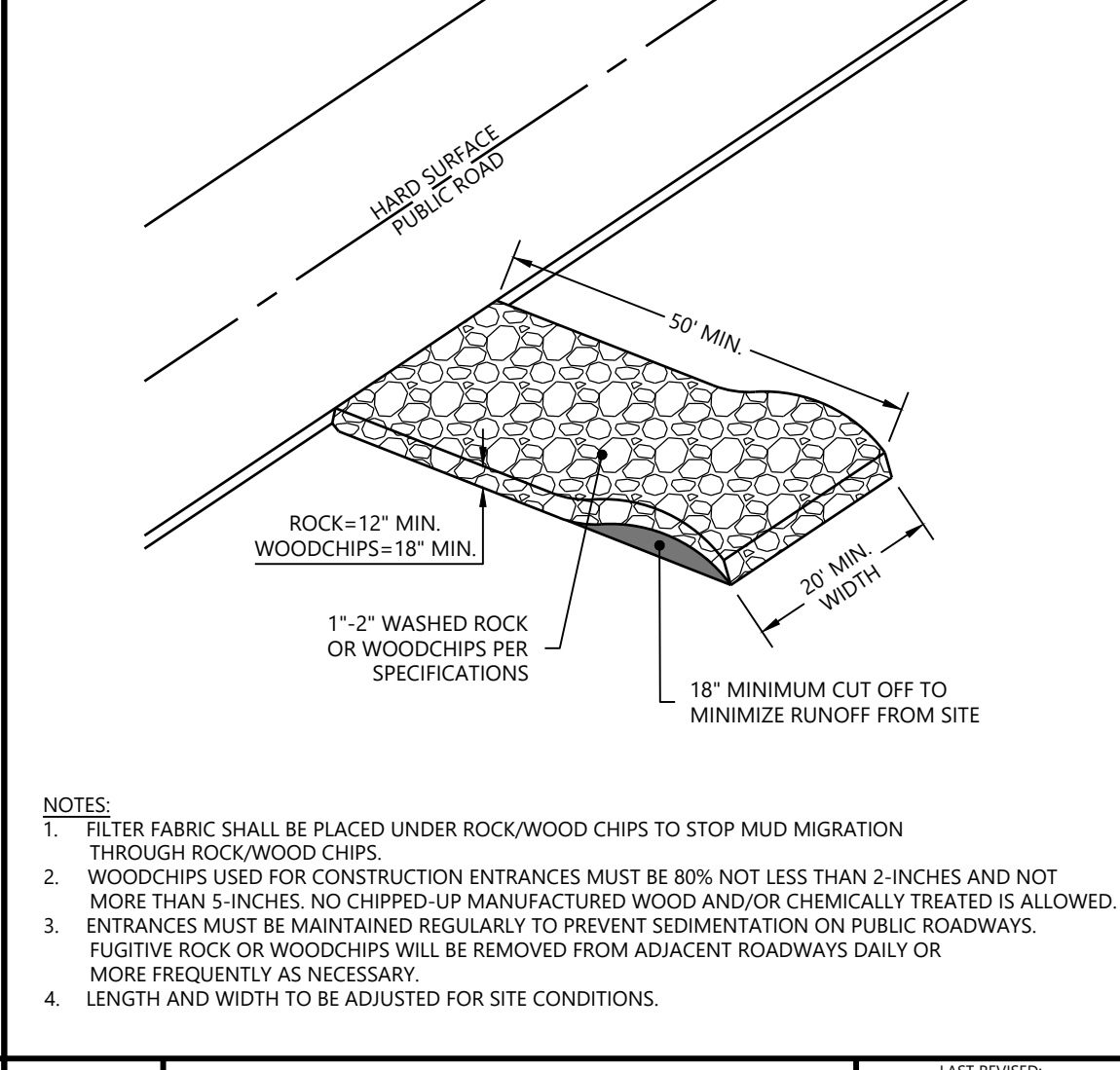
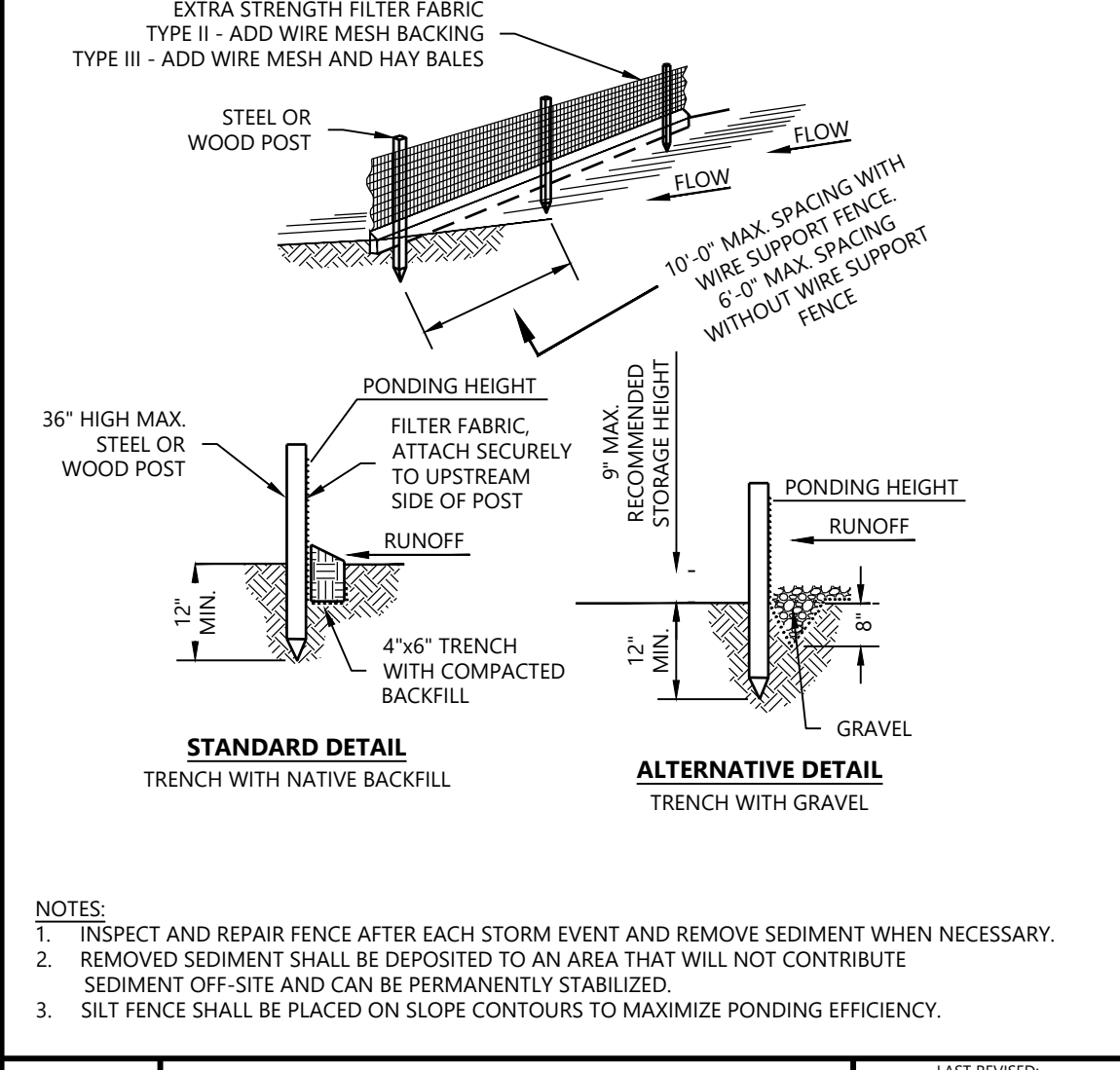
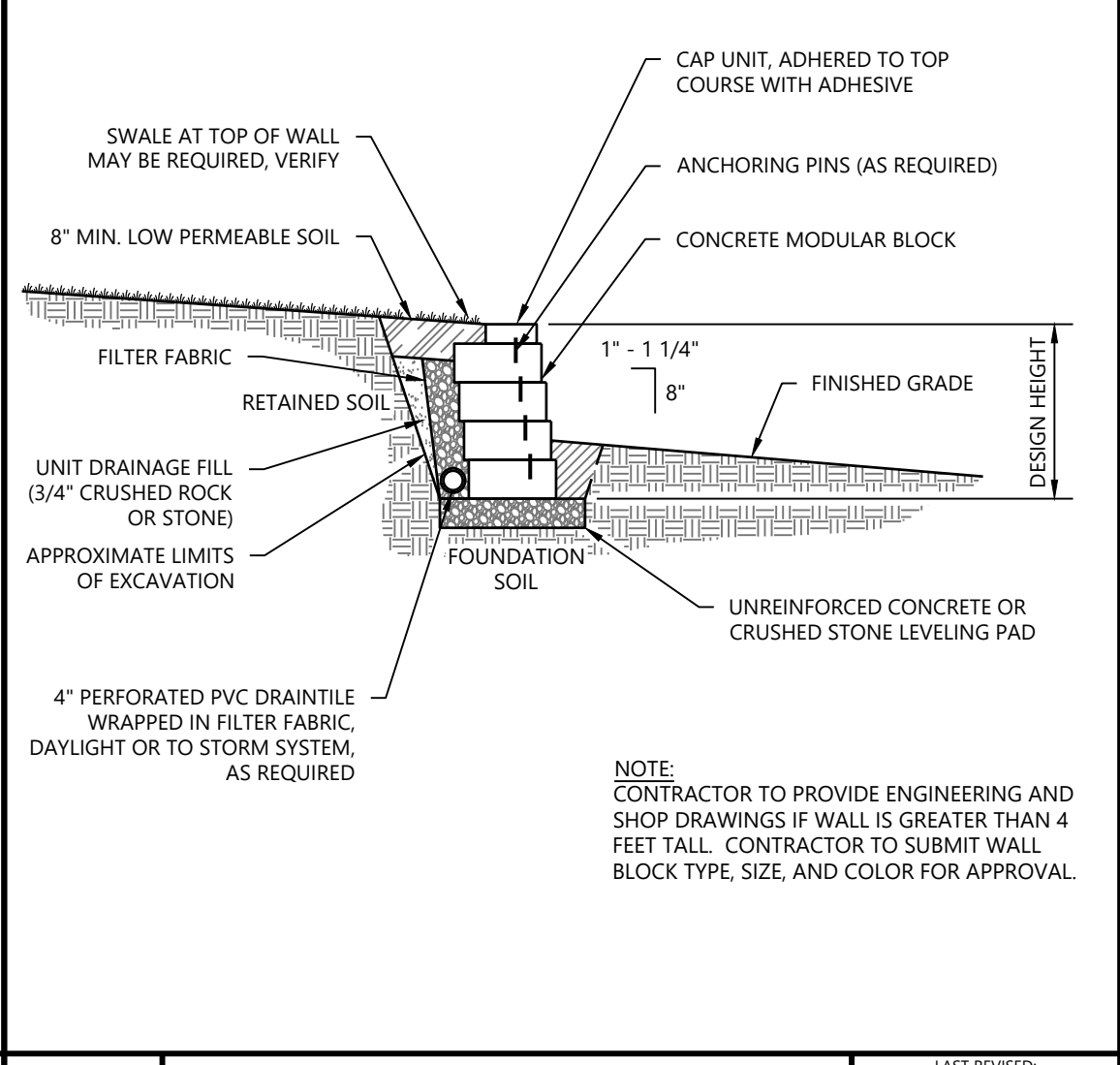
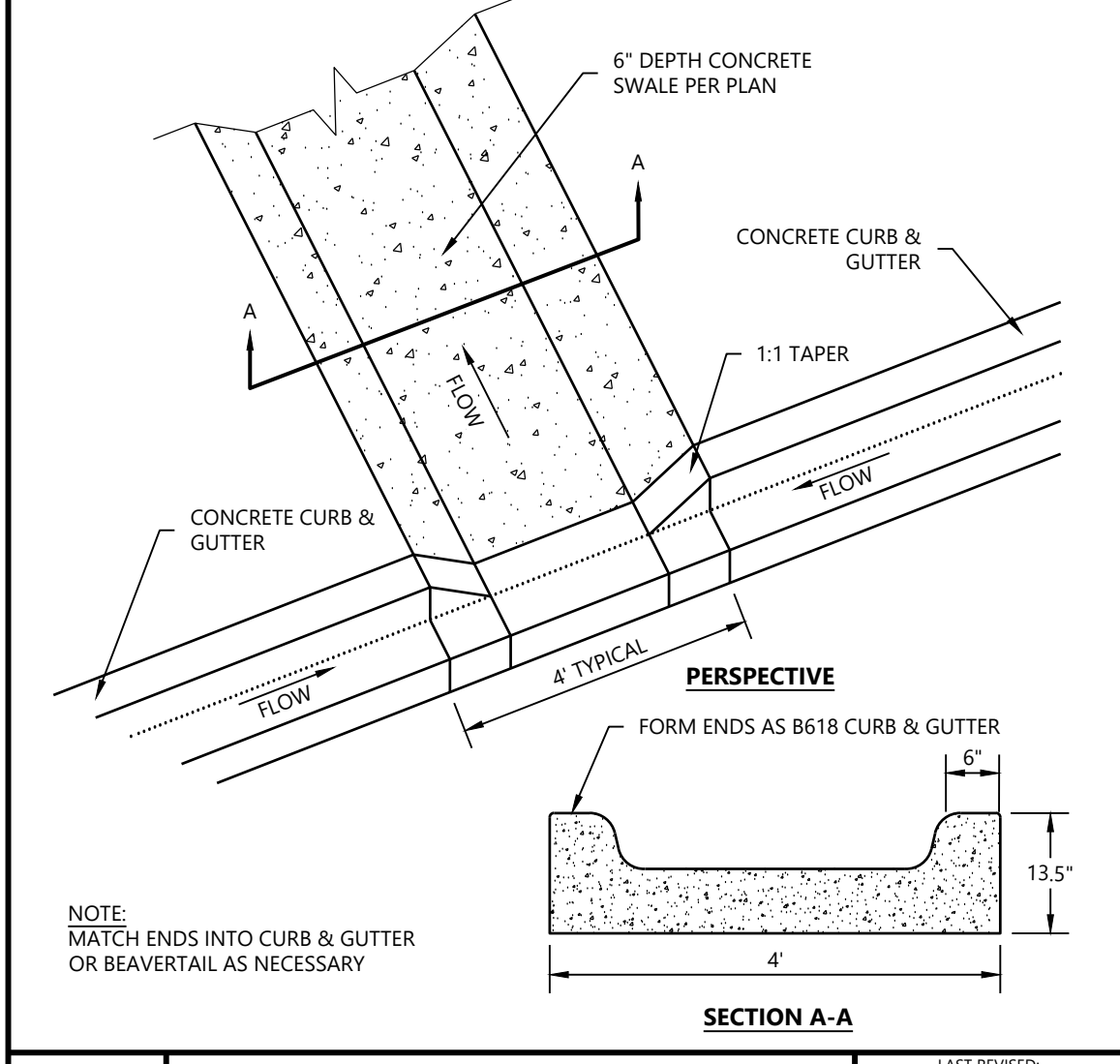
Westwood TRAFFIC ARROW LAST REVISED: 08/15/17 SI13

Westwood SIGN POST INSTALLATION LAST REVISED: 06/15/19 SI14

Westwood ACCESSIBLE SIGNAGE AND STRIPING LAST REVISED: 11/15/23 SI15

Westwood PAVEMENT SECTIONS LAST REVISED: 08/15/17 SI19

Westwood CURB CUT WITH EROSION CONTROL MAT LAST REVISED: 08/15/17 SI25



Westwood CURB CUT WITH CONCRETE SWALE LAST REVISED: 08/15/17 SI33

Westwood MODULAR BLOCK RETAINING WALL LAST REVISED: 08/15/17 SI40

Westwood SILT FENCE LAST REVISED: 08/15/17 GD02

Westwood CONSTRUCTION ENTRANCE LAST REVISED: 08/15/17 GD05

Westwood INLET PROTECTION WITH ROCK LOG LAST REVISED: 08/15/17 GD11

DESIGNED: 05/03/24
CHECKED: 05/17/24
DRAWN: 09/13/24
HORIZONTAL SCALE: #1
VERTICAL SCALE: #1

PREPARED FOR:
STRACK CONSTRUCTION
715 15TH AVE NE
ST. JOSEPH, MN 56374

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GRETCHEN SCHROEDER
09/13/24 LICENSE NO. 43019

CORCORAN DOMINOS
CORCORAN, MN

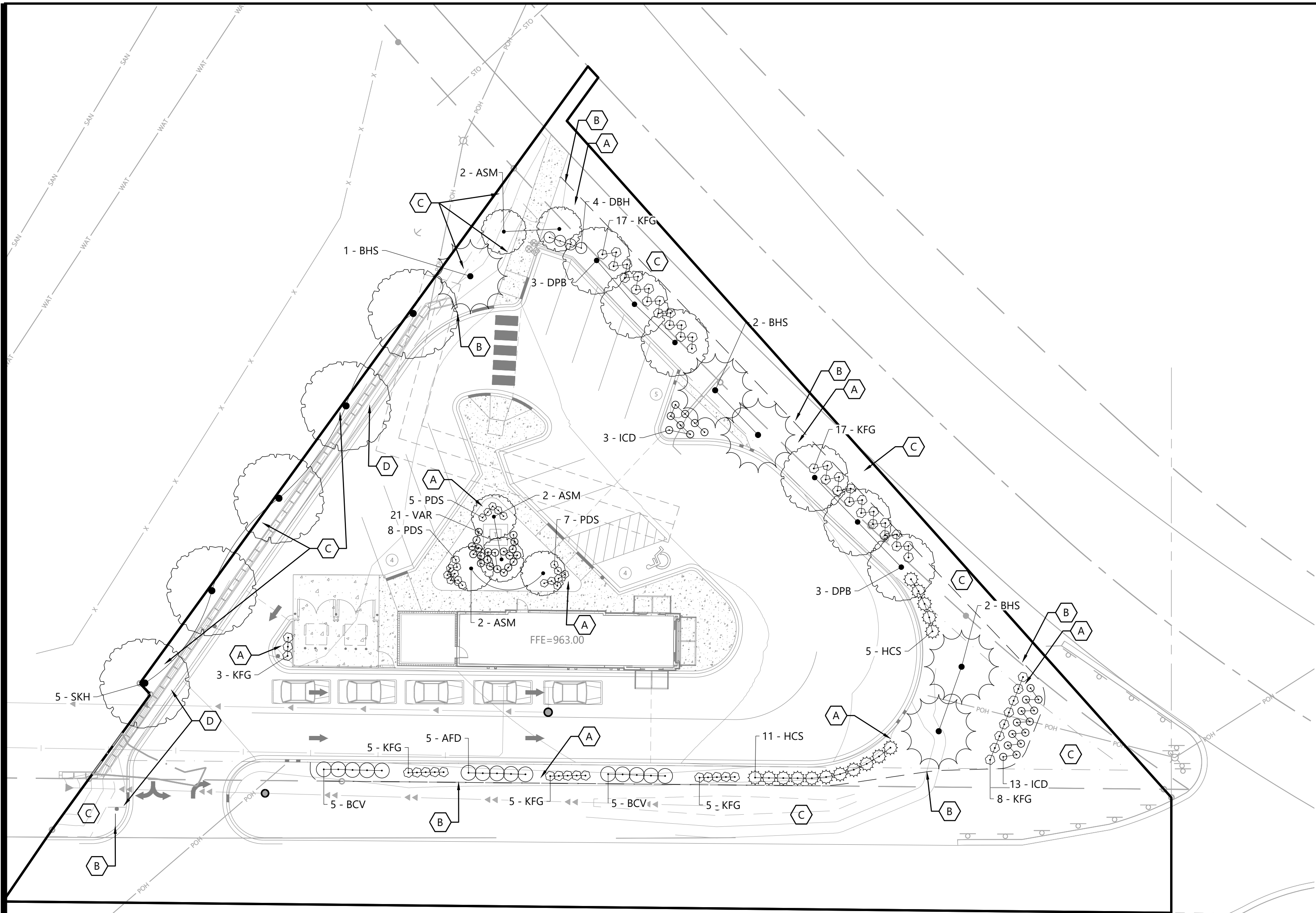
Westwood
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www.westwoodps.com

DETAILS

SHEET NUMBER:
C500

DATE: 09/13/24
PROJECT NUMBER: 0051765.01

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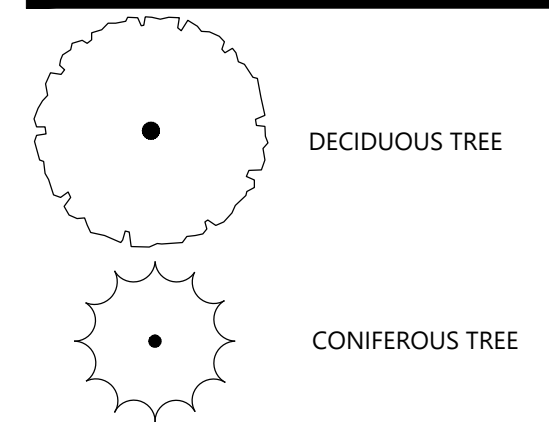


PLANT SCHEDULE

CODE	QTY	COMMON / BOTANICAL NAME	SIZE	SPACING O.C.	MATURE SIZE
CONIFEROUS TREES					
BHS	5	BLACK HILLS WHITE SPRUCE / PICEA GLAUCOA 'DENSATA'	6" HT B&B	AS SHOWN	H 30'-40" W 20'-30"
DECIDUOUS TREES					
ASM	6	APOLLO® SUGAR MAPLE / ACER SACCHARUM 'BARRETT COLE'	2.5" CAL	AS SHOWN	H 30'-40" W 10'-12"
DPB	6	DAKOTA PINNACLE® BIRCH / BETULA PLATYPHYLLA 'FARGO'	2.5" CAL	AS SHOWN	H 40'-50" W 15'-20"
SKH	5	SKYLINE® HONEY LOCUST / GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE'	2.5" CAL	AS SHOWN	H 40'-50" W 30'-35"
CONIFEROUS SHRUBS					
HCS	16	HERMANN NAUE COLORADO SPRUCE / PICEA PUNGENS 'HERMANN NAUE'	#5 CONT.	4'-0" O.C.	H 3'-5" W 3'-5"
DECIDUOUS SHRUB					
AFD	5	ARCTIC FIRE® RED TWIG DOGWOOD / CORNIUS SERICEA 'FARROW'	#5 CONT.	4'-0" O.C.	H 3'-5" W 3'-5"
DBH	4	DWARF BUSH HONEYSUCKLE / DIERVILLA LONICERA	#1 CONT.	3'-0" O.C.	H 2'-3" W 2'-3"
BCV	10	BAILEY'S COMPACT VIBURNUM / VIBURNUM TRILOBUM 'BAILEY COMPACT'	#5 CONT.	4'-0" O.C.	H 3'-5" W 3'-5"
PERENNIALS					
VAR	21	VISION IN RED ASTILBE / ASTILBE CHINENSIS 'VISION IN RED'	#1 CONT.	24" O.C.	H 18"-20" W 18"-24"
ICD	21	ICE CARNIVAL DAYLILY / HEMEROCALLIS X 'ICE CARNIVAL'	#1 CONT.	24" O.C.	H 24"-28" W 18"-24"
GRASSES					
KFG	60	KARL FOERSTER FEATHER REED GRASS / CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	#5 CONT.	30" O.C.	H 4'-5" W 2'-3"
PDS	20	PRAIRIE DROPSEED / SPOROBOLUS HETEROLEPIS	#1 CONT.	24" O.C.	H 2'-3" W 2'-3"

ABBREVIATIONS: B&B = BALLED AND BURLAPPED CAL = CALIPER HT. = HEIGHT MIN. = MINIMUM O.C. = ON CENTER QTY. = QUANTITY CONT. = CONTAINER
NOTE: QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY.

LANDSCAPE LEGEND



LANDSCAPE KEYNOTES

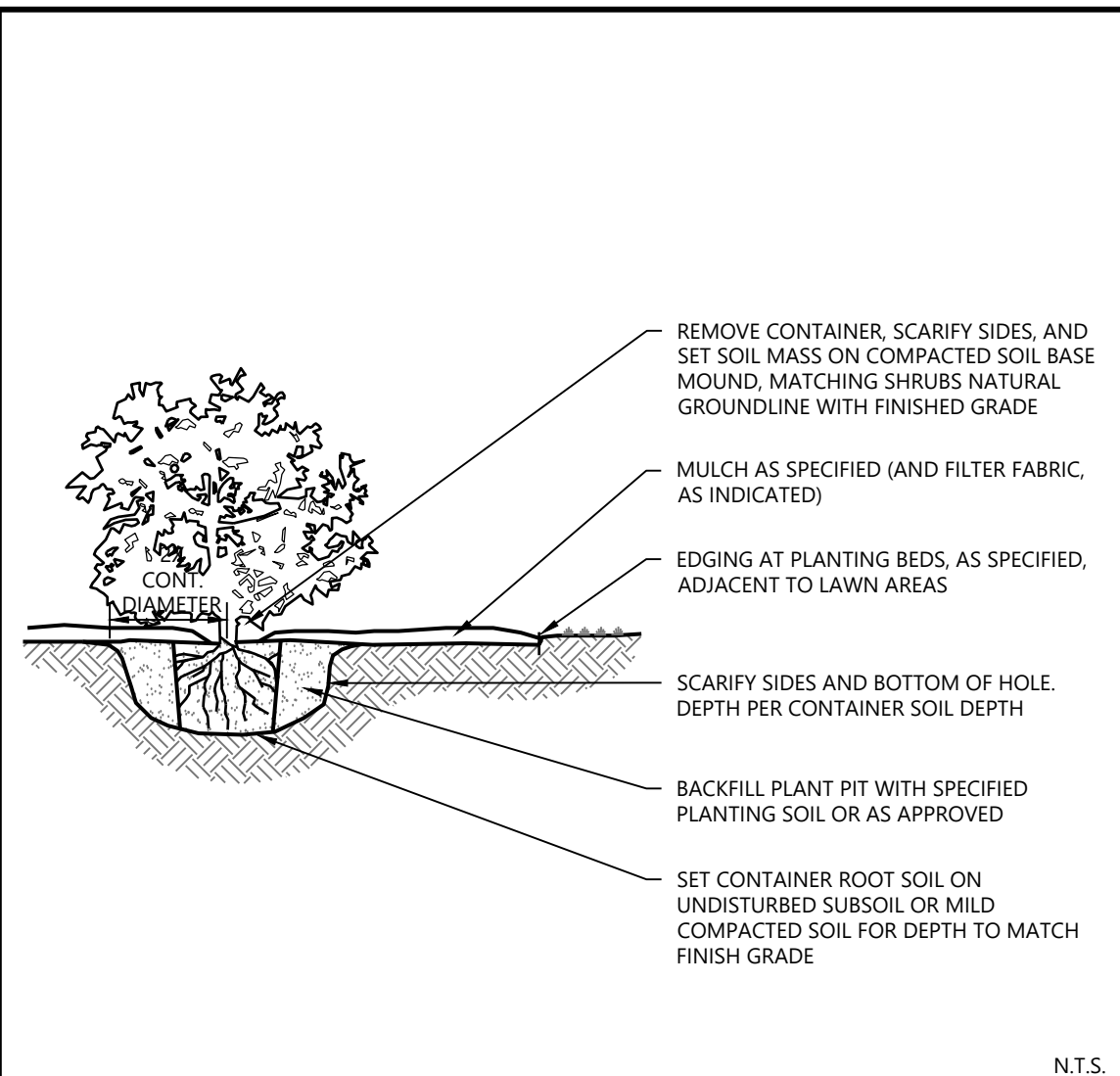
- A SHREDDED HARDWOOD MULCH (TYP.)
- B EDGER (TYP.)
- C SOD (TYP.)
- D ROCK MULCH (TYP.)
- SHRUBS
- PERENNIALS
- EDGER

LANDSCAPE SUMMARY

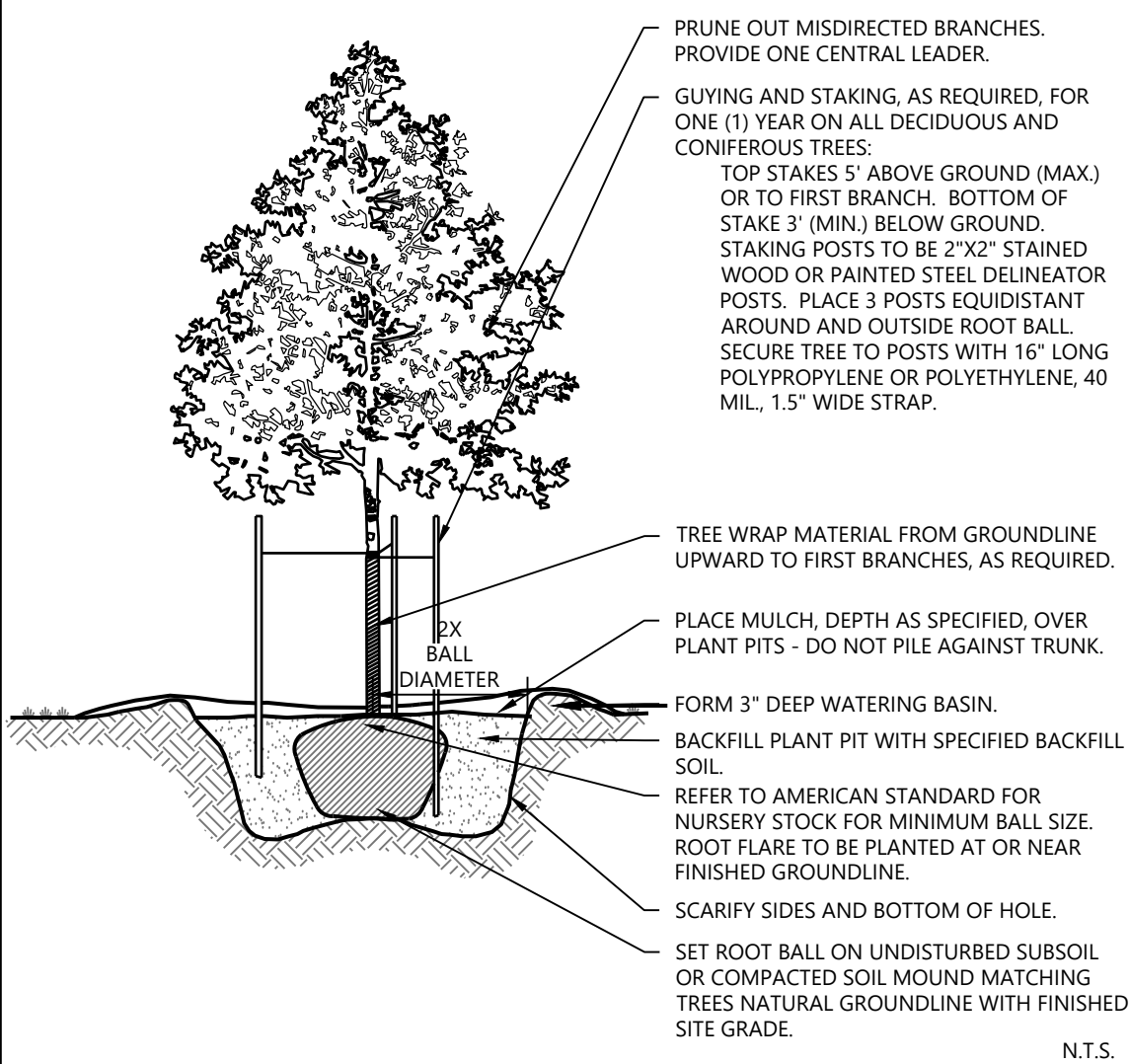
CANOPY/ EVERGREEN TREE REQUIREMENT (THE GREATER OF)
 1 CANOPY/ EVERGREEN TREE PER 1000 SF OF GROSS BUILDING FLOOR AREA (1,122/1000= 1.12= 2 TREES) OR
 1 CANOPY/ EVERGREEN TREE PER 50 LF OF SITE PERIMETER (883/50= 17.66= 18 TREES)
 *50% OF THE CANOPY/ EVERGREEN TREES MAY BE SUBSTITUTED WITH 3 ORNAMENTAL TREES TO ONE CANOPY/ EVERGREEN TREE
 NOT MORE THAN 30% OF THE REQUIRED NUMBER OF TREES SHALL BE COMPOSED OF A SINGLE SPECIES.
 TREES REQUIRED= 18
 TREES PROVIDED= 22
 (5 PROPOSED CONIFEROUS TREES + 17 PROPOSED DECIDUOUS TREES)

SHRUB REQUIREMENT (THE GREATER OF)
 1 SHRUBS PER 300 SF OF GROSS BUILDING FLOOR AREA (1,122/300= 3.74= 4 SHRUBS) OR
 1 SHRUBS PER 30 LF OF SITE PERIMETER (883/30= 29.43= 30 SHRUBS)
 SHRUBS REQUIRED= 30 SHRUBS
 SHRUBS PROVIDED= 35
 (16 PROPOSED CONIFEROUS SHRUBS + 19 PROPOSED DECIDUOUS SHRUBS)

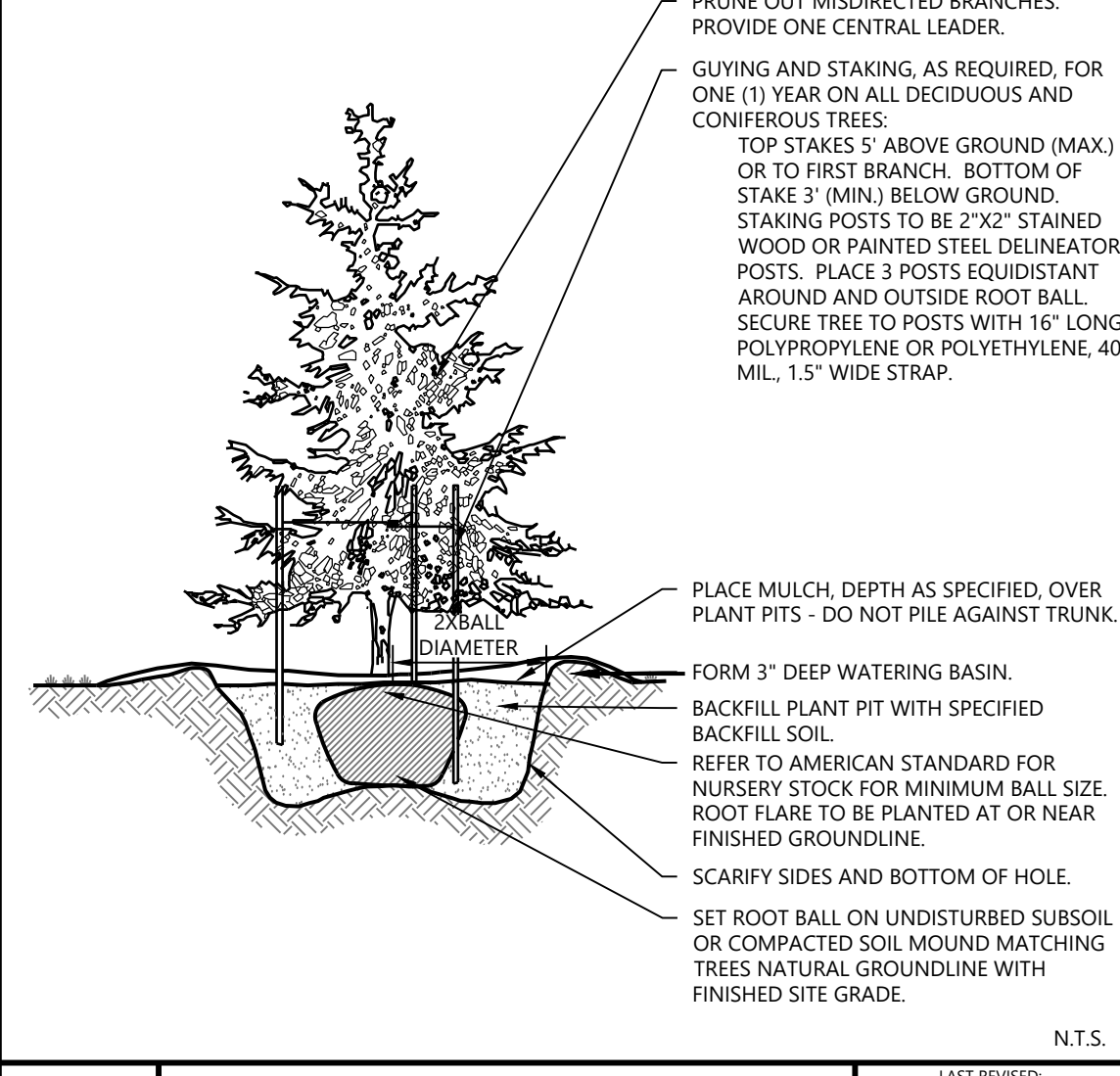
+++CITY REQUIREMENTS MET+++



Westwood SHRUB & PERENNIAL CONTAINER PLANTING
 LAST REVISED: 10/23/18
 LA27-C



Westwood DECIDUOUS TREE PLANTING
 LAST REVISED: 10/19/18
 LA28



Westwood EVERGREEN TREE PLANTING
 LAST REVISED: 10/19/18
 LA29

PLANTING NOTES

- CONTRACTOR SHALL CONTACT COMMON GROUND ALLIANCE AT 811 OR CALL811.COM TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE MATERIAL.
- ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
- CONTRACTOR SHALL PROVIDE TWO YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
- ALL PLANTS TO BE SPECIMEN GRADE, MINNESOTA-GROWN AND/OR HARDY. SPECIMEN GRADE SHALL ADHERE TO, BUT IS NOT LIMITED BY, THE FOLLOWING STANDARDS:
 ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC.
 ALL PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES.
 ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES.
 ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAFING.
 CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH RATIO OF NO LESS THAN 5:3.
- PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
- PLANTS TO BE INSTALLED AS PER MFLA & ANSI STANDARD PLANTING PRACTICES.
- PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.
- PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLAIR IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLAIR. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLAIR SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
- OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.
- PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
- WRAP ALL SMOOTH-BARKED TREES - FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1ST.
- STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR.
- THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.
- BACKFILL SOIL AND TOPSOIL TO ADHERE TO MN/DOT STANDARD SPECIFICATION 3877 (SELECT TOPSOIL BORROW) AND TO BE EXISTING TOP SOIL FROM SITE FREE OF ROOTS, ROCKS LARGER THAN ONE INCH, SUBSOIL, DEBRIS, AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 6" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREE, SHRUBS, AND PERENNIALS.
- MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS. TREE AND SHRUB PLANTING BEDS SHALL HAVE 4" DEPTH OF SHREDDED HARDWOOD MULCH. SHREDDED HARDWOOD MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. PERENNIAL AND ORNAMENTAL GRASS BEDS SHALL HAVE 2" DEPTH SHREDDED HARDWOOD MULCH. MULCH TO BE FREE OF DELETERIOUS MATERIAL AND COLORED RED, OR APPROVED EQUAL. ROCK MULCH TO BE BUFF LIMESTONE, 1 1/2" TO 3" DIAMETER, AT MINIMUM 3" DEPTH, OR APPROVED EQUAL. ROCK MULCH TO BE ON COMMERCIAL GRADE FILTER FABRIC, BY TYPAR, OR APPROVED EQUAL WITH NO EXPOSURE. MULCH AND FABRIC TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. MULCH TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
- EDGING TO BE COMMERCIAL GRADE VALLEY-VIEW BLACK DIAMOND (OR EQUAL) POLY EDGING OR SPADED EDGE, AS INDICATED. POLY EDGING SHALL BE PLACED WITH SMOOTH CURVES AND STAKED WITH METAL SPIKES NO GREATER THAN 4 FOOT ON CENTER WITH BASE OF TOP BEAD AT GRADE. FOR MOWERS TO CUT ABOVE WITHOUT DAMAGE. UTILIZE CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. INDIVIDUAL TREE, SHRUB, OR RAIN-GARDEN BEDS TO BE SPADED EDGE, UNLESS NOTED OTHERWISE. EDGING TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
- ALL DISTURBED AREAS TO BE SODDED OR SEEDED, UNLESS OTHERWISE NOTED. PARKING LOT ISLANDS TO BE SODDED WITH SHREDDED HARDWOOD MULCH AROUND ALL TREES AND SHRUBS. SOD TO BE STANDARD MINNESOTA GROWN AND HARDY BLUEGRASS MIX, FREE OF LAWN WEEDS. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE. SLOPES OF 3:1 OR GREATER SHALL BE STAKED AND PER MN/DOT SPECIFICATIONS. IF NOT INDICATED ON LANDSCAPE PLAN, SEE EROSION CONTROL PLAN.
- PROVIDE IRRIGATION TO ALL PLANTED AREAS ON SITE. IRRIGATION SYSTEM TO BE DESIGN/BUILD BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. CONTRACTOR TO PROVIDE OPERATION MANUALS, AS-BUILT PLANS, AND NORMAL PROGRAMMING. SYSTEM SHALL BE WINTERIZED AND HAVE SPRING STARTUP FIRST YEAR OF OPERATION. SYSTEM SHALL HAVE ONE-YEAR WARRANTY ON ALL PARTS AND LABOR. ALL INFORMATION ABOUT INSTALLATION AND SCHEDULING CAN BE OBTAINED FROM THE GENERAL CONTRACTOR.
- CONTRACTOR SHALL PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
- REPAIR, REPLACE, OR PROVIDE SOD/SEED AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.
- REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.

Call 48 Hours before digging:
811 or call811.com
 Common Ground Alliance

DESIGNED:	
CHECKED:	
DRAWN:	
HORIZONTAL SCALE:	20'
VERTICAL SCALE:	4" = 2'

INITIAL ISSUE:	05/03/24
REVISIONS:	
05/17/24	PERMIT SET
09/13/24	CITY/COUNTY COMMENTS

PREPARED FOR:
STRACK CONSTRUCTION
 715 15TH AVE NE
 ST. JOSEPH, MN 56374

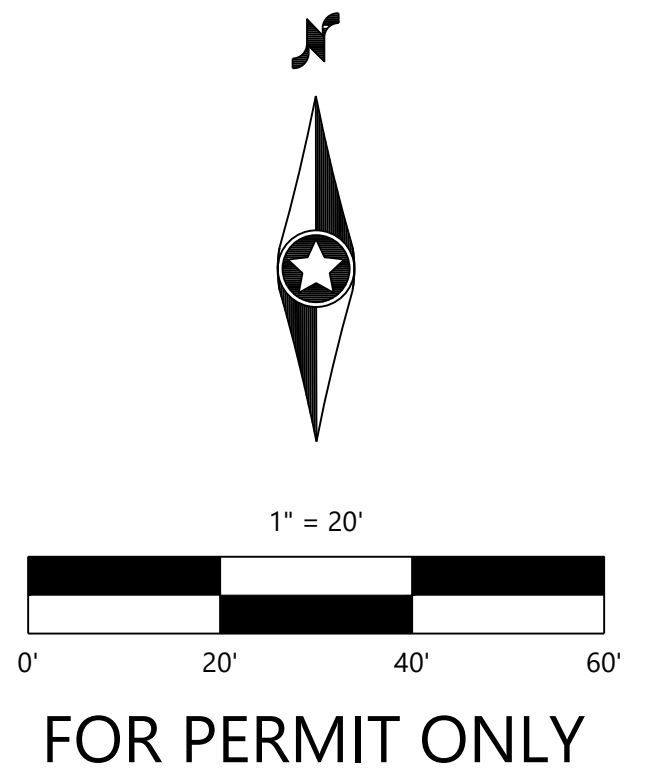
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.
JEFF WESTENDORF
 09/13/24, LICENSE NO. 44018

CORCORAN DOMINOS
 CORCORAN, MN

Westwood
 12701 Winnetka Dr., Suite #800
 Minneapolis, MN 55343
 Phone: (888) 937-5150
 Fax: (888) 937-5150
 Toll Free: (888) 937-5150
 westwoodps.com
 Westwood Professional Services, Inc.

LANDSCAPE PLAN

SHEET NUMBER:
L100
 DATE: 09/13/24
 PROJECT NUMBER: 0051765.01



OWNER ACKNOWLEDGEMENT

THIELEN & GREEN REQUIRES APPROVAL OF THE FOLLOWING PERMIT DOCUMENTS PRIOR TO SUBMITTING FOR CITY PLAN REVIEW. PLEASE REVIEW THE PERMIT DOCUMENTS IN FULL AND MAKE NOTE OF ANY ADDITIONAL CHANGES THAT SHOULD BE ADDRESSED. AN AUTHORIZED SIGNATURE BELOW INDICATES THE APPROVAL OF THIS DESIGN AND AUTHORIZES THIELEN & GREEN TO PROCEED WITH THE PERMITTING PROCESS AS OUTLINE IN THE CONTRACT AGREEMENT.

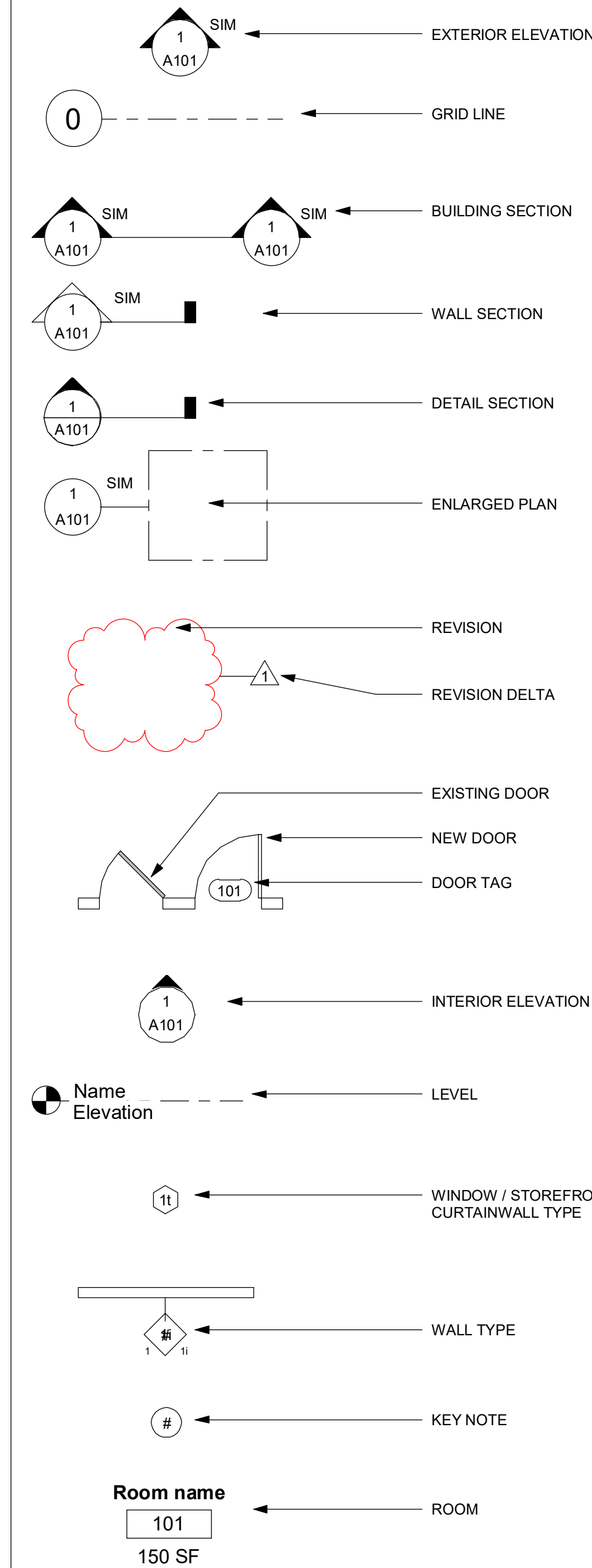
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CLIENT NAME _____ DATE _____

ABBREVIATIONS

ACT	ACOUSTIC CEILING TILE	HT	HEIGHT
ADJ	ADJACENT	INSUL	INSULATION
BD	BOARD	MAX	MAXIMUM
BO	BOTTOM OF	MIN	MINIMUM
BM	BEAM	NIC	NOT IN CONTRACT
CL	CENTER LENE	NTS	NOT TO SCALE
CLG	CENTRING	OC	ON CENTER
CMU	CONCRETE MASONRY UNIT	PLY WD	PLYWOOD
COL	COLUMN	PT	PRESSURE TREATED
CONC	CONCRETE	PTD	PAINTED
DIM	DIMENSION	RO	ROUGH OPENING
EQ	EQUIPMENT	TBD	TO BE DETERMINED
EXIST	EXISTING	TYP	TYPICAL
FLR	FLOOR	UNO	UNLESS NOTED OTHERWISE
FO	FACE OF	VIF	VERIFY IN FIELD
FP	FILLER PANEL	W/	WITH
GYP BD	GYP SUM BOARD	WD	WOOD

SYMBOLS



GENERAL NOTES

- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THEIR SUB-CONTRACTORS, MATERIAL SUPPLIERS, AND/OR THEIR CONSULTANTS TO REVIEW THE CONTRACT DOCUMENTS IN ITS ENTIRETY.
- ITEMS SHOWN IN ONE LOCATION IN THE DRAWINGS AND/OR INCLUDED IN THE SPECIFICATIONS SHALL BE CONSIDERED PART OF THE WORK AND SHALL APPLY AT SIMILAR LOCATIONS THROUGHOUT THE PROJECT. IN THE EVENT OF INCONSISTENCIES BETWEEN THE DRAWINGS PROVIDED THE GENERAL CONTRACTOR SHALL SEEK CLARIFICATION FROM THE ARCHITECT OF RECORD.
- NO DEVIATIONS FROM THE CONTRACT DOCUMENTS, INCLUDING SPECIFICATIONS, SHALL BE MADE WITHOUT WRITTEN APPROVAL FROM THE OWNER AND/OR ARCHITECT.
- DO NOT SCALE DRAWINGS.
- GENERAL CONTRACTOR AND/OR SUB-CONTRACTORS ARE REQUIRED TO VERIFY ALL CONDITIONS PRIOR TO COMMENCING WORK.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CONFIRM WITH THE OWNER AND/OR LANDLORD ANY PROJECT REQUIREMENTS PRIOR TO BIDDING WORK INCLUDING: PRE-APPROVED SUBCONTRACTORS, MATERIALS, CONSTRUCTION REQUIREMENTS, ETC.
- THE GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT IN WRITING ANY DISCREPANCIES, ERRORS AND/OR OMISSIONS PRIOR TO STARTING THAT PORTION OF WORK IN A TIMELY MANNER TO ALLOW REVIEW BY AOR AND OWNER FOR RESPONSE. NO WORK IS TO OCCUR IN AREA OF CONFLICT UNTIL WRITTEN RESPONSE AND APPROVAL IS ACHIEVED BY ALL PARTIES (OWNER, ARCHITECT, GENERAL CONTRACTOR).
- THE GENERAL CONTRACTOR IS TO NOTIFY ARCHITECT AND OWNER IMMEDIATELY ANY HAZARDOUS SUBSTANCES ENCOUNTERED IN THE FIELD.
- ALL WORK SHALL BE PERFORMED BY APPROPRIATE SKILLED PERSONALE AND MATERIALS USED SHALL BE OF FIRST QUALITY.
- THE GENERAL CONTRACTOR IS RESPONSIBLE TO PROTECT THE EXISTING STRUCTURE, FINISHES, LANDSCAPING, MEP SYSTEMS UNLESS REQUIRED TO REMOVE OR REPLACE AS SPECIFIED IN THE CONSTRUCTION DOCUMENTS.
- WATER RESISTANT GYP. BD. SHALL BE USED AT ALL WET LOCATIONS.
- ALL EXISTING WALLS AND/OR FENESTRATION ARE TO REMAIN U.N.O.
- IF REQUIRED, THE GENERAL CONTRACTOR SHALL PREPARE FIRE SPRINKLER DESIGN DRAWINGS, SUBMIT AND RECEIVE APPROVAL PRIOR TO INSTALLATION AS REQUIRED WITH THE LOCAL AGENCIES HAVING JURISDICTION ON THIS PROJECT. THE AUTOMATIC SPRINKLER SYSTEM MUST BE INSTALLED IN ACCORDANCE WITH THE CODES LISTED BELOW AND LOCAL AMENDMENTS. A SEPARATE PERMIT BY DESIGN BUILD ENGINEERING COORDINATED BY THE GENERAL CONTRACTOR IS REQUIRED TO BE SUBMITTED TO THE AUTHORITY HAVING JURISDICTION FOR APPROVAL.
- THE GENERAL CONTRACTOR SHALL PROVIDE ADEQUATE BLOCKING AS DIRECTED BY THE MANUFACTURER FOR ALL WALL MOUNTED EQUIPMENT OR DEVICES, AND SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR ALL ITEMS NOTED AS "BY OWNER" OR "BY OTHERS". DRAWINGS WERE PREPARED USING PRODUCT SPECIFIC CONFIGURATION INFORMATION. ACTUAL DIMENSIONS AND DETAILS OF SELECTED MATERIALS MAY CHANGE BEFORE INCORPORATION INTO THE WORK. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ACCOMMODATING ANY CHANGES TO OTHER MATERIALS THAT ARE NECESSARY BECAUSE OF THESE DIFFERENCES.
- TYPICAL AND PROJECT SPECIFIC DETAILS ARE INCLUDED IN THE DRAWINGS, WHERE DETAILS OR DESIGN INTENT CANNOT BE DETERMINED SEEK CLARIFICATION PRIOR TO COMMENCING WORK.
- ALL WORK SHALL CONFORM TO LAWS, REGULATIONS, CODES AND ORDINANCES OF FEDERAL, STATE, COUNTY, CITY OR ANY OTHER JURISDICTION AS EACH MAY APPLY. IN THE EVENT OF ANY CONFLICT BETWEEN ANY OF THE PROJECT REQUIREMENTS, THE MOST STRINGENT REQUIREMENT SHALL GOVERN.
- EXITS, EXIT SIGNS, FIRE ALARM PANELS, HOSE CABINETS, FIRE EXTINGUISHERS LOCATIONS AND STAIRPIPE CONNECTIONS, AS APPLICABLE, SHALL NOT BE CONCEALED BY CURTAINS, MIRRORS, OR OTHER DECORATIVE MATERIAL.
- ALL EXIT DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT REFER TO INDIVIDUAL SHEETS FOR OTHER GENERAL NOTES SPECIFIC TO THAT SECTION.

GENERAL FIRE DEPT NOTES

- ALL LIFE SAFETY SYSTEMS SHALL BE DESIGNED PER APPLICABLE FIRE PREVENTION CODE - SEE LIFE SAFETY PLAN
- FIE EXTINGUISHER REQUIREMENTS SHALL BE AS DETERMINED BY FIELD INSPECTION AND NFPA 10. THE CONTRACTOR SHALL SUPPLY ALL FIRE EXTINGUISHERS AND CABINETS AS REQUIRED - SEE LIFE SAFETY PLAN FOR SUGGESTED LOCATIONS
- BUILDING ADDRESS NUMBERS SHALL BE PROVIDED ON THE FRONT OF THE BUILDING AND SHALL BE VISIBLE / LEGIBLE FROM THE PUBLIC RIGHT-OF-WAY. SAID NUMBERS SHALL CONTRAST VISUALLY WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE PROVIDED BY THE GENERAL CONTRACTOR
- COMMERCIAL DUMPSTERS OR CONTAINERS WITH A CAPACITY OF ONE-AND-ONE-HALF CUBIC YARDS OR GREATER SHALL NOT BE STORED OR PLACED WITHIN FIVE FEET OF COMBUSTIBLE WALLS, OPENINGS, OR ROOF EAVE LINES UNLESS THESE AREAS ARE PROTECTED BY AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM
- POST "NO PARKING - FIRE LANE" SIGNS ALONG VEHICULAR ACCESS ROADS

NOTES TO BIDDERS

AS REQUIRED BY CHAPTER 1341.0030 IBC SECTION 305. ACCESSIBILITY FOR EXISTING BUILDINGS. SECTION 305.7 ALTERATIONS AFFECTING AN AREA CONTAINING A PRIMARY FUNCTION, PROVIDE SEPARATE LINE ITEMS FOR THE SCOPE OF WORK PERTAINING TO THE FOLLOWING IMPROVEMENTS TO THE ACCESSIBLE ROUTE:

- PARKING FACILITIES
- ACCESSIBLE ENTRANCES
- ACCESSIBLE ROUTE TO THE PRIMARY FUNCTION AREA
- TOILET FACILITIES
- DRINKING FOUNTAINS

THE FOLLOWING ITEMS ARE TO BE LISTED IN THE BID AS SEPARATE LINE ITEM, ADD OR DEDUCT ALTERNATES. REFER TO THE FOLLOWING PLANS FOR ADDITIONAL AND/OR COMPLETE INFORMATION

- N/A

DEFERRED SUBMITTALS

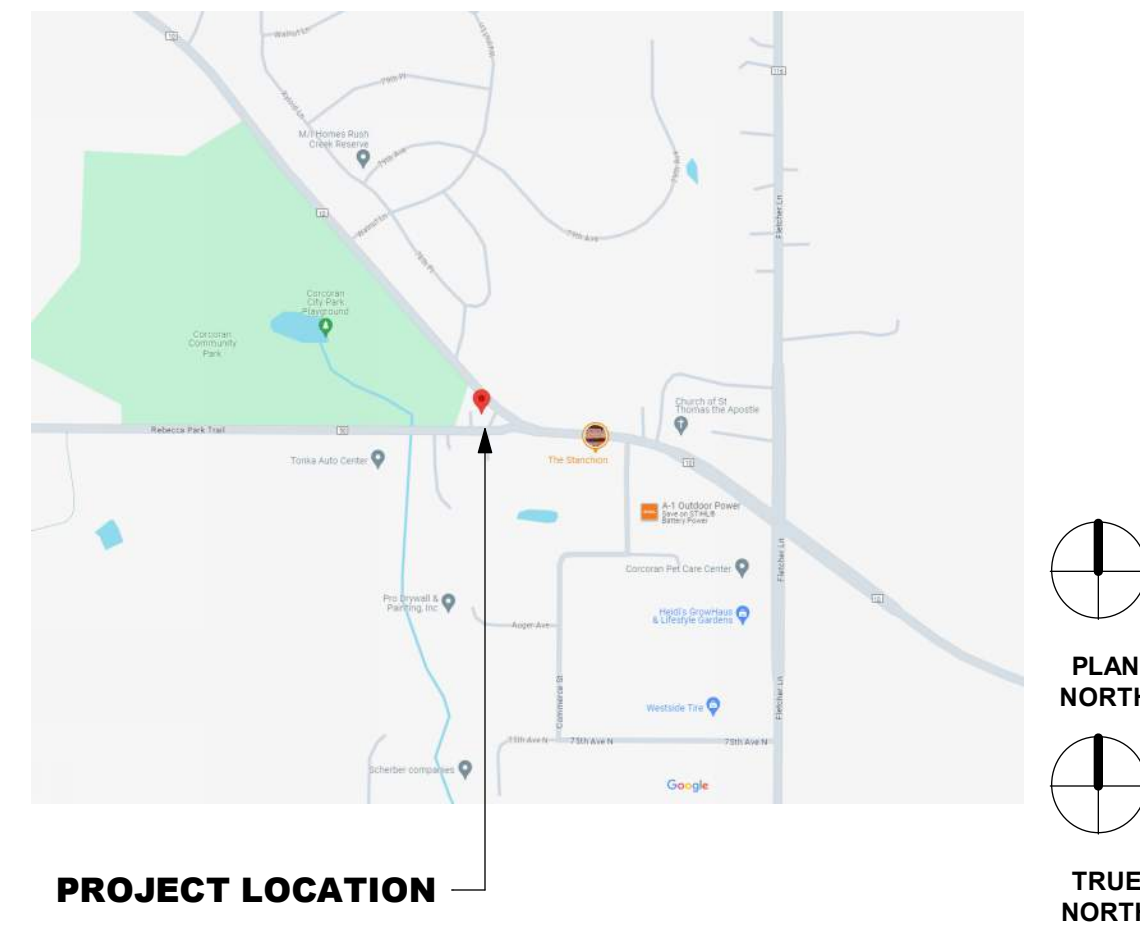
THE FOLLOWING ITEMS WILL BE SUBMITTED AS DEFERRED SUBMITTALS BY THE APPROPRIATE INSTALLING SUBCONTRACTOR OR VENDOR. FOR EACH DEFERRED SUBMITTAL ITEM, THE SUBCONTRACTOR OR VENDOR SHALL FIRST SUBMIT SIGNED AND SEALED ENGINEERED DRAWINGS AND CALCULATIONS TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO SUBMITTAL TO THE BUILDING OFFICIAL OR FIRE MARSHAL. ARCHITECT'S REVIEW WILL BE FOR GENERAL CONFORMANCE WITH THE BUILDING DESIGN ONLY. SUBCONTRACTOR OR VENDOR SHALL BE RESPONSIBLE FOR DETERMINING SUBMITTAL REQUIREMENTS AND PAYMENT OF ALL FEES FOR SUBMITTALS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE TIMING OF SUBMITTALS SO AS TO NOT INTERFERE WITH OVERALL CONSTRUCTION SCHEDULE, ALLOWING TIME FOR APPROPRIATE REVIEWS FOR ARCHITECT AND BUILDING OFFICIAL OR FIRE MARSHAL. NO DELAYS OR TIME EXTENSIONS WILL BE ALLOWED FOR FAILURE TO ALLOW APPROPRIATE TIME FOR REVIEW.

- MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEERING
- IT, LOW-VOLTAGE, AV, DATA, SECURITY
- SIGNAGE (INTERIOR AND/OR EXTERIOR)

SHEET INDEX

NUMBER	SHEET NAME	REVISION
ARCHITECTURAL		
A000	COVER SHEET	
A001	CODE PLAN	
A050	ARCHITECTURAL SITE PLAN	
A100	ARCHITECTURAL FLOOR PLAN	
A580	EXTERIOR ELEVS & SECTION	
A800	ARCHITECTURAL RENDERINGS	
CIVIL		
C200	SITE PLAN	
C400	SANITARY SEWER AND WATERMAIN PLAN	

LOCATION MAP



KEY PLAN



PROJECT DESCRIPTION

*REFER TO SHEET A001 FOR MORE EXTENSIVE CODE REVIEW

PROJECT NAME:	DOMINO'S SHELL	PROPOSED USE:	"B" (CLASSIFICATION)
ADDRESS:	20115 COUNTY RD 10 CORCORAN, MN 55340	BUILDING HEIGHT:	1 STORY (20'-0" MAX)
PID:	2311923430003, 2311923430004	PROJECT AREA:	1,134 GSF
PROJECT DESCRIPTION:	NEW SLAB ON GRADE RETAIL TENANT DOMINOS SHELL BUILDING, EXISTING BUILDING TO BE REMOVED AND LOT(S) REDEVELOPED. PROJECT DELIVERY TO BE DESIGN-BUILD MEP BY THE GENERAL CONTRACTOR. INTERIOR BUILDOUT TO BE SEPERATELY PERMITTED.		

PROJECT TEAM

CLIENT	TEAM HONEY BADGER 1617 US-12 WILLMAR, MN 56201 CONTACT: BLAKE GRAVES EMAIL: BLAKEGRAVES@TEAMHONEYBADGER.COM PHONE: 320-444-5410	GENERAL CONTRACTOR	STRACK CONSTRUCTION CO. INC. 715 15TH AVE NE ST. JOSEPH, MN 56374 CONTACT: MATT STRACK EMAIL: MSTRACK@STRACKCO.COM PHONE: 320-251-5933
ARCHITECT	THIELEN & GREEN 7455 VILLAGE DRIVE, SUITE #110 LINO LAKES, MINNESOTA 55014 CONTACT: KRIS THIELEN - ARCHITECT (MN #59237) EMAIL: KMT@TANDGARCH.COM PHONE: 763-553-7927	MECHANICAL/ELECTRICAL/PLUMBING	THIS PROJECT IS BEING DELIVERED AS DESIGN BUILD MECHANICAL, ELECTRICAL AND PLUMBING BY THE GENERAL CONTRACTOR UNDER A SEPARATE SUBMITTAL(S)
STRUCTURAL ENGINEER	SANDMAN STRUCTURAL ENGINEERS 1587 30TH AVE SOUTH MOORHEAD, MN 56560 CONTACT: JUSTIN SHOENBERG EMAIL: JUSTIN.SHOENBERG@SANDMANSE.COM PHONE: 218-284-3047		
CIVIL ENGINEER	WESTWOOD 12701 WHITEWATER DRIVE, SUITE 300 MINNETONKA, MN 55343 CONTACT: JEFF WESTENDORF EMAIL: JEFF.WESTENDORF@WESTWOODPS.COM PHONE: 952-697-5722		

CITY STAMP AREA

THIELEN & GREEN

7455 VILLAGE DRIVE, SUITE #110
LINO LAKES, MN 55014
763-553-7927
WWW.TANDGARCH.COM



STRACK CONSTRUCTION CO. INC.
715 15TH AVE NE, ST. JOSEPH, MN 56374
320-251-5933
WWW.STRACKCO.COM

DOMINO'S SHELL
20115 COUNTY RD 10
CORCORAN, MN 55340

ISSUE	DATE
SCHEMATIC DESIGN	05/03/2024
P&Z SUBMITTAL	07/02/2024

PRELIMINARY
NOT FOR CONSTRUCTION

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

COVER SHEET

Project Number	358_2024
Date	05/03/2024
Drawn By	CAD
Checked By	KMT

A000

Scale **As indicated**

CODE INFORMATION

APPLICABLE CODES

BUILDING CODE: 2020 MINNESOTA STATE BUILDING CODE
 ENERGY CODE: 2024 MINNESOTA COMMERCIAL ENERGY CODE
 ACCESSIBILITY: 2020 MINNESOTA ACCESSIBILITY CODE
 MECHANICAL: 2020 MECHANICAL AND FUEL GAS CODE
 PLUMBING: 2020 MINNESOTA PLUMBING CODE
 FIRE: 2020 MINNESOTA FIRE CODE
 ELECTRICAL: MINNESOTA ELECTRICAL CODE

CHAPTER 3: USE AND OCCUPANCY CLASSIFICATION

PROPOSED OCCUPANCY: "B" (CLASSIFICATION)

CHAPTER 5: BUILDING HEIGHTS AND AREAS

BUILDING AREA: 1,134 GFA;
 CONSTRUCTION TYPE: V-B
 BUILDING SPRINKLED: NO
 504.3 ALLOWABLE BUILDING HEIGHT: 40'-0"
 504.4 ALLOWABLE STORIES: 2 STORIES
 506.2 ALLOWABLE AREA: 9,000 SF ALLOWABLE

CHAPTER 6: TYPES OF CONSTRUCTION

EXISTING BUILDING CONSTRUCTION TYPE: V-B
 PRIMARY STRUCTURAL FRAME: 0
 EXTERIOR BEARING WALLS: 0
 INTERIOR BEARING WALLS: 0
 NONBEARING EXTERIOR WALLS AND PARTITIONS: 0 (10 < X < 30)
 NONBEARING INTERIOR WALLS AND PARTITIONS: 0
 FLOOR CONSTRUCTION: 0
 ROOF CONSTRUCTION: 0

CHAPTER 8: INTERIOR FINISHES

OCCUPANCY GROUP: "B" (CLASSIFICATION)
 SPRINKLED: NO

803.13 INTERIOR EXIT STAIRWAYS AND RAMP AND EXIT PASSAGEWAYS: B
 CORRIDORS AND EXIT ENCLOSURE FOR EXIT ACCESS STAIRWAYS: B
 ROOMS AND ENCLOSED SPACES: C

CHAPTER 10: MEANS OF EGRESS

1004 ROOM#	FUNCTION OF SPACE: INDOOR ROOM NAME	LOAD FACTOR (PER 1004.5)	OCCUPANT LOAD
100	TENANT SPACE	150 / 789	005.26
101	WALK-IN COOLER	300 / 201	000.67

TOTAL OCCUPANT LOAD: 005.93

1006.2 NUMBER OF EXITS: 1 REQUIRED; 1 PROVIDED
 1006.2.1 COMMON PATH OF EGRESS TRAVEL: <100'-0" REQUIRED; 53'-1" PROV
 1017.2 EXIT ACCESS TRAVEL DISTANCE: <200'-0" REQUIRED; 53'-1" PROV
 1020.1 CORRIDORS CONSTRUCTION: 0-HOUR RATED WITH EXISTING SPRINKLER SYSTEM

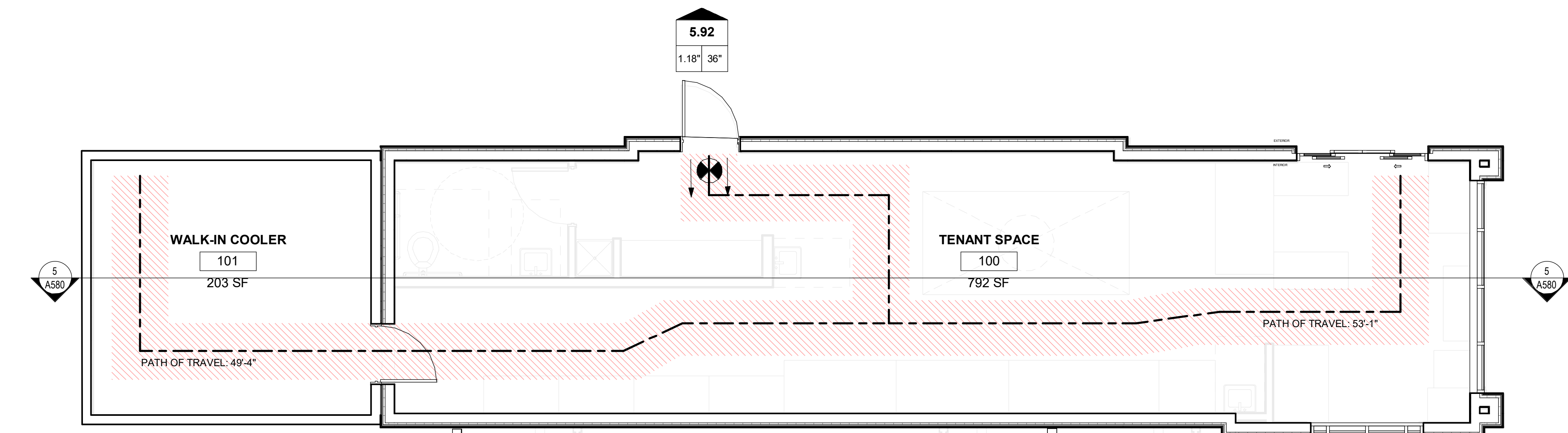
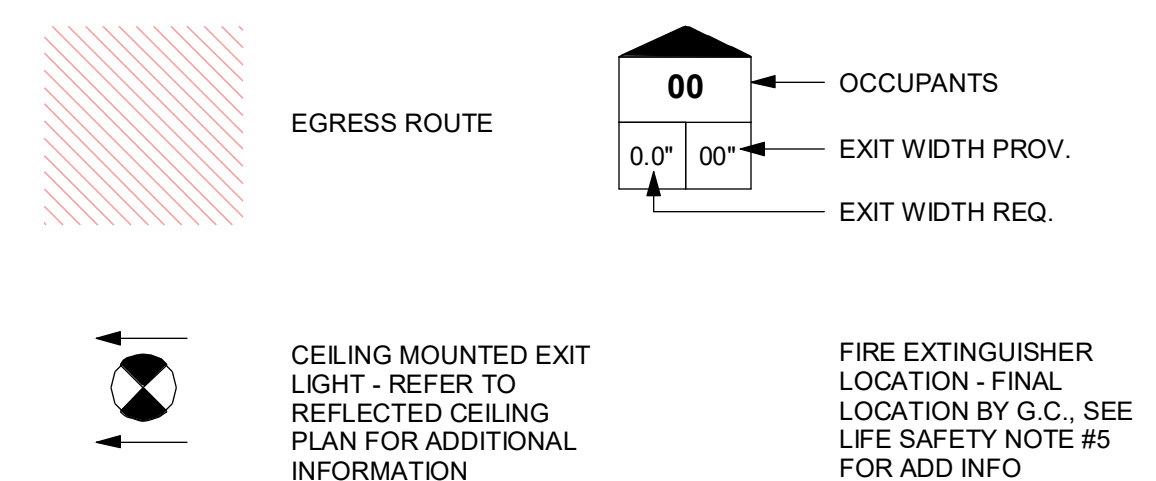
CHAPTER 29: PLUMBING SYSTEMS

2902.01 MINIMUM NUMBER OF FIXTURES
 * TENANT RESTROOMS BY INTERIOR BUILDOUT - SEPERATELY PERMITTED

LIFE SAFETY PLAN NOTES

- REFER TO DOOR SCHEDULE FOR ADDITIONAL ACCESSIBILITY AND/ OR EGRESS REQUIREMENTS
- CONTINUATION OF ACCESSIBLE AND EGRESS ROUTE OF TRAVEL BEYOND THE AREA OF WORK BY OTHERS
- EXITS, EXIT SIGNS, FIRE ALARM PANELS, HOSE CABINETS, FIRE EXTINGUISHER LOCATIONS, AND STANDPIPE CONNECTIONS (AS APPLICABLE) SHALL NOT BE CONCEALED BY CURTAINS, MIRRORS, OR OTHER DECORATIVE MATERIAL(S) ALL EXIT DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT
- FIRE EXTINGUISHER ARE TO BE PROVIDED AS REQUIRED BY THE MINNESOTA FIRE CODE. MULTI-PURPOSE EXTINGUISHERS REQUIRE A MINIMUM RATING OF 4A:2BC (10 LB) AND SPACED WITH MAXIMUM TRAVEL DISTANCE OF 75'-0 FROM ANY POINT TO A FIRE EXTINGUISHER. K-CLASS PORTABLE FIRE EXTINGUISHERS ARE REQUIRED IN COMMERCIAL KITCHENS. D-CLASS PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED IN MACHINE SHOPS

CODE PLAN LEGEND



CITY STAMP AREA

THIELEN & GREEN

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 320-251-5933
 WWW.STRACKCO.COM

DOMINO'S SHELL

20115 COUNTY RD 10
 CORCORAN, MN 55340

ISSUE	DATE
SCHEMATIC DESIGN	05/03/2024
P&Z SUBMITTAL	07/02/2024

PRELIMINARY
 NOT FOR CONSTRUCTION

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

CODE PLAN

Project Number: 358_2024
 Date: 05/03/2024
 Drawn By: AUTHOR
 Checked By: KMT

A001

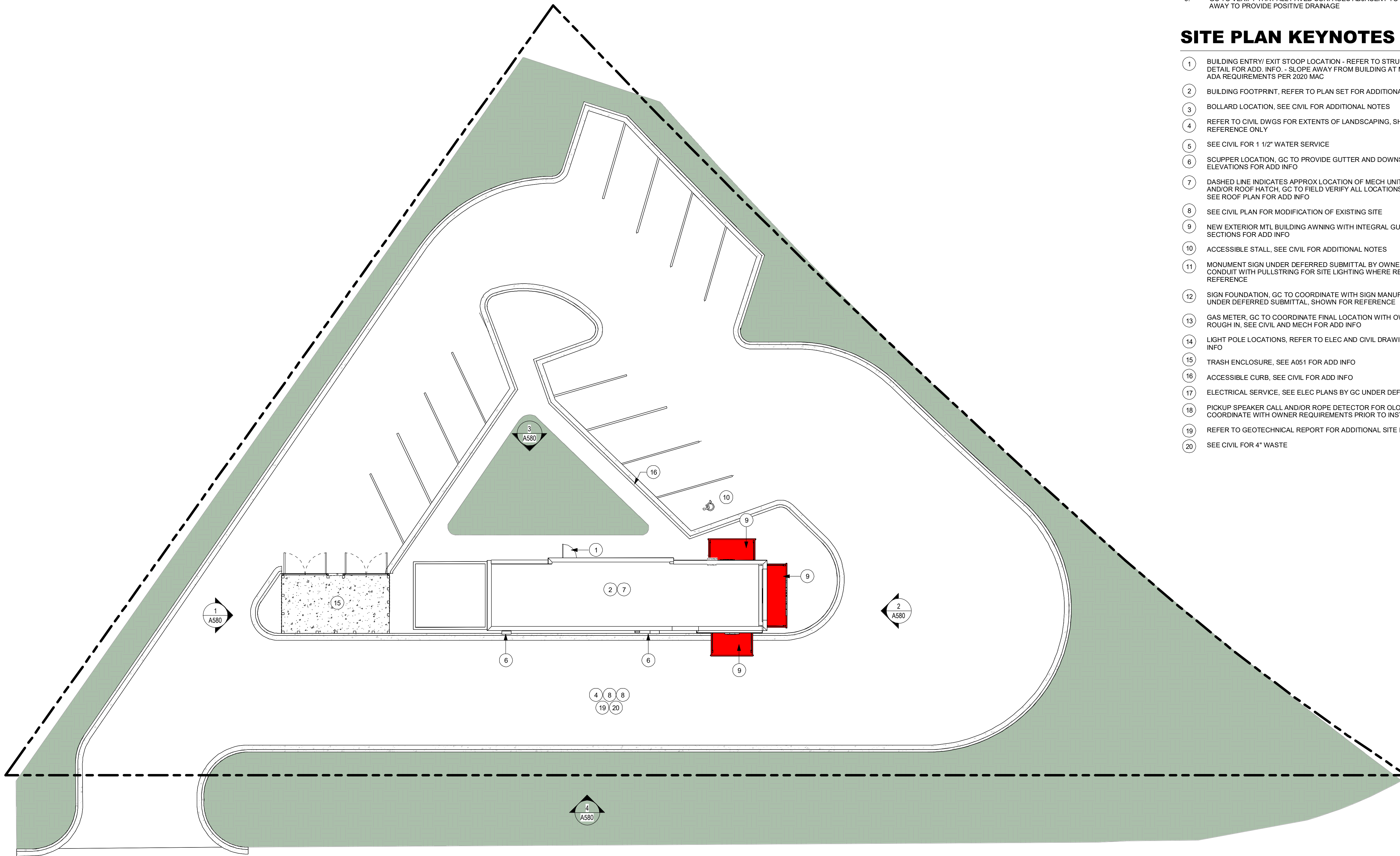
Scale: **As indicated**

GENERAL SITE PLAN NOTES

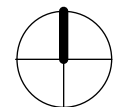
1. ARCHITECTURAL SITE PLAN IS FOR REFERENCE ONLY - CIVIL ENGINEERING IS A DEFERRED SUBMITTAL PROVIDED BY THE OWNER AS NEEDED, NOT IN CONTRACT
2. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW - TYPICAL
3. ALL SIGNAGE SHOWN FOR REFERENCE ONLY - PROVIDED BY OTHERS UNDER A DEFERRED SUBMITTAL
4. ALL EXTERIOR LIGHTING SHOWN FOR REFERENCE ONLY - REFER TO DESIGN-BUILD ELECTRICAL DRAWINGS FOR ADD. INFO. - REFER TO EXTERIOR ELEVATIONS FOR BUILDING MOUNTED FIXTURES - COORDINATE FINAL LOCATIONS WITH OWNER IN FIELD PRIOR TO INSTALLATION
5. GC TO VERIFY THAT ALL ENTRANCE LANDINGS ARE FLUSH WITH FINISHED FLOOR AND PATCH/REPAIR AS REQUIRED
6. GC TO VERIFY THAT ALL PAVED SURFACES ADJACENT TO THE BUILDING SLOPE AWAY TO PROVIDE POSITIVE DRAINAGE

SITE PLAN KEYNOTES

1. BUILDING ENTRY/ EXIT STOOP LOCATION - REFER TO STRUCT TYPICAL STOOP DETAIL FOR ADD. INFO. - SLOPE AWAY FROM BUILDING AT MAX 2% - MAINTAIN ADA REQUIREMENTS PER 2020 MAC
2. BUILDING FOOTPRINT, REFER TO PLAN SET FOR ADDITIONAL NOTES
3. BOLLARD LOCATION, SEE CIVIL FOR ADDITIONAL NOTES
4. REFER TO CIVIL DWGS FOR EXTENTS OF LANDSCAPING, SHOWN FOR REFERENCE ONLY
5. SEE CIVIL FOR 1 1/2" WATER SERVICE
6. SCUPPER LOCATION, GC TO PROVIDE GUTTER AND DOWNSPOUT, REFER TO ELEVATIONS FOR ADD INFO
7. DASHED LINE INDICATES APPROX LOCATION OF MECH UNIT, EXHAUST FAN AND/OR ROOF HATCH, GC TO FIELD VERIFY ALL LOCATIONS DURING BIDDING, SEE ROOF PLAN FOR ADD INFO
8. SEE CIVIL PLAN FOR MODIFICATION OF EXISTING SITE
9. NEW EXTERIOR MTL BUILDING AWNING WITH INTEGRAL GUTTER, REFER TO SECTIONS FOR ADD INFO
10. ACCESSIBLE STALL, SEE CIVIL FOR ADDITIONAL NOTES
11. MONUMENT SIGN UNDER DEFERRED SUBMITTAL BY OWNER, GC TO PROVIDE CONDUIT WITH PULLSTRING FOR SITE LIGHTING WHERE REQ, SHOWN FOR REFERENCE
12. SIGN FOUNDATION, GC TO COORDINATE WITH SIGN MANUF FOR REQUIREMENTS UNDER DEFERRED SUBMITTAL, SHOWN FOR REFERENCE
13. GAS METER, GC TO COORDINATE FINAL LOCATION WITH OWNER PRIOR TO ROUGH IN, SEE CIVIL AND MECH FOR ADD INFO
14. LIGHT POLE LOCATIONS, REFER TO ELEC AND CIVIL DRAWINGS FOR ADDITIONAL INFO
15. TRASH ENCLOSURE, SEE A051 FOR ADD INFO
16. ACCESSIBLE CURB, SEE CIVIL FOR ADD INFO
17. ELECTRICAL SERVICE, SEE ELEC PLANS BY GC UNDER DEFERRED SUBMITTAL
18. PICKUP SPEAKER CALL AND/OR ROPE DETECTOR FOR OLO WINDOW, GC TO COORDINATE WITH OWNER REQUIREMENTS PRIOR TO INSTALL, PROVIDE
19. REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL SITE INFO
20. SEE CIVIL FOR 4" WASTE



1 CONCEPTUAL SITE PLAN
3/32" = 1'-0"



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DOMINO'S SHELL

20115 COUNTY RD 10
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ISSUE	DATE
SCHEMATIC DESIGN	05/03/2024
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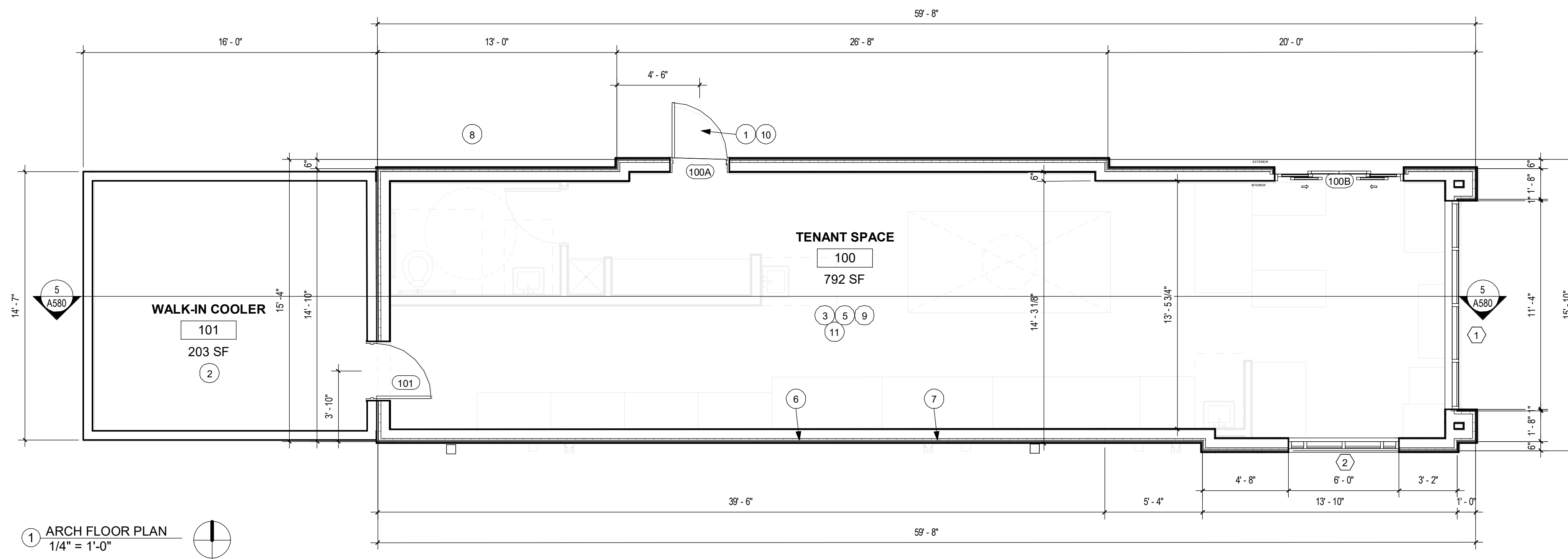
PRELIMINARY
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REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

ARCHITECTURAL SITE PLAN	
Project Number	358_2024
Date	05/03/2024
Drawn By	AUTHOR
Checked By	KMT

A050

Scale **3/32" = 1'-0"**



GENERAL FLOOR PLAN NOTES

1. DIMENSIONS ARE TO THE FACE OF SHEATHING OR MASONRY UNLESS NOTED OTHERWISE
2. WALL TYPES WITH FIRE RATINGS SHALL CONTINUE FROM FLOOR TO FLOOR OR ROOF ABOVE, UNLESS NOTED OTHERWISE
3. THE HINGE SIDE OF ALL INTERIOR DOOR FRAMES SHALL BE PLACED 4" FROM THE ADJACENT INTERIOR WALL AS MEASURED TO THE JAMB, UNLESS NOTED OTHERWISE. INTERIOR DOORS PLACED IN MASONRY WALLS SHALL BE PLACED A MINIMUM OF 4" AND MAXIMUM OF 8" AWAY FROM WALLS TO COORDINATE WITH MASONRY COURSING, UNLESS NOTED OTHERWISE
4. FIRE DAMPERS SHALL BE PROVIDED WHERE DUCTS PENETRATE FIRE-RATED WALLS, FLOORS, OR CEILING ASSEMBLIES
5. ALL INTERIOR PARTITIONS IN EXCESS OF 30'-0" OF LENGTH SHALL HAVE FULL HEIGHT CONTROL JOINTS INSTALLED WITH 30'-0" MAXIMUM SPACING, UNLESS NOTED OTHERWISE. WHERE POSSIBLE, ALIGN CONTROL JOINTS TO DOORS AND WINDOWS
6. FIXTURES, FURNITURE, VENDING, AND EQUIPMENT SUPPLIED BY OWNER, SHOWN FOR REFERENCE ONLY. REFER TO EQUIPMENT PLANS
7. FLOOR FINISH TRANSITIONS OCCUR AT CENTERLINE OF DOOR FRAME UNLESS NOTED OTHERWISE
8. USE VINYL REDUCER STRIPS IN THICKNESS TO MATCH ADJACENT FLOOR MATERIALS - PROVIDE AT EDGES OF RESILIENT FLOOR WHEREVER EDGE IS EXPOSED - SUBMIT SAMPLES FOR PROFILE AND COLOR SELECTION
9. ALL MISC PANELS, FIRE EXTINGUISHER CABINETS, EXPOSED DUCTING PARTS, LOUVERS, VENTILATION COVERS AND ANY EQUIPMENT NOT FACTORY FINISHED SHALL BE PAINTED TO MATCH THE ADJACENT SURFACE ON WHICH IT OCCURS
10. REFER TO FINISH SCHEDULES, CEILING PLANS, AND ELEVATIONS FOR FURTHER FINISH INFORMATION
11. ANY EXPOSED SINK PIPES TO BE WRAPPED TO MEET ADA REQUIREMENTS

FLOOR PLAN KEYNOTES

1. BUILDING ENTRY/ EXIT STOOP LOCATION - REFER TO STRUCT TYPICAL STOOP DETAIL FOR ADD. INFO. - SLOPE AWAY FROM BUILDING AT MAX 2% - MAINTAIN ADA REQUIREMENTS PER 2020 MAC
2. WIC BY OWNER VERIFY EXTENTS WITH OWNER INCLUDING SLAB REQUIREMENTS PRIOR TO INSTALL. SEE STRUCT FOR ADD INFO
3. INTERIOR BUILDOUT BY TENANT UNDER SEPARATE PERMIT
4. GC TO PROVIDE NEW ELECTRICAL METER WITH SERVICE. VERIFY WITH OWNER PANEL SIZE AND LOCATION PRIOR TO INSTALLATION. SEE ELEC DWGS FOR ADD INFO - DEFERRED SUBMITTAL BY GC
5. REFER TO ROOF PLAN FOR RTU LOCATION(S) FOR TENANT SPACE
6. GC TO PROVIDE 1 1/2" COLD WATER LINE WITH METER. REVIEW LOCATION OF PLUMBING STUB WITH CIVIL PRIOR TO TO INSTALLATION
7. GC TO PROVIDE 4" WASTE LINE WITHIN BUILDING SPACE. SEE CIVIL DWGS FOR ADD INFO
8. GC TO PROVIDE GAS PIPE AND METER SIZED TO DELIVER A VOLUME EQUIVALENT TO ONE MILLION BTUH TO EA TENANT SPACE. REFER ROOF PLAN FOR ADDITIONAL NOTES. SEE MEP DWGS FOR ADD INFO
9. PROVIDE FIRE EXTINGUISHER WITHIN SHELL SPACE, FINAL LOCATION BY G.C. (MAX SEPARATION TRAVEL DISTANCE 75'-0")
10. GC TO PROVIDE EXIT SIGNAGE WITH EM LIGHTING AT DOOR PER CODE. SEE ELEC DWGS FOR ADD INFO
11. GC TO PROVIDE 4" CONC SLAB WITHIN TENANT SPACE, PROVIDE 10 MIL VAPOR BARRIER W/ SAND BASE AS REQ. VERIFY REQ WITH GEOTECHNICAL REPORT. SEE STRUCTURAL FOR ADDITIONAL INFORMATION
12. NOT USED

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DOMINO'S SHELL
20115 COUNTY RD 10
CORCORAN, MN 55340

ISSUE	DATE
SCHEMATIC DESIGN	05/03/2024
P&Z SUBMITTAL	07/02/2024

PRELIMINARY
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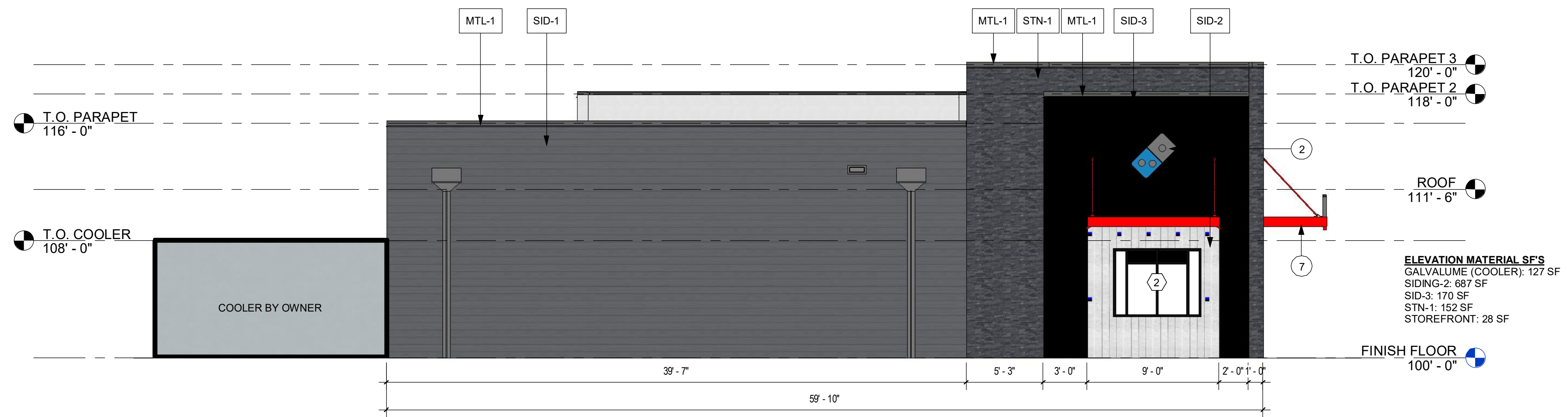
REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

ARCHITECTURAL FLOOR PLAN

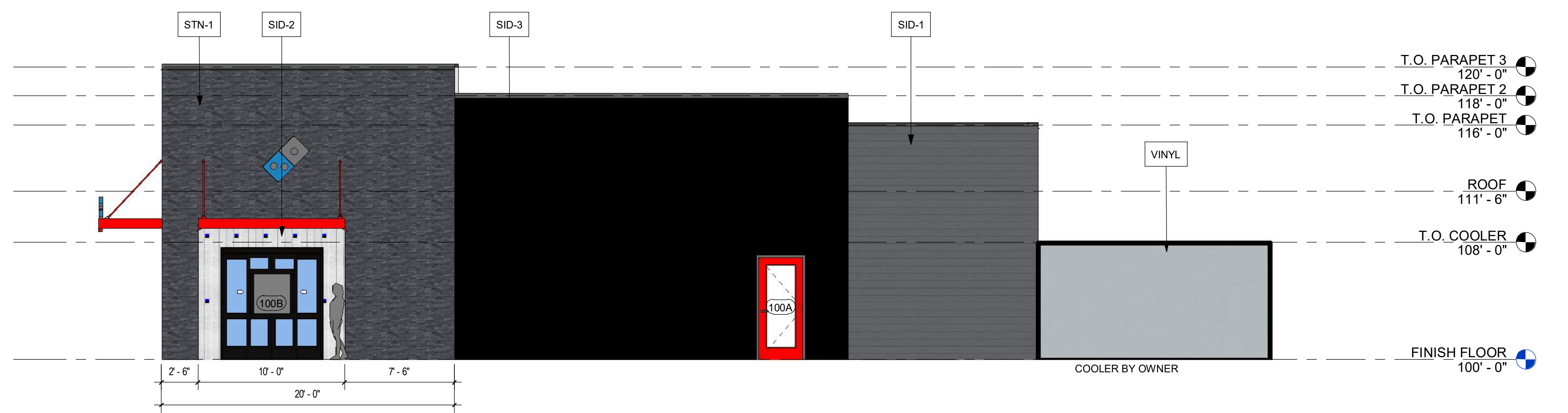
Project Number	358_2024
Date	05/03/2024
Drawn By	CAD
Checked By	KMT

A100

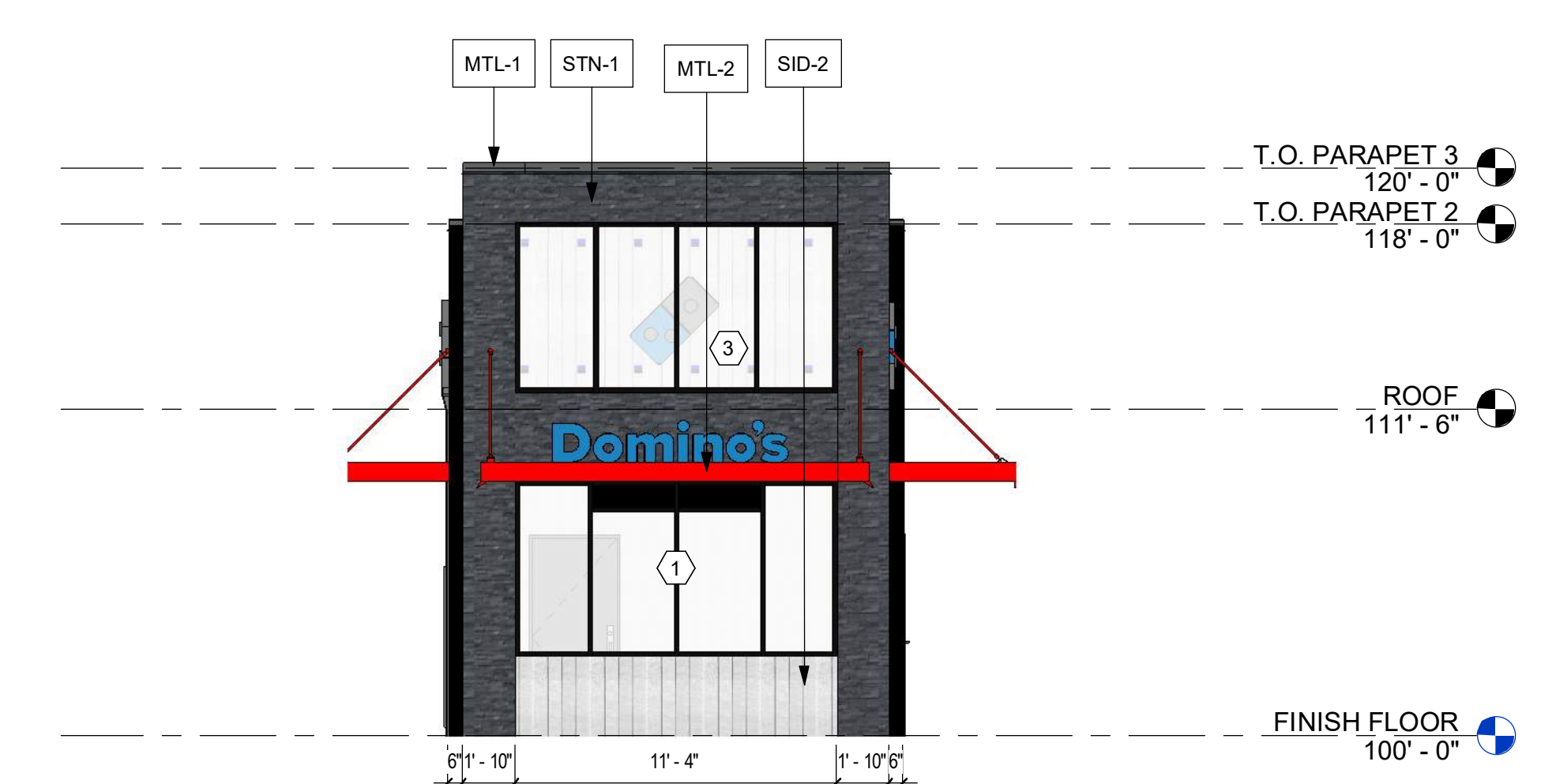
Scale **As indicated**



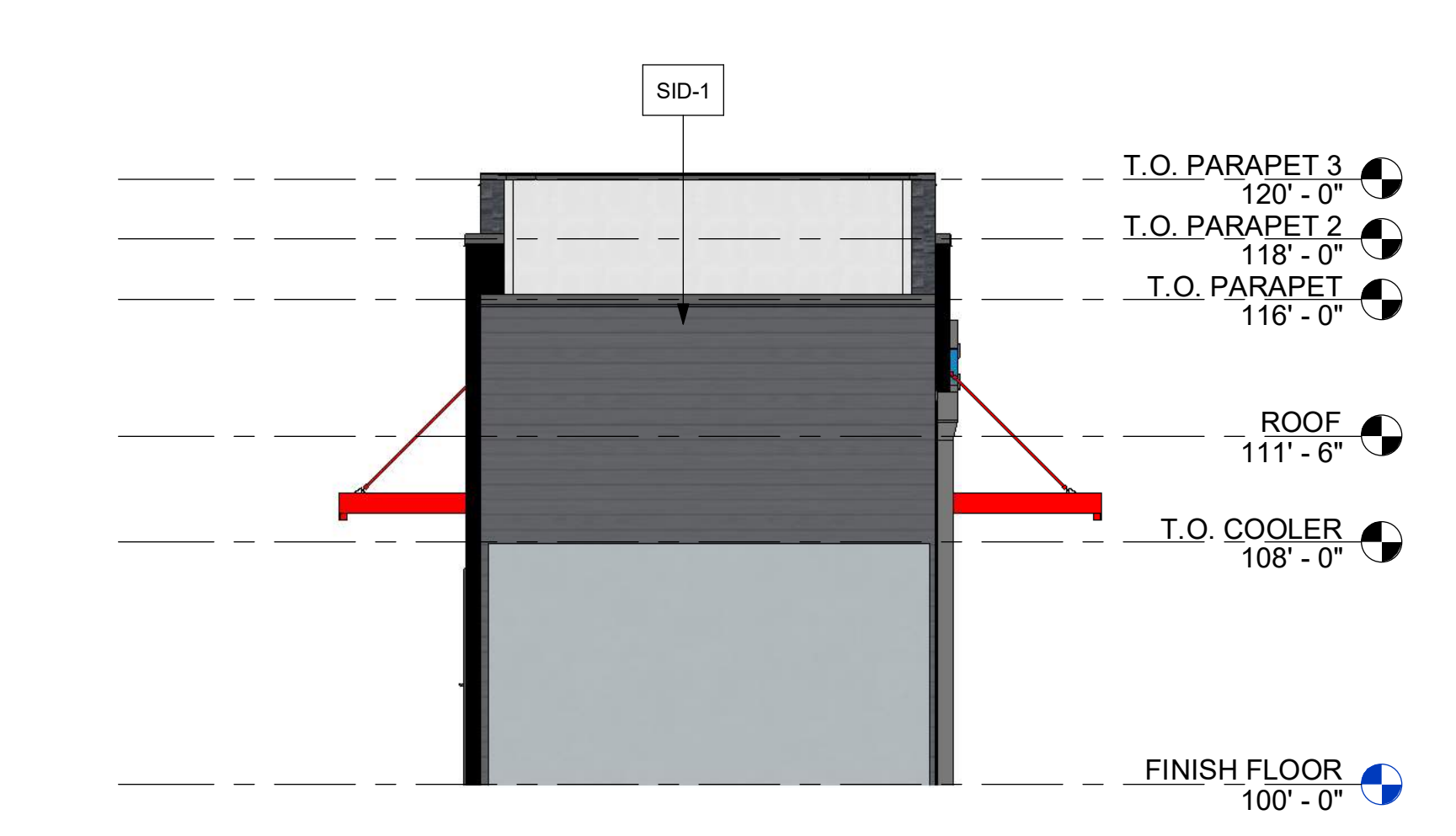
4 DRIVE-THRU ELEVATION
3/16" = 1'-0"



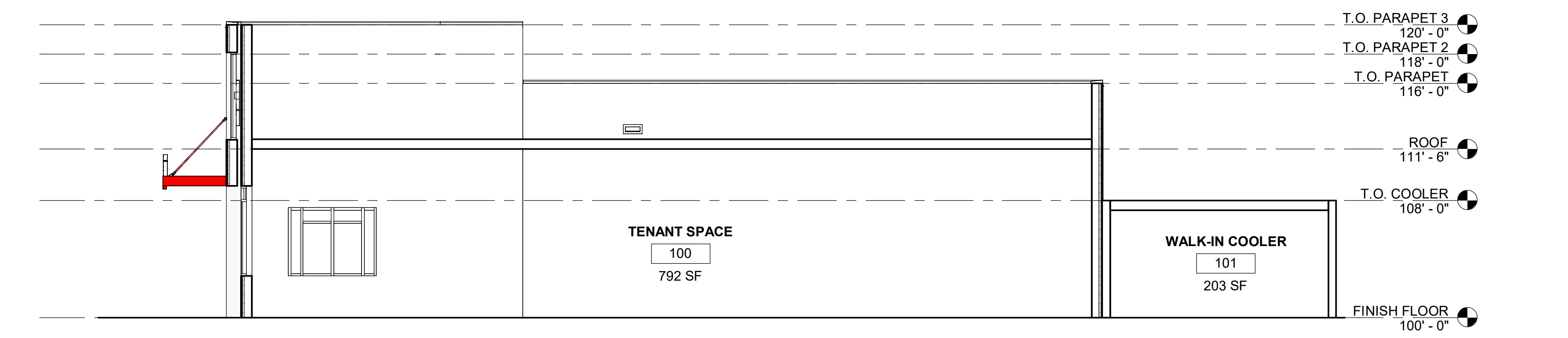
3 DRIVER PICK UP ELEVATION
3/16" = 1'-0"



2 FRONT ELEVATION
3/16" = 1'-0"



1 REAR ELEVATION
3/16" = 1'-0"



5 SECTION 1
3/16" = 1'-0"

ELEVATION MATERIAL SFS
GALVALUME (COOLER): 127 SF
SIDING-2: 687 SF
SID-3: 170 SF
STN-1: 152 SF
STOREFRONT: 28 SF

EXTERIOR ELEV. NOTES

1. REVIEW ALL MANUFACTURER RECOMMENDATIONS FOR INSTALLATION OF EXTERIOR MATERIAL AS SCHEDULED
2. ALL SIGNAGE SHOWN FOR REFERENCE ONLY - PROVIDED BY OTHERS UNDER A DEFERRED SUBMITTAL, PROVIDE POWER AS REQ, COORDINATE LOCATION WITH OWNER PRIOR TO ROUGH IN
3. ALL EXTERIOR LIGHTING SHOWN FOR REFERENCE ONLY - REFER TO DESIGN-BUILD ELECTRICAL DRAWINGS FOR ADD. INFO. -COORDINATE FINAL LOCATIONS WITH OWNER IN FIELD PRIOR TO INSTALLATION
4. GC TO VERIFY THAT ALL ENTRANCE LANDINGS ARE FLUSH WITH FINISHED FLOOR AND PATCH/REPAIR AS REQUIRED
5. GC TO VERIFY THAT ALL PAVED SURFACES ADJACENT TO THE BUILDING SLOPE AWAY TO PROVIDE POSITIVE DRAINAGE
6. PROVIDE FLASHING AT GRADE AND/OR PAVED SURFACES AS REQ, REFER TO SECTIONS FOR ADD INFO

EXTERIOR ELEV. KEYNOTES

- 1 BOLLARD, SEE CIVIL FOR ADD INFO
- 2 SIGNAGE BY TENANT, GC TO COORDINATE POWER AS REQ, VERIFY EXTENDS IN FIELD WITH ALL OTHER TRADES
- 3 NOT USED
- 4 WALL SCONCE
- 5 SCUPPER WITH DOWNSPOUT
- 6 OVERFLOW SCUPPER
- 7 PREMANUF AWNING
- 8 DRIVE THRU WINDOW, SEE SCHED FOR ADD INFO



CITY STAMP AREA

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DOMINO'S SHELL

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REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

EXTERIOR ELEVS & SECTION

Project Number: 358_2024
Date: 05/03/2024
Drawn By: AUTHOR
Checked By: KMT

A580

Scale: **3/16" = 1'-0"**



THIELEN & GREEN



THIELEN & GREEN



THIELEN & GREEN



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**DOMINO'S
SHELL**

20115 COUNTY RD 10
CORCORAN, MN 55340

ISSUE	DATE
SCHEMATIC DESIGN	05/03/2024
P&Z SUBMITTAL	07/02/2024

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REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

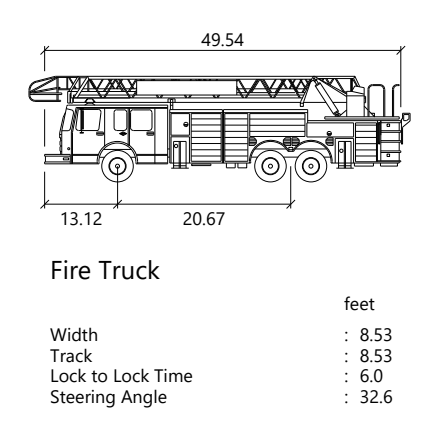
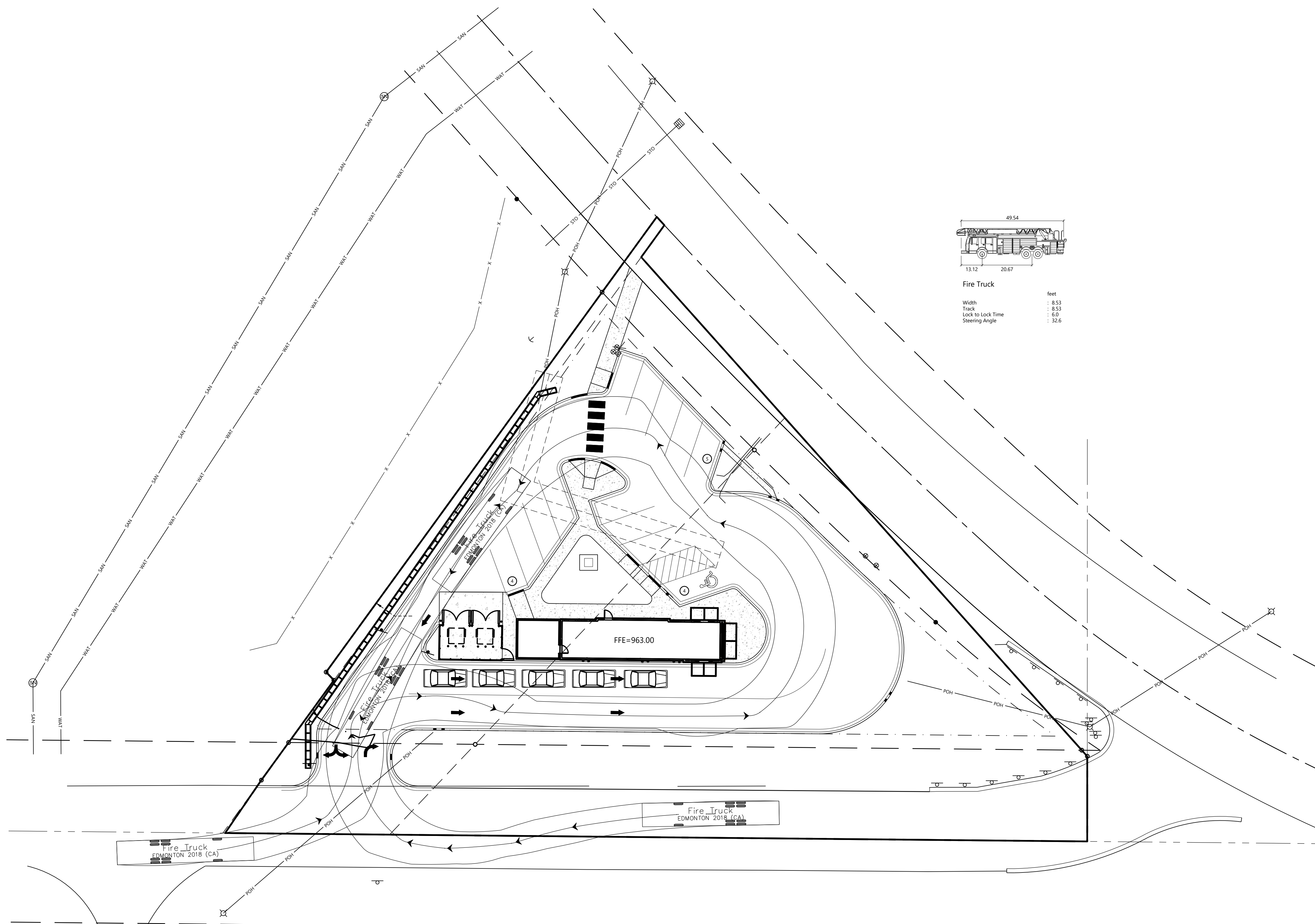
**ARCHITECTURAL
RENDERINGS**

Project Number	358_2024
Date	05/03/2024
Drawn By	AUTHOR
Checked By	KMT

A800

Scale

Call 48 Hours before digging:
 811 or call811.com
 Common Ground Alliance



DESIGNED:	
CHECKED:	
DRAWN:	
HORIZONTAL SCALE:	20'
VERTICAL SCALE:	4' OF 2'
INITIAL ISSUE:	05/03/24
REVISIONS:	
PERMIT SET:	05/17/24

PREPARED FOR:
STRACK CONSTRUCTION
 715 15TH AVE NE
 ST. JOSEPH, MN 56374

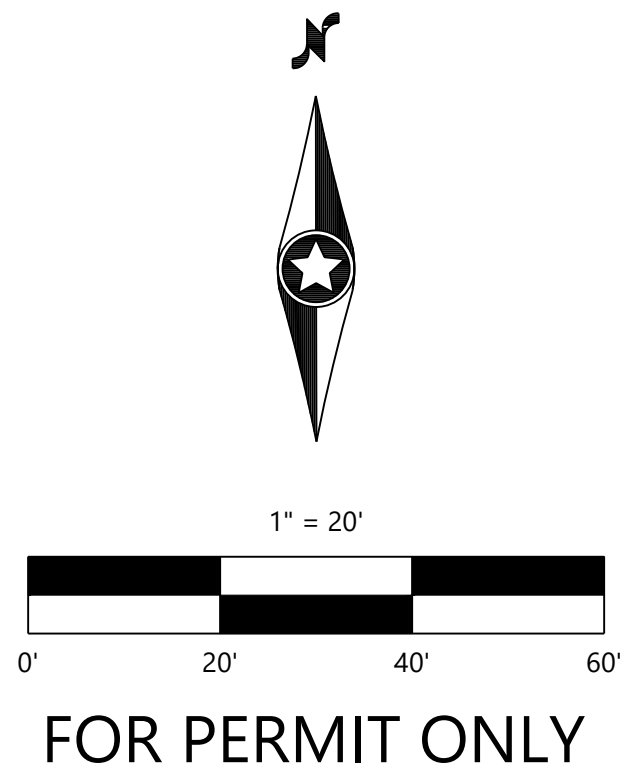
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME
 OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A
 DAILY LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MINNESOTA
 GRANTING ME THE RIGHT TO SIGN AND SEAL THIS PLAN.
DAVID J. SCHROEDER
 ENGINEER LICENSE NO. 44019
 DATE: 05/17/24 LICENSE NO. 44019

CORCORAN DOMINOS
 CORCORAN, MN

Westwood
 12701 Winthrop Drive, Suite #200
 Minneapolis, MN 55343
 Phone: (888) 937-5150
 Fax: (888) 937-5150
 Toll Free: (888) 937-5150
 westwoodps.com
 Westwood Professional Services, Inc.

TURN MOVEMENT

SHEET NUMBER:
XB100
 DATE: 05/17/24
 PROJECT NUMBER: 0051765.01





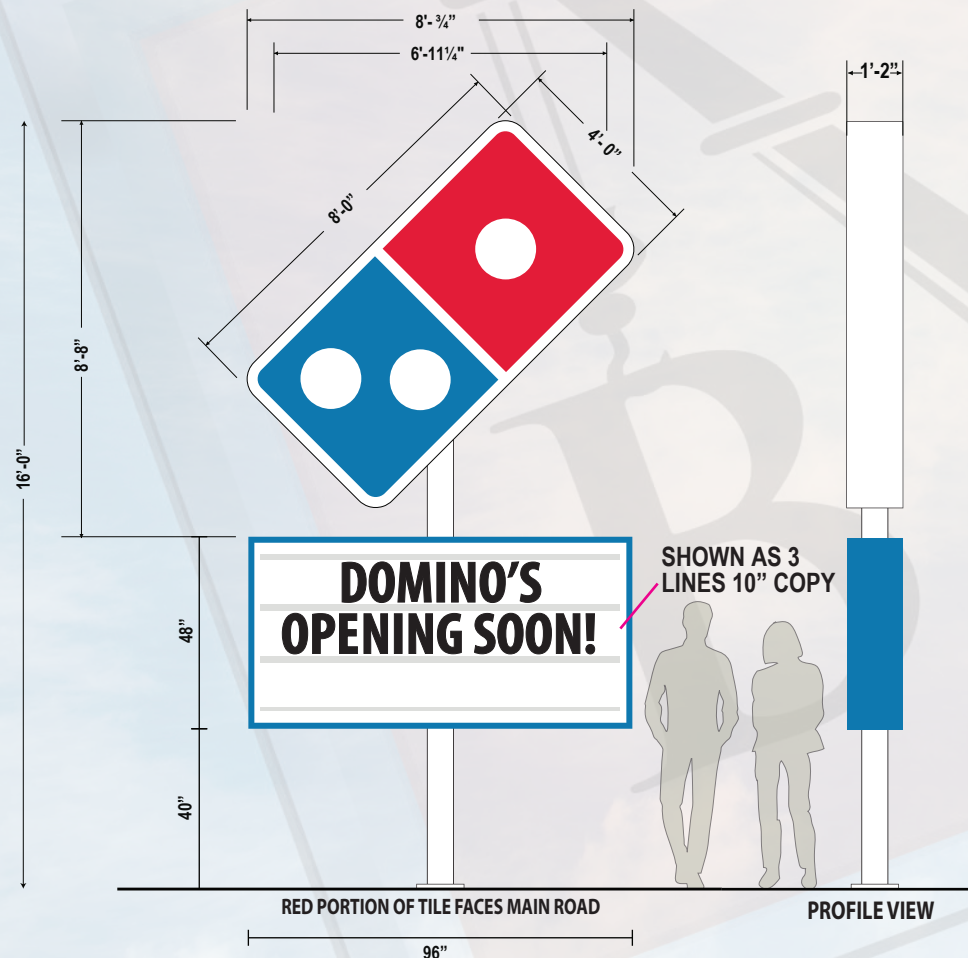
2500 South 170th
New Berlin, Wisconsin
Proudly Made in the USA!

Web: www.bauersignusa.com
Phone: 262-784-0500
Fax: 262-784-6675

File	Domino's
Location	Corcoran - 20115 County Rd 10
Client	
Sales rep	Jordan
Date	cb 07/24/24
Revision	cb 07/25/24

OPTION 1 PG 1/3

TILE: 96 x 48 = 32 SQ FT
MESSAGE BOARD CAB: 48 X 96 = 32 SQ FT
TOTAL = 64 SQ FT



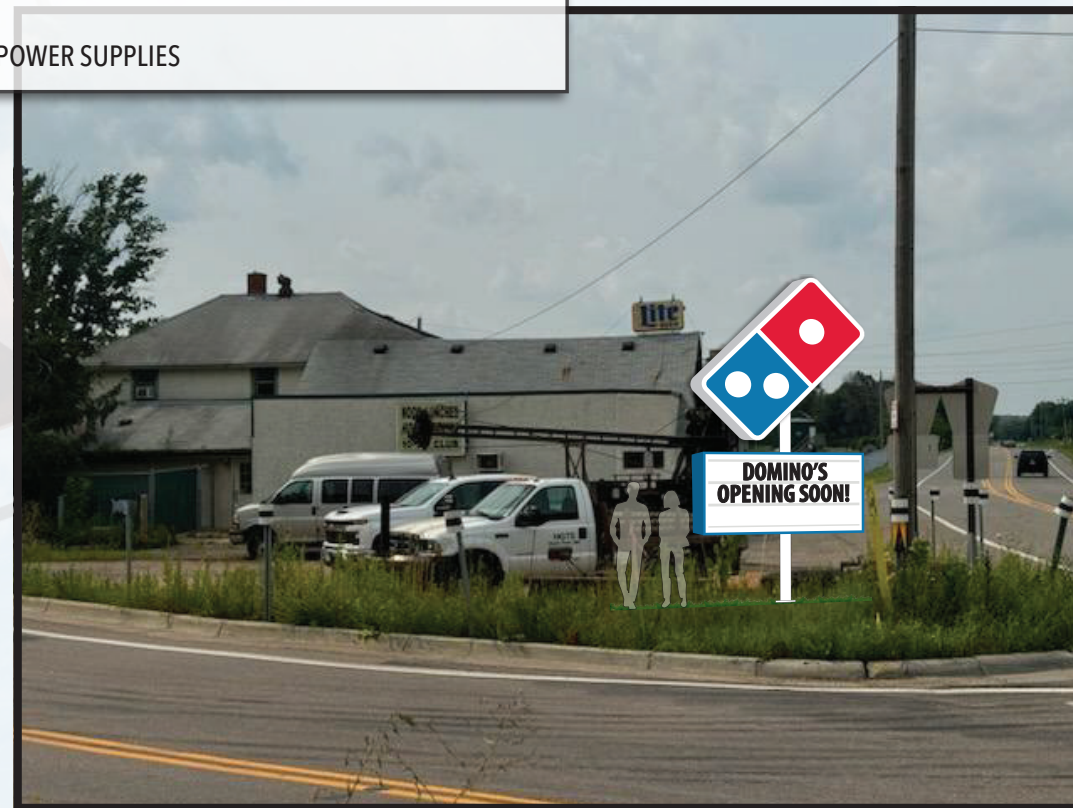
SPECIFICATIONS

FABRICATE AND INSTALL A D/F INTERNALLY ILLUMINATED PYLON SIGN WITH MANUAL MESSAGE BOARD.

- **TILES** TO BE CHANNEL LETTER MODULES WITH #7328 WHITE ACRYLIC / 1" WHITE TRIMCAPS .040 WHITE ALUM RETURNS
- **GRAPHICS** TO BE 3M 3630-127 INTENSE BLUE AND 3630-33 RED
- **MANUAL MESSAGE BOARD** HOUSED IN CABINET BUILT WITH ALUM EXTRUSION, 1.5" RETAINERS PTM 3M 3630-127 INTENSE BLUE
- **POLE** TO BE 6.75" OD, PAINTED WHITE
- **ILLUMINATED** WITH WHITE LEDs
- **POWERED** WITH APPROPRIATE LOAD POWER SUPPLIES



EXISTING



PROPOSED

Printed artwork colors are not always representative of final product colors. Please refer to specifications for call out or salesman for samples.

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FINAL ELECTRICAL CONNECTION IS CLIENT'S RESPONSIBILITY

our products are certified by: Underwriters Laboratories, Inc.

This sign shall be manufactured in accordance with the Article 600 of the National Electrical Code and/or the applicable local codes. This includes proper grounding and bonding of the sign. Sign shall bear correct UL Labels.

Scale: 1/4" - 1'

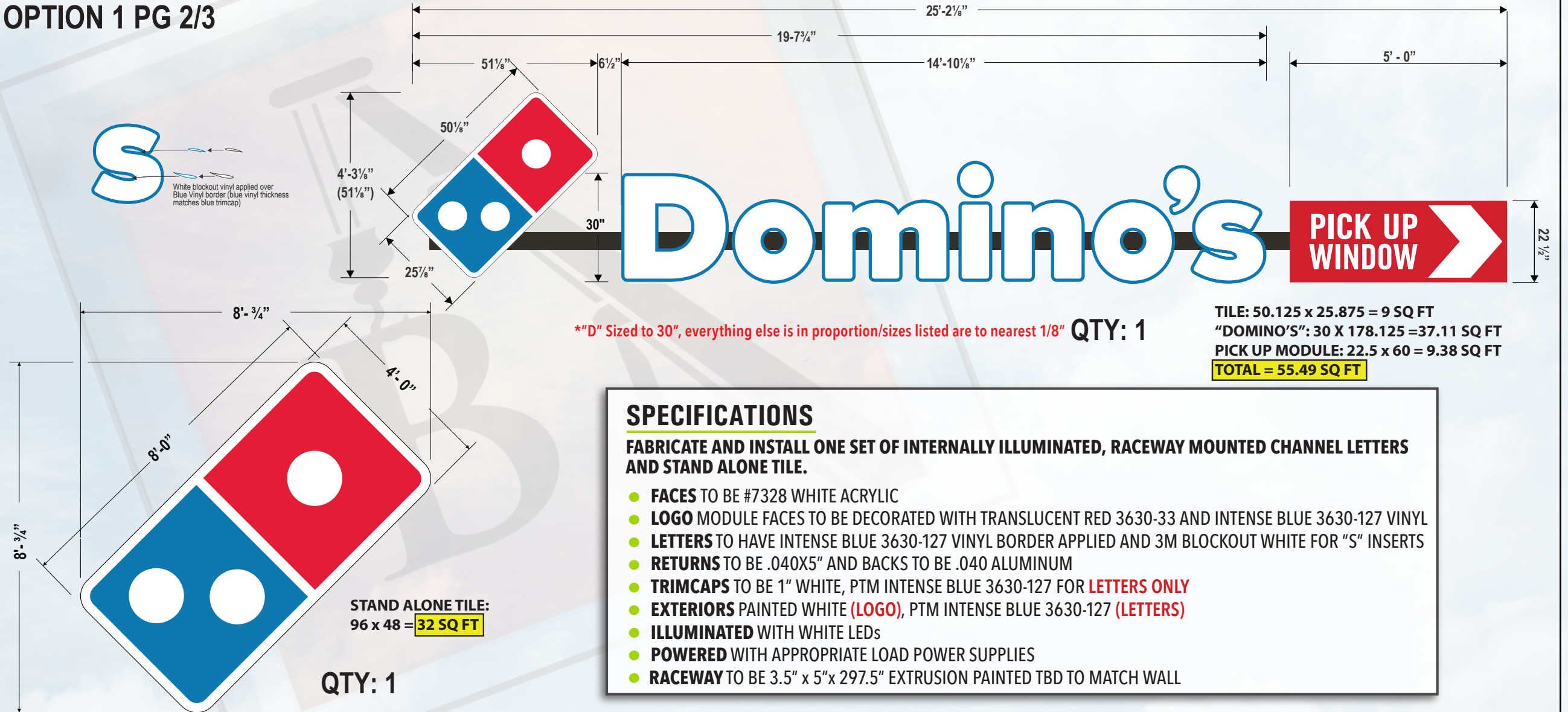


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File	Domino's
Location	Corcoran - 20115 County Rd 10
Client	
Sales rep	Jordan
Date	cb 07/24/24
Revision	cb 07/25/24

OPTION 1 PG 2/3



SPECIFICATIONS

FABRICATE AND INSTALL ONE SET OF INTERNALLY ILLUMINATED, RACEWAY MOUNTED CHANNEL LETTERS AND STAND ALONE TILE.

- **FACES** TO BE #7328 WHITE ACRYLIC
- **LOGO** MODULE FACES TO BE DECORATED WITH TRANSLUCENT RED 3630-33 AND INTENSE BLUE 3630-127 VINYL
- **LETTERS** TO HAVE INTENSE BLUE 3630-127 VINYL BORDER APPLIED AND 3M BLOCKOUT WHITE FOR "S" INSERTS
- **RETURNS** TO BE .040X5" AND BACKS TO BE .040 ALUMINUM
- **TRIMCAPS** TO BE 1" WHITE, PTM INTENSE BLUE 3630-127 FOR **LETTERS ONLY**
- **EXTERIORS** PAINTED WHITE (**LOGO**), PTM INTENSE BLUE 3630-127 (**LETTERS**)
- **ILLUMINATED** WITH WHITE LEDs
- **POWERED** WITH APPROPRIATE LOAD POWER SUPPLIES
- **RACEWAY** TO BE 3.5" x 5"x 297.5" EXTRUSION PAINTED TBD TO MATCH WALL

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Scale: 3/8" - 1"

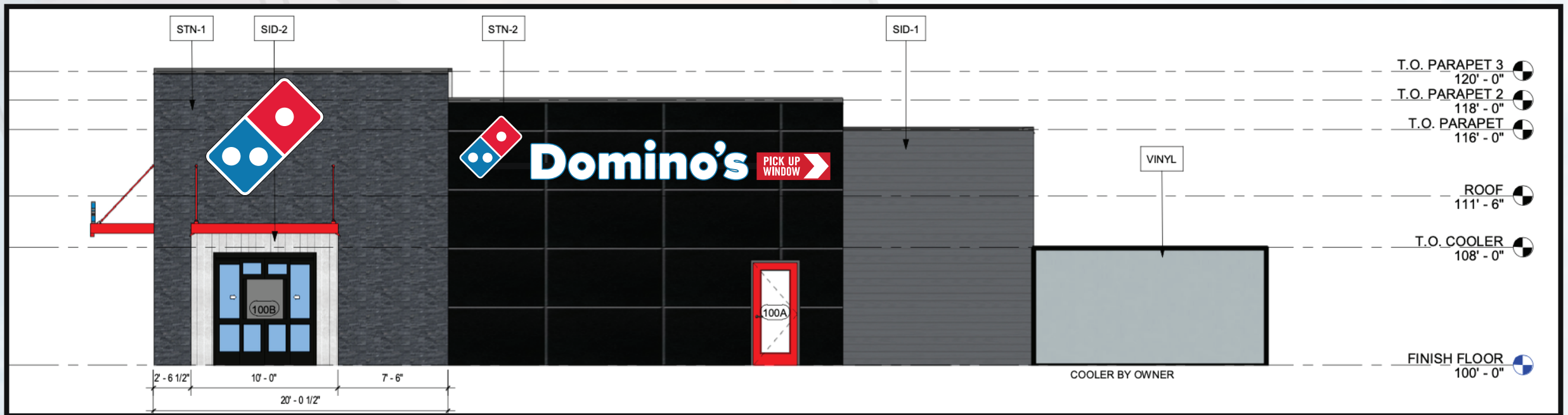


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 Fax: 262-784-6675

File	Domino's
Location	Corcoran - 20115 County Rd 10
Client	
Sales rep	Jordan
Date	cb 07/24/24
Revision	cb 07/25/24

OPTION 1 PG 3/3



PROPOSED

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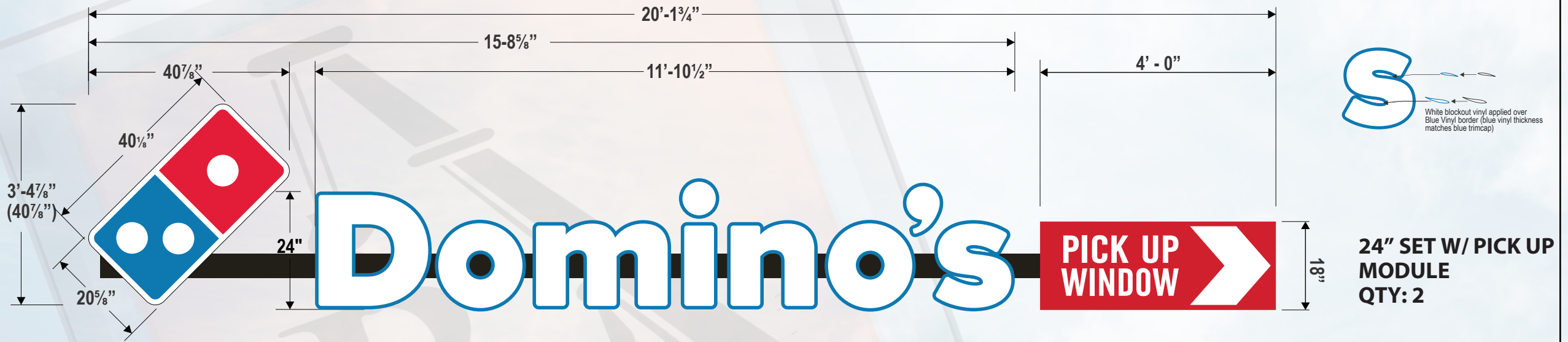
Web: www.bauersignusa.com
Phone: 262-784-0500
Fax: 262-784-6675

File	Domino's
Location	Corcoran - 20115 County Rd 10
Client	
Sales rep	Jordan
Date	cb 07/24/24
Revision	cb 07/25/24

OPTION 2 PG 1/2

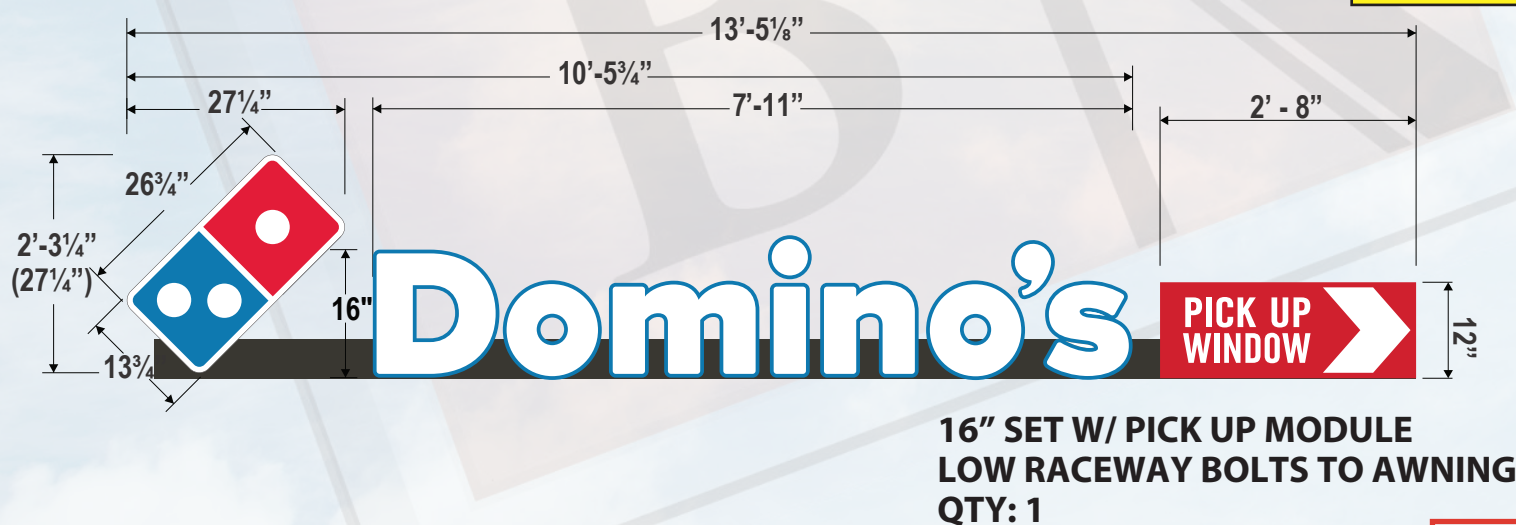
TILE: (40.125 x 20.625) = 5.75 SQ FT + "DOMINO'S" (142.5 x 24) = 23.75 SQ FT + PICK UP MODULE: (48 X 18) = 6 SQ FT

TOTAL = 35.5 SQ FT.



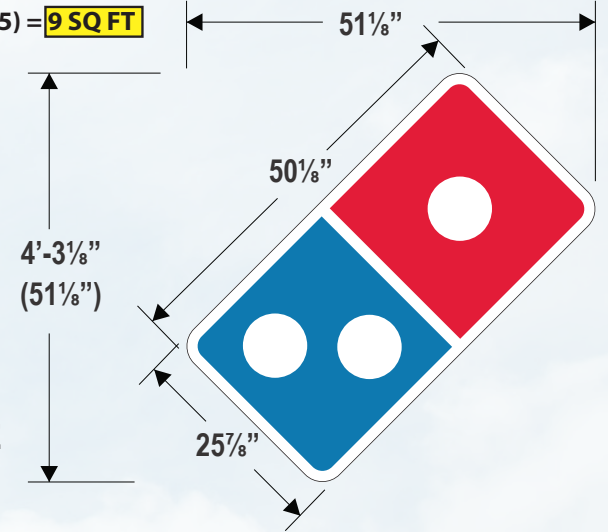
TILE: (26.75 x 13.75) = 2.55 SQ FT + "DOMINO'S" (95 x 16) = 10.56 SQ FT + PICK UP MODULE: (32 X 12) = 2.67 SQ FT.

TOTAL = 15.78 SQ FT.



TILE: (50.125 x 25.875) = **9 SQ FT**

STAND ALONE
TILE
QTY: 3



Printed artwork colors are not always representative of final product colors. Please refer to specifications for call out or salesman for samples.

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FINAL ELECTRICAL CONNECTION IS CLIENT'S RESPONSIBILITY

UL Underwriters Laboratories, Inc.

This sign shall be manufactured in accordance with the Article 600 of the National Electrical Code and/or the applicable local codes. This includes proper grounding and bonding of the sign. Sign shall bear correct UL Label.

Scale: 1/2" - 1"



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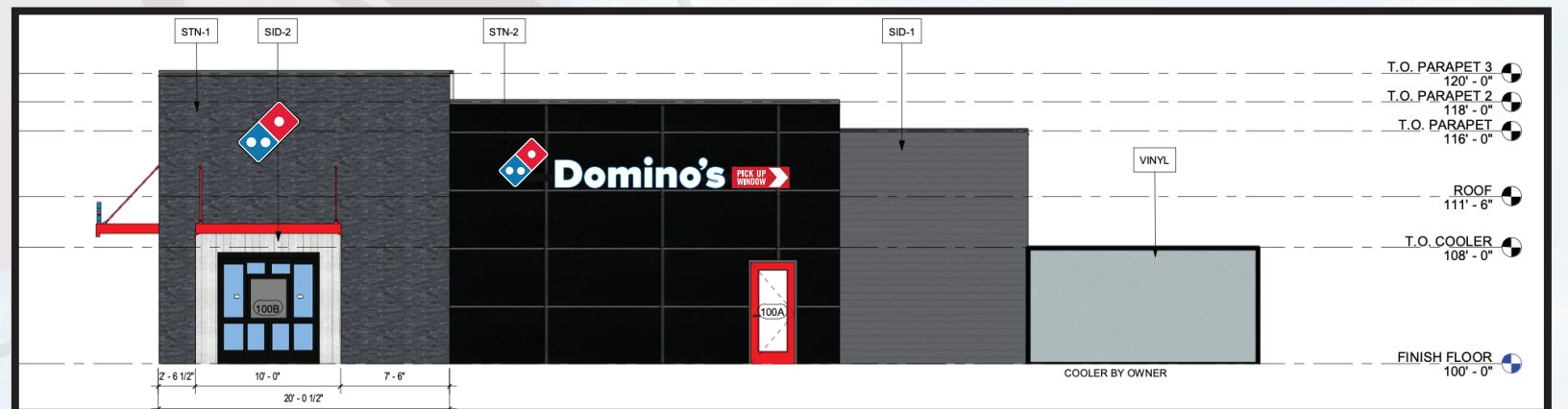
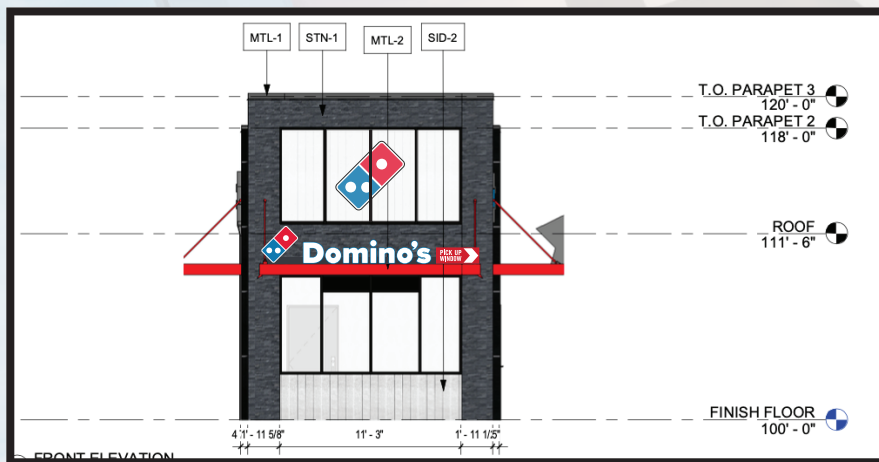
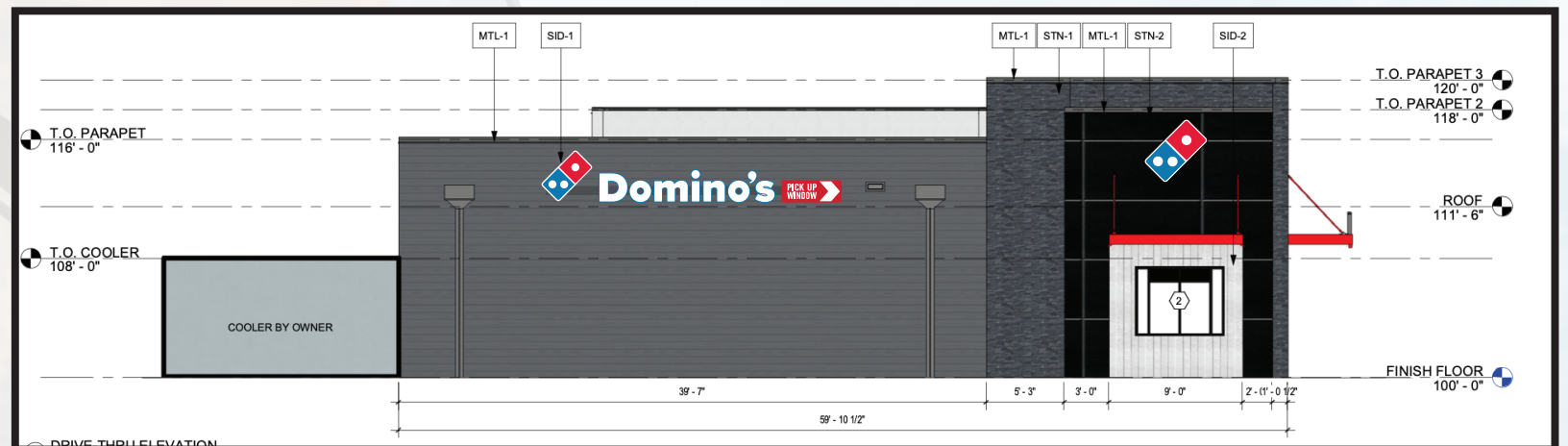
File	Domino's
Location	Corcoran - 20115 County Rd 10
Client	
Sales rep	Jordan
Date	cb 07/24/24
Revision	cb 07/25/24

OPTION 2 PG 2/2

SPECIFICATIONS

FABRICATE AND INSTALL **ONE 16"** AND **TWO 24"** SETS OF INTERNALLY ILLUMINATED, RACEWAY MOUNTED CHANNEL LETTERS AND **THREE STAND ALONE TILES.**

- **FACES** TO BE #7328 WHITE ACRYLIC
- **LOGO** MODULE FACES TO BE DECORATED WITH TRANSLUCENT RED 3630-33 AND INTENSE BLUE 3630-127 VINYL
- **LETTERS** TO HAVE INTENSE BLUE 3630-127 VINYL BORDER APPLIED AND 3M BLOCKOUT WHITE FOR "S" INSERTS
- **RETURNS** TO BE .040X5" AND BACKS TO BE .040 ALUMINUM
- **TRIMCAPS** TO BE 1" WHITE, PTM INTENSE BLUE 3630-127 FOR **LETTERS ONLY**
- **EXTERIORS** PAINTED WHITE (**LOGO**), PTM INTENSE BLUE 3630-127 (**LETTERS**)
- **ILLUMINATED** WITH WHITE LEDs
- **POWERED** WITH APPROPRIATE LOAD POWER SUPPLIES
- **RACEWAYS** TO BE 3.5" x 5" EXTRUSION PAINTED TBD TO MATCH WALLS



Printed artwork colors are not always representative of final product colors. Please refer to specifications for call out or salesman for samples.

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FINAL ELECTRICAL CONNECTION IS CLIENT'S RESPONSIBILITY

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 Underwriters Laboratories, Inc.

This sign shall be manufactured in accordance with the Article 600 of the National Electrical Code and/or the applicable local codes. This includes proper grounding and bonding of the sign. Sign shall bear correct UL Labels.

Scale: 3/8" = 1'



North Panel

Preliminary designs. Final design to be approved by the city before installation.



South Panel



West Panel



3D Rendering Example

RESOLUTION NO. 2024-110

Motion By:
Seconded By:

A RESOLUTION AUTHORIZING SIGNATURE ON A QUIT CLAIM DEED FOR PROPERTY NEAR THE NORTHWEST CORNER OF COUNTY ROAD 50 & COUNTY ROAD 10 (PID 23-119-23-43-0003) (CITY FILE NO. 24-027)

WHEREAS, Kaukauna of Minnesota, LLC (“the applicant”) notified the City of an error in title on property legally described as follows:

See Attachment A (the “Property”)

WHEREAS, the City confirmed that the Property was never conveyed to the City as it was excepted from a conveyance of adjacent land, however, the final deed failed to list the excepted parcel, creating an error in title;

WHEREAS, in order to correct this error, the applicant requested that the City sign a quit claim deed to convey any interest in the Property to Katie J. Goemann, as the Personal Representative of the Estate of Joseph Mark Andres;

WHEREAS, the City confirms it has no interest in the Property and therefore is willing to execute the requested quit claim deed in order to assist in correcting the error.

NOW, THEREFORE, BE IT RESOLVED that the Corcoran City Council authorizes the City Administrator to sign the quit claim deed as requested.

VOTING AYE

- McKee, Tom
- Bottema, Jon
- Lanterman, Mark
- Nichols, Jeremy
- Vehrenkamp, Dean

VOTING NAY

- McKee, Tom
- Bottema, Jon
- Lanterman, Mark
- Nichols, Jeremy
- Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this 26th day of September 2024.

Tom McKee - Mayor

ATTEST:

Jason (Jay) Tobin

City Seal

RESOLUTION NO. 2024-110

ATTACHMENT A

The Southeasterly 4 feet of the Northeasterly 200 feet of that part of the Southwest Quarter of the Southeast Quarter of Section 23, Township 119, Range 23 lying Southwesterly of County Road No. 10 and Northwesterly of the following described line:

Beginning at a point in the South line of said Southwest Quarter of the Southeast Quarter distant 252.5 feet West from the Southeast corner of said Southwest Quarter of the Southeast Quarter; thence North 42 degrees 55 minutes East (assuming the South line of said Southwest Quarter of the Southeast Quarter as bearing East and West) 207.9 feet; thence North 42 degrees 20 minutes West 78.10 feet to the point of intersection with a line bearing North 35 degrees 26 minutes East from a point on the South line of said Southwest Quarter of the Southeast Quarter distant 312.85 feet West from the Southeast corner of said Southwest Quarter of the Southeast corner, being the point of beginning of the line to be described; thence South 35 degrees 26 minutes West to an intersection with a line bearing North 33 degrees 47 minutes East from a point on said South line distant 312.03 feet West from the Southeast corner of said Southwest Quarter of the Southeast Quarter; thence South 33 degrees 47 minutes West to said South line and there terminating, according to the United States Government Survey thereof.

Hennepin County, Minnesota
Abstract Property

(Top 3 inches reserved for recording data)

QUIT CLAIM DEED
Business Entity to Business Entity

Minnesota Uniform Conveyancing Blanks
Form 10.3.5 (2013)

eCRV Number: _____

DATE: September _____, 2024

DEED TAX DUE: \$1.70

The total consideration for this transfer of property is \$3,000.00 or less.

FOR VALUABLE CONSIDERATION, the City of Corcoran, Minnesota (“Grantor”), hereby conveys and quitclaims to Katie J. Goemann, as Personal Representative of the Estate of Joseph Mark Andres, also known as Joseph M. Andres, Joseph Andres and Joe Andres (“Grantee”), real property in Hennepin County, Minnesota, legally described as follows:

See attached **Exhibit A**;

together with all hereditaments and appurtenances belonging thereto.

Check here if all or part of the described real property is Registered (Torrens)

Grantor:

City of Corcoran, Minnesota

By _____
Its _____

STATE OF MINNESOTA)
) SS.
COUNTY OF HENNEPIN)

This instrument was acknowledged before me on September _____, 2024, by _____ as
_____ of City of Corcoran, Minnesota, Grantor.

Notary Public

My Commission Expires: _____

THIS INSTRUMENT DRAFTED BY:
Rinke Noonan (ISL/klb)
1015 West St. Germain, Suite 300
P.O. Box 1497
St. Cloud, MN 56302-1497
BP (320) 251-6700
File No. 14033-0036

**TAX STATEMENTS FOR THE REAL
PROPERTY DESCRIBED IN THIS
INSTRUMENT SHOULD BE SENT TO:**
Katie J. Goemann, Personal Representative of the
Estate of Joseph Mark Andres
c/o Rebecca Bell
RB Legal LLC
5801 Duluth Street, Suite 380
Golden Valley, MN 55422

Exhibit A

(Legal Description)

The Southeasterly 4 feet of the Northeasterly 200 feet of that part of the Southwest Quarter of the Southeast Quarter of Section 23, Township 119, Range 23 lying Southwesterly of County Road No. 10 and Northwesterly of the following described line:

Beginning at a point in the South line of said Southwest Quarter of the Southeast Quarter distant 252.5 feet West from the Southeast corner of said Southwest Quarter of the Southeast Quarter; thence North 42 degrees 55 minutes East (assuming the South line of said Southwest Quarter of the Southeast Quarter as bearing East and West) 207.9 feet; thence North 42 degrees 20 minutes West 78.10 feet to the point of intersection with a line bearing North 35 degrees 26 minutes East from a point on the South line of said Southwest Quarter of the Southeast Quarter distant 312.85 feet West from the Southeast corner of said Southwest Quarter of the Southeast corner, being the point of beginning of the line to be described; thence South 35 degrees 26 minutes West to an intersection with a line bearing North 33 degrees 47 minutes East from a point on said South line distant 312.03 feet West from the Southeast corner of said Southwest Quarter of the Southeast Quarter; thence South 33 degrees 47 minutes West to said South line and there terminating, according to the United States Government Survey thereof.

Hennepin County, Minnesota
Abstract Property

EXISTING LEGAL DESCRIPTIONS

Tract A - Existing PID # 2311923430004: (Per Commitment file number CP73104)

That part of the Southwest Quarter of the Southeast Quarter of Section 23, Township 119, Range 23 described as beginning at the Southeast corner of said Southwest Quarter of the Southeast Quarter; thence West along the South line of said Southwest Quarter of the Southeast Quarter, a distance of 252.5 feet; thence North 42 degrees 55 minutes East (assuming the South line of said Southeast Quarter as bearing East and West) 207.9 feet; thence South 42 degrees 20 minutes East 167.9 feet to the East line of said Southwest Quarter of the Southeast Quarter; thence South along said East line 28 feet to the point of beginning.

Tract B - Existing PID #2311923430003: (Per Commitment file number CP73151)

Parcel 1:

That part of the Southwest Quarter of the Southeast Quarter of Section 23, Township 119, Range 23, described as beginning at a point in the South line of said Southwest Quarter of the Southeast Quarter, distant 252.5 feet West from the Southeast corner of said Southwest Quarter of the Southeast Quarter; thence North 42 degrees 55 minutes East (assuming the South line of said Southwest Quarter of the Southeast Quarter as bearing East and West) 207.9 feet; thence North 42 degrees 20 minutes West 78.10 feet to an intersection with a line bearing North 35 degrees 26 minutes East, from a point on the South line of said Southwest Quarter of the Southeast Quarter, distant 312.85 feet West from the Southeast corner of said Southwest Quarter of the Southeast Quarter; thence South 35 degrees 26 minutes West to an intersection with a line bearing North 33 degrees 47 minutes East, from a point on said South line distant 312.03 feet West from the Southeast corner of said Southwest Quarter of the Southeast Quarter; thence South 33 degrees 47 minutes West to said South line; thence East along said South line 59.53 feet to the point of beginning. Hennepin County, Minnesota Torrens Property

Parcel 2:

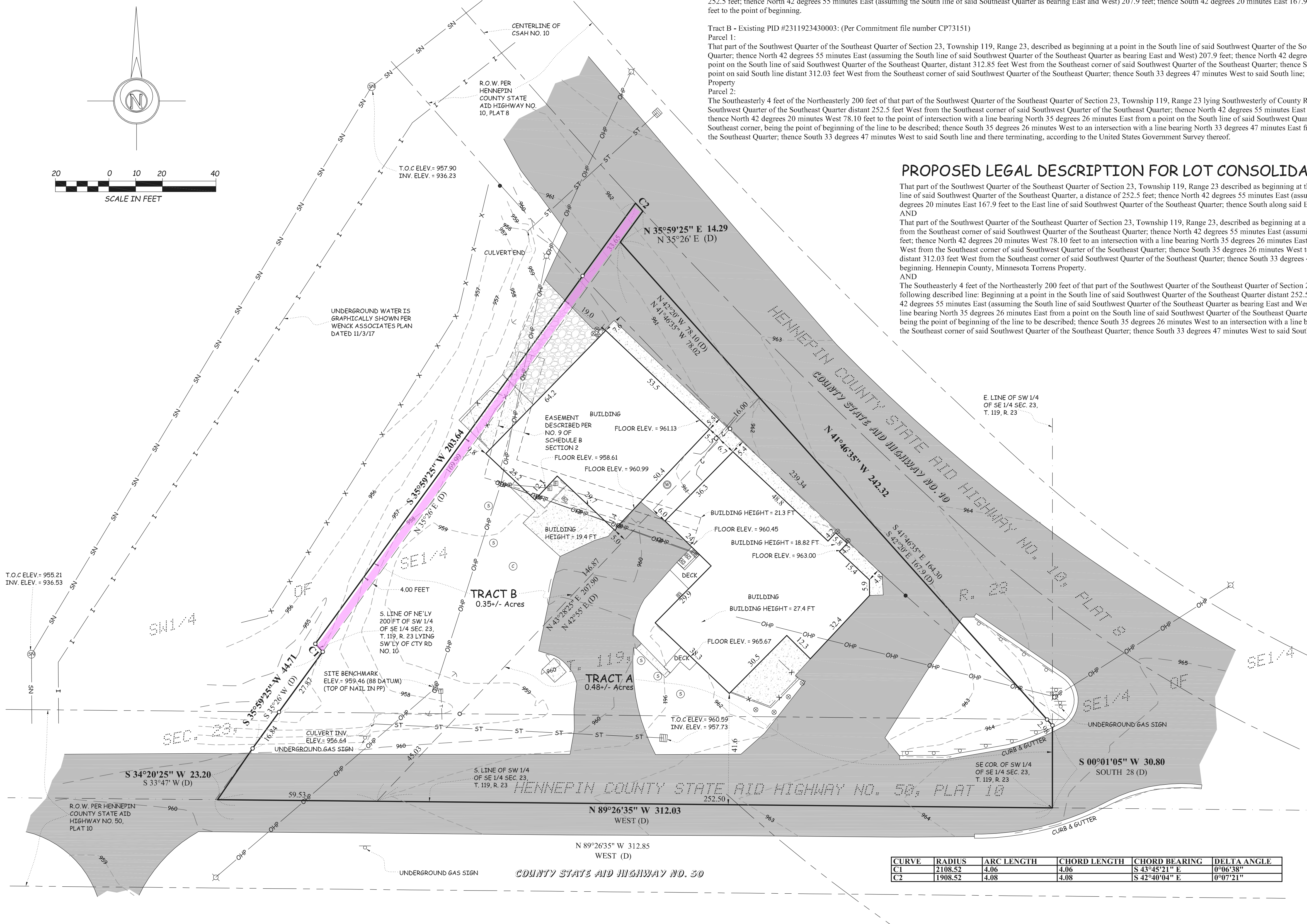
The Southeasterly 4 feet of the Northeasterly 200 feet of that part of the Southwest Quarter of the Southeast Quarter of Section 23, Township 119, Range 23 lying Southwesterly of County Road No. 10 and Northwesterly of the following described line: Beginning at a point in the South line of said Southwest Quarter of the Southeast Quarter distant 252.5 feet West from the Southeast corner of said Southwest Quarter of the Southeast Quarter as bearing East and West) 207.9 feet; thence North 42 degrees 20 minutes West 78.10 feet to the point of intersection with a line bearing North 35 degrees 26 minutes East from a point on the South line of said Southwest Quarter of the Southeast Quarter distant 312.85 feet West from the Southeast corner of said Southwest Quarter of the Southeast Quarter, being the point of beginning of the line to be described; thence South 35 degrees 26 minutes West to an intersection with a line bearing North 33 degrees 47 minutes East from a point on said South line distant 312.03 feet West from the Southeast corner of said Southwest Quarter of the Southeast Quarter; thence South 33 degrees 47 minutes West to said South line and there terminating, according to the United States Government Survey thereof.

PROPOSED LEGAL DESCRIPTION FOR LOT CONSOLIDATION

That part of the Southwest Quarter of the Southeast Quarter of Section 23, Township 119, Range 23 described as beginning at the Southeast corner of said Southwest Quarter of the Southeast Quarter; thence West along the South line of said Southwest Quarter of the Southeast Quarter, a distance of 252.5 feet; thence North 42 degrees 55 minutes East (assuming the South line of said Southeast Quarter as bearing East and West) 207.9 feet; thence South 42 degrees 20 minutes East 167.9 feet to the East line of said Southwest Quarter of the Southeast Quarter; thence South along said East line 28 feet to the point of beginning.

AND
That part of the Southwest Quarter of the Southeast Quarter of Section 23, Township 119, Range 23, described as beginning at a point in the South line of said Southwest Quarter of the Southeast Quarter, distant 252.5 feet West from the Southeast corner of said Southwest Quarter of the Southeast Quarter; thence North 42 degrees 55 minutes East (assuming the South line of said Southwest Quarter of the Southeast Quarter as bearing East and West) 207.9 feet; thence North 42 degrees 20 minutes West 78.10 feet to an intersection with a line bearing North 35 degrees 26 minutes East, from a point on the South line of said Southwest Quarter of the Southeast Quarter, distant 312.85 feet West from the Southeast corner of said Southwest Quarter of the Southeast Quarter; thence South 35 degrees 26 minutes West to an intersection with a line bearing North 33 degrees 47 minutes East, from a point on said South line distant 312.03 feet West from the Southeast corner of said Southwest Quarter of the Southeast Quarter; thence South 33 degrees 47 minutes West to said South line; thence East along said South line 59.53 feet to the point of beginning. Hennepin County, Minnesota Torrens Property.

AND
The Southeasterly 4 feet of the Northeasterly 200 feet of that part of the Southwest Quarter of the Southeast Quarter of Section 23, Township 119, Range 23 lying Southwesterly of County Road No. 10 and Northwesterly of the following described line: Beginning at a point in the South line of said Southwest Quarter of the Southeast Quarter distant 252.5 feet West from the Southeast corner of said Southwest Quarter of the Southeast Quarter; thence North 42 degrees 55 minutes East (assuming the South line of said Southwest Quarter of the Southeast Quarter as bearing East and West) 207.9 feet; thence North 42 degrees 20 minutes West 78.10 feet to the point of intersection with a line bearing North 35 degrees 26 minutes East from a point on the South line of said Southwest Quarter of the Southeast Quarter distant 312.85 feet West from the Southeast corner of said Southwest Quarter of the Southeast Quarter, being the point of beginning of the line to be described; thence South 35 degrees 26 minutes West to an intersection with a line bearing North 33 degrees 47 minutes East from a point on said South line distant 312.03 feet West from the Southeast corner of said Southwest Quarter of the Southeast Quarter; thence South 33 degrees 47 minutes West to said South line and there terminating, according to the United States Government Survey thereof.



- Legend
- INDICATES IRON MONUMENT PLACED
 - INDICATES IRON MONUMENT FOUND
 - ST INDICATES STORM SEWER LINE
 - SN INDICATES SANITARY SEWER LINE
 - I INDICATES UNDERGROUND WATER
 - G INDICATES UNDERGROUND GAS
 - C INDICATES UNDERGROUND CABLE
 - OHP INDICATES OVERHEAD POWER
 - X INDICATES FENCE LINE
 - ⊙ INDICATES STORM MANHOLE
 - ⊞ INDICATES CATCH BASIN
 - ⊞ INDICATES WATER VALVE
 - ⊞ INDICATES HYDRANT
 - ⊞ INDICATES POWER POLE
 - ⊞ INDICATES GAS PEDESTAL
 - ⊞ INDICATES ELECTRIC PEDESTAL
 - ⊞ INDICATES TELEPHONE PEDESTAL
 - ⊞ INDICATES GUY WIRE
 - ⊞ INDICATES SIGN
 - ⊞ INDICATES BOLLARD
 - ⊞ INDICATES SEPTIC CLEANOUT
 - ⊞ INDICATES SEPTIC MANHOLE
 - ⊞ INDICATES WELL
 - INDICATES BITUMINOUS SURFACE
 - INDICATES CONCRETE SURFACE
 - INDICATES GRAVEL SURFACE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	2108.52	4.06	4.06	S 43°45'21" E	0°06'38"
C2	1908.52	4.08	4.08	S 42°40'04" E	0°07'21"

NOTE: THIS SURVEY IS INTENDED ONLY FOR THE BENEFIT OF THE PARTY TO WHOM IT WAS PREPARED FOR AND SHOULD NOT BE RELIED UPON BY ANY OTHER PARTY OR FOR ANY OTHER PURPOSE. UNAUTHORIZED REPRODUCTION OF THIS DOCUMENT IS PROHIBITED.

1004 2nd ST. SE
WILLMAR, MN 56201
PH. 320-235-4012

340 CHAPEL HILL RD.
COLD SPRING, MN 56320
PH. 320-685-5905

1250 HWY 15 SOUTH
HUTCHINSON, MN 55350
PH. 320-234-1223

CERTIFICATE OF SURVEY PREPARED BY:
O'MALLEY & KRON
LAND SURVEYORS, INC.

I HEREBY CERTIFY THAT THIS SURVEY, PLAN OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.
DANIEL M. KRON
MINNESOTA REGISTRATION NO. 42621
DATE: 07-16-2024

SHEET 1 OF 1

CERTIFICATE OF SURVEY PREPARED BY:
RINKE NOONAN
 JOB NO: 2024-11
 FILE NAME: 2024-11CERT.DWG
 LOCATION: 23-119-23

STAFF REPORT

Agenda Item 7e

City Council Meeting: September 24, 2024	Prepared By: Kendra Lindahl
Topic: Concept Plan for 20130 Larkin Road (PID 26-119-23-13-0006) (city file 22-059)	Action Required: Feedback

Review Deadline: October 11, 2024

1. Request

The applicant, Ken Streeter, requests an opportunity to appear before the City Council to solicit informal comments for a concept plan to guide the property from Light Industrial to Medium Density Residential.

2. Background

As part of the 2040 Comprehensive Plan update, the City Council reclassified this property from Medium Density Residential to Light Industrial to expand the existing industrial park directly east of this site to provide more business and employment opportunities in the City.

A PUD for a five-lot industrial park with more than 500,000 sq. ft. of space was approved by the City Council on December 8, 2022. Those approvals will expire on December 8, 2024 unless an extension to the approvals is requested by the applicant and granted by the Council prior to that date.

The City completed an environmental assessment worksheet (EAW) for that project. The EAW included an infrastructure feasibility component. On August 11, 2022, the City Council issued a finding of “no need” for an EIS, based on the review of the EAW dated May 11, 2022. The EAW and feasibility study are available at City Hall. However, if the plan changes, the EAW would need to be updated for any new project that meets the EAW threshold.

3. Context

Zoning and Land Use

The 70.36-acre site is guided Light Industrial in the Comprehensive Plan and zoned Light Industrial (I-1) district. The site has an existing farmstead in the east-central portion of the site and the land use is agricultural. The site is located within the Metropolitan Urban Service Area (MUSA) and the Southeast District.



Figure 1 - Location Map

Surrounding Properties

All surrounding properties are located within the MUSA and Southeast District. The properties to the north, across County Road 50, are guided Parks/Open Space in the Comprehensive Plan and zoned Public/Institutional (P-I) district. Properties to the east are guided Light Industrial and zoned I-1 district. Properties to the south, located across Larkin Road, are guided Agricultural Preserve and Existing Residential and zoned Urban Reserve (UR) district. Properties to the west are guided Medium Density Residential and Low Density Residential and zoned Medium Density Residential (RMF-1), Single Family Residential 2 (RSF-2) and UR districts.

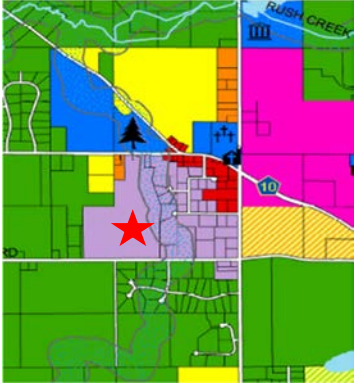


Figure 2 - Zoning Map

Natural Characteristics of the Site

The Natural Resources Inventory (NRI) map identifies wet prairie wetlands along the west property line, old field uplands along the north and northeast portions of the site and a stream that runs along the east property line. The wetland delineation provided by the applicant identifies seven wetlands throughout the site. The eastern portion of the site is in the Shoreland Overlay district.

4. Analysis

Concept Plan

The applicant does not have a current development proposal but is seeking City Council feedback prior to submitting a request for a Comprehensive Plan amendment and rezoning to reclassify the property from Light Industrial to Medium Density Residential.

The Medium Density Land Use classification is intended to “accommodate mid-density clusters of small lots and attached townhomes, ranging from 5 to 8 units per acre.” The comprehensive plan would require 331 – 529 residential units on this site. The applicant’s plan shows 274 units on 66.15 net acres (70.36 gross acres), which does not meet the minimum standards for the request. A minimum of 57 additional units would need to be added to meet the minimum standards of the land use category.



Figure 3 - Concept Plan

Lot Standards and Building Setbacks

If the Council supports the land use amendment to reclassify the land from Light Industrial to Medium Density Residential, the corresponding zoning district would be RMF-1 (Medium Density Residential). The district requirements are in the table below:

	Single Family Detached/Two Family	Townhome	Apartment/Condominium
Minimum Lot area	7,000 square feet/7,500 square feet	5,400 square feet per unit	1 acre
Minimum lot width	70 feet/150 feet	n/a	100 feet
Minimum Principal Structure Setbacks:			
Front, From Major Roadways*	100 feet	100 feet	100 feet
Front, From all other streets	25 feet	25 feet	25 feet
Side (living)**	10 feet	10 feet	30 feet
Rear	25 feet	25 feet	25 feet
Maximum Principal Building Height	35 feet	35 feet	35 feet or three stories

*Major Roadways are Principal Arterial, A Minor Reliever, A Minor Expander and A Minor Connector Roadways as shown on the 2040 Roadway Functional Classification map in the 2040 Comprehensive Plan.

** Internal: 20 feet between attached or multi-family principal structures separated by common area.

The RMF-1 district allows single family detached homes, twinhomes and row townhomes (6 units per building maximum) as permitted uses and apartments and conditional uses.

There is not adequate detail at this time to determine compliance with these standards.

Parking and Drive Aisles

The concept plans shows townhomes. Guest parking will be required.

Access/Streets

The concept plan shows a looped public street with access onto County Road 50 and Larkin Road with private drives to serve the homes between the gas line easement and Larkin Road. Private drives must comply with the standards in Section 945.020, Subd. 20(B)

The City Engineer’s memo provides a number of recommended changes to the street alignment:

1. The plan should show an access road to the northwest corner of the site (as shown on the prior approvals) to align with the future City Park access
2. A local street should be stubbed to the west for access.
3. The street connection to County Road 50 shown on the plan would need to be approved by Hennepin County.
4. Sidewalks must be provided along all public streets in accordance with City policy,

A feasibility study was completed as part of the EAW for industrial project and would need to be updated as part of a new EAW if this project were to proceed with a development proposal that includes 375 or more attached units. Offsite improvements may be necessary to mitigate transportation impacts. Such improvements may include turn lanes and intersection improvements along Larkin Road. If no EAW is required for the future project, the feasibility study would be required to be updated to determine off-site improvements.

Landscaping

No landscaping is depicted on the concept plan. The Southeast District Guidelines recommend site layout and landscaping be designed to work with the existing topography of the area, preserving rolling hills, woods, and wetlands and natural viewsheds and corridors. Landscape screens with berms, hedgerows, and a variety of native trees and shrubs should be incorporated to minimize undesirable views from the public realm. The development will impact the existing topography and agricultural view of the site.

The site is subject to the landscape standards in Section 1060.070 which requires a minimum of one tree per residential unit. Additionally, guest parking must be landscaped to screen headlights.

Overlay Districts

There are seven wetlands on the site which are regulated by standards in Section 1050.010 of the Zoning Ordinance. The wetland delineation was approved on October 25, 2021.

The site plan does show impacts to the northern wetlands for a new street, which would require approval of a wetland mitigation plan if the road is approved. Wetland buffer strips are required to provide an average width of 25 ft. with a 15 ft. structure setback. Wetland buffer signs are required to be installed at each lot line where it crosses a wetland buffer, and where needed to indicate the contour of the buffer, with a maximum spacing of 200 ft. along the buffer edge.

Shoreland Overlay district is located along the eastern edge of the site for the unnamed tributary stream. The proposed buildings comply with the required 50 ft. building setback for sewer structures from the ordinary high water level of the tributary stream. Buffers are required for the tributary stream with a minimum width of 20 ft. and an average width of 25 ft. Plans must show the setback and buffers for the tributary stream. Residential structures in the shoreland district are limited to a maximum building height of 25 feet.

Tributary stream buffers shall be planted with a seed mix containing 100% perennial native plant species. Buffer areas must also be identified with buffer monuments where the buffer crosses a lot line, and where needed to indicate the contour of the buffer with a maximum spacing of 300 ft. along the buffer edge. The Shoreland Overlay district has additional standards for stormwater management, including that impervious surface coverage of lots must not exceed 25% of the lot area.

The proposed development is also subject to the performance standards in the Southeast District Plan and Design Guidelines in Appendix B of the Zoning Ordinance. No building plans are available at this time.

Easements

There is a gas line easement that impacts the layout of the proposed development. The applicant should also ensure the electrical transmission line easement situated on the property does not restrict any of the proposed development.

No improvements shall be located within required easements, except a new public street crossing.

Easements must also be provided over the wetlands and shoreland and their respective buffer areas.

Grading

No grading is depicted on the concept plan.

The City Engineer has noted this project will trigger both the City of Corcoran and the Elm Creek Watershed requirements for a stormwater management system. Final approval by the Elm Creek Watershed Management Commission must be attained before any site grading or activity commence.

Utilities

The site is located within the MUSA boundary and will be served by sewer and water. The applicant will be responsible for connecting to the sanitary sewer and watermain at the northeast edge of the development and bringing it to serve the development. The

City Engineer has noted the sanitary system shall connect to the southeast corner of the development as shown in the Comprehensive Plan.

Stormwater

The applicant has proposed six stormwater ponds. As part of the development review plan, the applicant would be required to comply with state, watershed and local stormwater standards.

The Southeast District guidelines describe a mix of ponds, fountains and other water elements to provide focal amenities should be employed within a framework of an environmentally responsible and visually pleasing strategy to manage stormwater.

A stormwater management plan shall be provided by the applicant to confirm the proposed stormwater facilities are in accordance with the City of Corcoran and watershed standards.

Parks and Trails

Under the current ordinance, park dedication of land is required at 19% of the net pre-development area for Medium Density land (12.57 acres) or market equivalent in cash.

The Parks and Trails Plan map from the Comprehensive Plan identifies a proposed off-road trail along the length of the east property line. The trail is part of the Three Rivers Park District (TRPD) Diamond Lake Regional Trail. The plans must accommodate a 10-foot wide bituminous trail in a 20-foot wide easement. The trail must comply with TRPD design standards.

Environmental Assessment Worksheet (EAW)

An EAW is required for the project if 250 detached units or 375 attached units are proposed (or an equivalent combination). This site would be required to develop between 331 – 529 units if regulated to Medium Density.

Summary

The City of Corcoran reclassified this property from residential to industrial as part of the 2040 Comprehensive Plan update to provide more opportunities for industrial land in the City, which will provide jobs and tax base. However, the City must balance these desires with other development standards adopted by the City. This is the only vacate industrial property in the Southeast District (except for two parcels on 75th Avenue that are less than three acres each). There is an EAW underway for the one remaining Industrial property in the Northeast District. There is available Industrial land in the Southwest District, but municipal sanitary sewer and water are not yet available to those areas, making development of those parcels more challenging.

The Council must evaluate the need for Industrial land to create jobs and tax base in the City against a desire to provide more housing opportunities.

The City has a high level of discretion in approving a request for regrading and rezoning. If the Council is supportive of the change, the applicant indicates that they will apply for the regrading and rezoning and then bring the site to market to find a residential developer.

Two questions:

1. Does the Council support the change from Light Industrial to Medium Density Residential?
2. If so, does the Council support a regrading/rezoning absent a development plan?

While concept plan is not intended to be the actual development proposal, the Council should provide feedback that the applicant could share with potential buyers/developers.

Recommendation

Staff recommends that the City Council review and discuss the sketch plan and provide the applicant with informal comments.

Any opinions or comments provided to the applicant by the City Council are considered advisory only and shall not constitute a binding decision on the request.

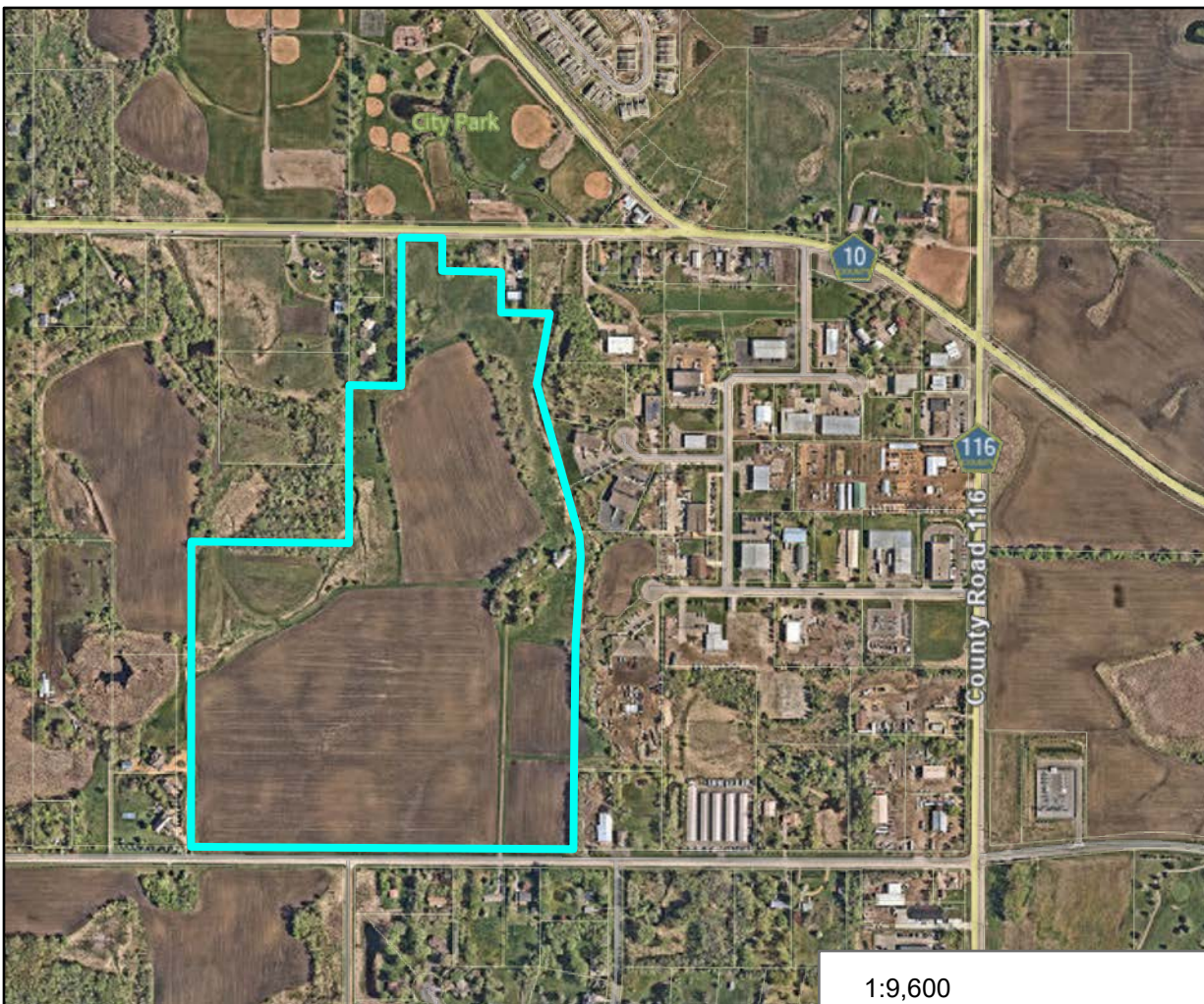
Attachments

1. Site Location Map
2. Survey
3. Concept Plan received August 7, 2024
4. City Engineer Memo dated August 22, 2024
5. Land Use Map
6. Zoning Map
7. Natural Resources Inventory Map
8. Parks and Trails Plan Map
9. Southeast District Plan and Design Guidelines



Hennepin County Property Map

Date: 9/19/2024



PARCEL ID: 2611923130006

OWNER NAME: Gary D Schutte Et Al

PARCEL ADDRESS: 20130 Larkin Rd, Corcoran MN 55340

PARCEL AREA: 68.68 acres, 2,991,888 sq ft

A-T-B: Torrens

SALE PRICE:

SALE DATE:

SALE CODE:

ASSESSED 2023, PAYABLE 2024
PROPERTY TYPE: Residential
HOMESTEAD: Non-Homestead
MARKET VALUE: \$779,800
TAX TOTAL: \$7,964.16

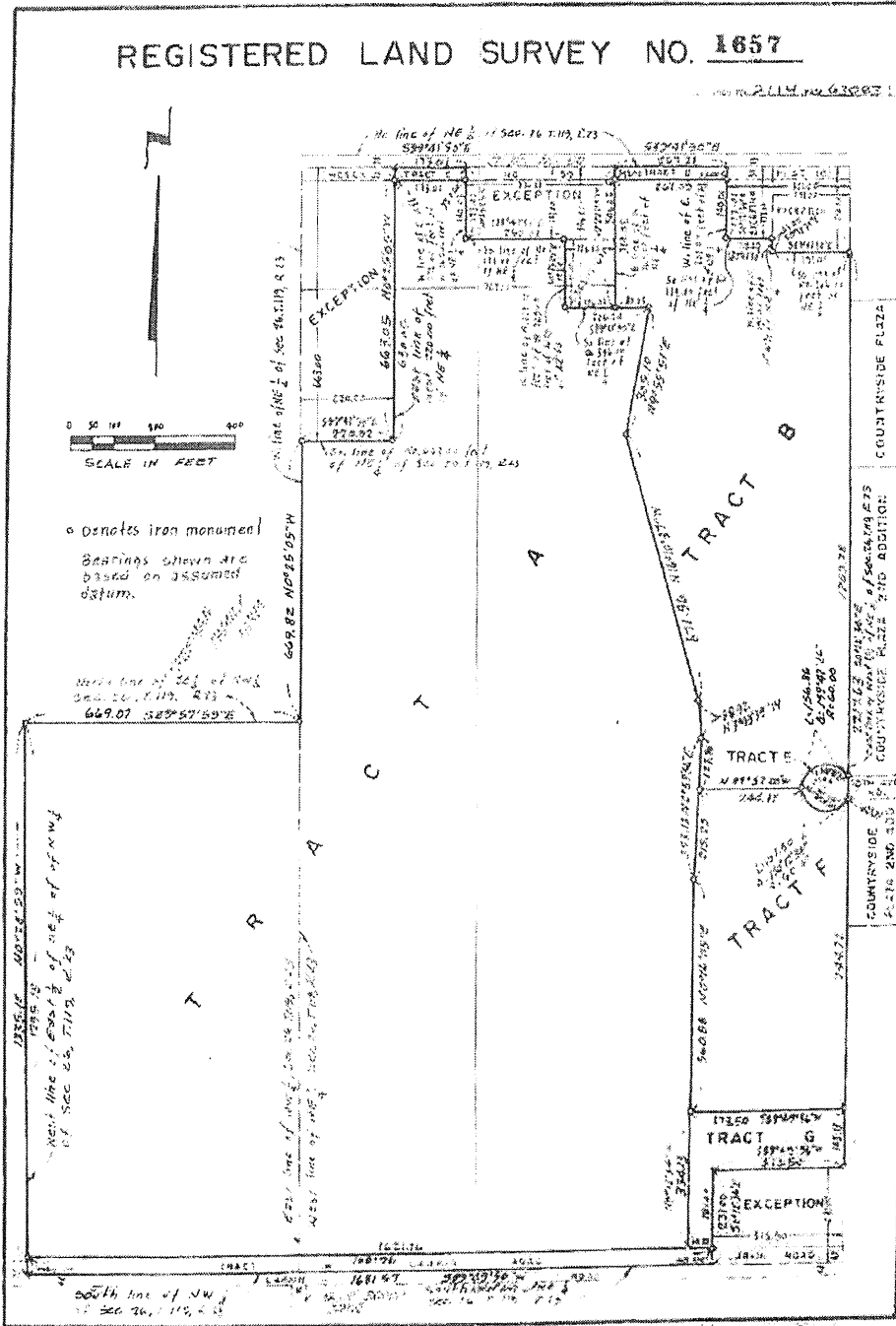
ASSESSED 2024, PAYABLE 2025
PROPERTY TYPE: Residential
HOMESTEAD: Non-Homestead
MARKET VALUE: \$860,500

Comments:

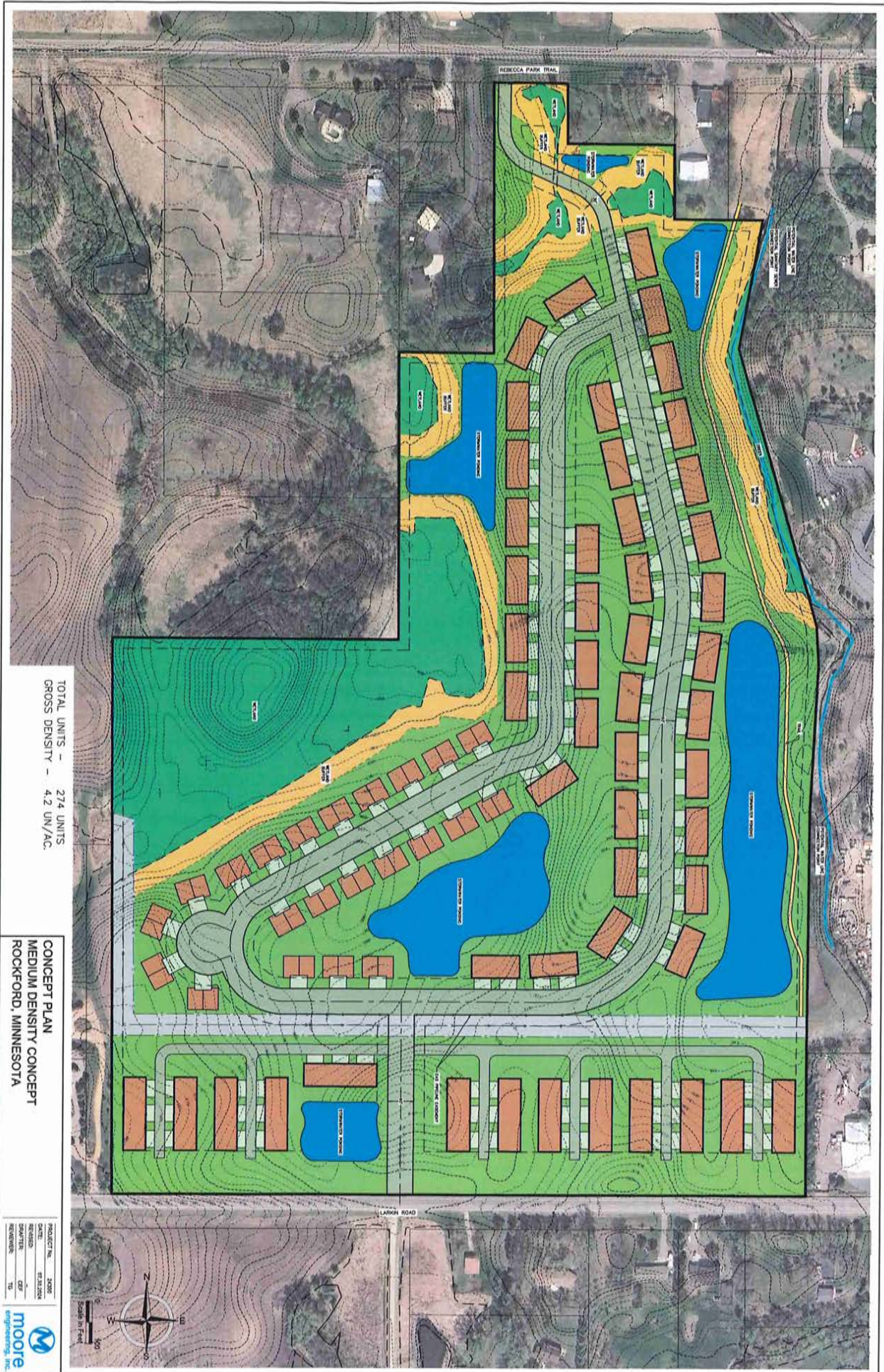
This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

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REGISTERED LAND SURVEY NO. 1657



Sheet 2 of 2 Sheets



TOTAL UNITS - 274 UNITS
GROSS DENSITY - 4.2 UN/AC.

CONCEPT PLAN
MEDIUM DENSITY CONCEPT
ROCKFORD, MINNESOTA

PROJECT NO.	1000
DATE	07/20/2000
DESIGNED BY	CEP
DRAWN BY	CEP
CHECKED BY	CEP
SCALE	AS SHOWN

moore
engineering, inc.

To: Kevin Mattson, PE Public Works
Director

From: Kent Torve, City Engineer
Steve Hegland, PE

Project: Schutte Property Rezoning Concept
Plan Review

Date: August 22, 2024

Exhibits:

This Memorandum is based on a review of the following documents:

1. Medium Density Concept Plan by Moore Engineering Dated 07/30/2024.

Comments:General:

1. A feasibility study was completed for the previous light industrial development on this property to identify the impacts on the available City infrastructure. If the project continues, the feasibility study should be updated to understand the impacts of the revised land uses on the City infrastructure.
2. The proposed project will trigger both the City of Corcoran and the Elm Creek Watershed requirements for a stormwater management system. Final approval by the Elm Creek Watershed Management Commission must be attained before any site grading or activity may commence.

Plat:

1. The applicant shall have all drainage and utility easements provided and shown and all platting requirements met per the City Code.
1. An existing high pressure gas main and associated easement are present within this development. The gas company will review and approve all improvements and encroachments within the easement.
2. In addition to the gas easement, an Electric Transmission Line Easement is located along the southern portion of the site. The applicant shall ensure that the easement does not restrict any of the proposed development.
2. ROW and easement widths of roadways will be reviewed as the plan develops. Due to the trunk sanitary sewer within the development, ROW and associated easements may need to be widened to accommodate utility corridors.

Transportation/Site Plans

1. The previous feasibility study identified that turn lane improvements at the development entrance as well as turn lane improvements at Larkin Road and County Road 116 were necessary for the light industrial development. The impacts from the proposed land use would have to be reviewed to determine which mitigation measures are necessary.
2. The development shall provide an access road which terminates along the Northwest corner of the development with the intent that it will be extended north in the future. This access would ultimately align with the main access road to and through the City Park which is the preferred long-term alignment.

3. A local road stub should be provided to the properties to the west. This could be utilized in the future should that area redevelop to reduce access location along Larkin Road.
4. A smaller roadway is shown to the north of the site connecting to County Road 50. Hennepin County should review the site plan and provide input on if this access can be used for development access or emergency access. Units are shown off of this road which would need to be constructed to City standards.
5. If the northern connection is an emergency access, the timing of the secondary access should be reviewed and approved by Public Safety.
6. Street lighting locations shall be reviewed by public safety and final lighting locations shall be determined at the time of final plat.
7. Regional trail and connections shall meet planning requirements. The regional trail shall be reviewed for its connection with the Master Park Plan as well as for conformance with the City of Corcoran Pedestrian Crosswalk Policy. Due to the regional nature of the trail and adjacent City Park, trail crossing enhancements should be anticipated.
8. The trail alignment should be reviewed by city parking and planning as it should be anticipated to be extended to the southern boundary of the project.
9. It appears that the roadways along the south of the development will be private. These shall incorporate a concrete apron at the entrances and the roadway designs shall meet city standards.
10. Sidewalks shall be incorporated into development plans.

Grading/Erosion Control/Stormwater

1. A stormwater management plan shall be provided to confirm that stormwater management is in accordance with City of Corcoran and Elm Creek Watershed Management Commission Standards.
2. Reference the City of Corcoran Stormwater Guidelines for Development Review for standards for stormwater systems and modeling.
3. The wetland buffer zones and wetland buffer signage shall also be clearly identified and labeled.
4. Applicant shall ensure that downstream receiving waters (potentially wetlands) are not starved of necessary runoff.
5. If wetlands are impacted, they shall be reviewed and approved through the appropriate WCA permitting process.
6. At the time of Preliminary Plat, the wetland buffers should be identified as either newly established wetland buffers or whether they are existing buffers as defined by City Code.
7. All pedestrian ramps shall be ADA compliant and detailed designs shall be provided for all landings showing elevations in compliance with those requirements.
8. Easements shall be provided over all storm sewer pipes. Easements shall be shown on the utility plan to ensure they are adequate.
9. All drainage swales shall maintain a minimum of 2% slope and all slope should be 4:1 or flatter unless approved by the city engineer.
10. All walls higher than 4' shall be designed by a certified engineer and the design and certification of those walls shall be provided to the city.
11. The proposed project is within the shoreland overlay district. In addition to meeting the overlay district design standards, the applicant shall keep this in mind when designing the stormwater management for the site, including site BMP's. Stormwater for the site shall be managed during construction and post buildout to reduce impacts on adjacent natural features.

Watermain/Sanitary Sewer

1. The watermain shall be extended to the southern parcel boundary along with the trunk sanitary sewer that is shown. The applicant shall be responsible for extending the 18" trunk sanitary main to the southern lot boundary.
2. An 8" sanitary sewer lateral shall be provided to the developments SE corner as shown in the City comprehensive plan and a 12" sewer stub shall be provided to the western boundary in accordance the comprehensive plan. Additional 8" lateral sewer stubs may be required to the west to ensure parcels to the west can be serviced with sewer.
3. The water pressure shall be reviewed with the feasibility study to determine if the water loop shown is sufficient or if a larger loop is necessary down Larkin Road from County Road 116. In the previous development plan, the applicant was able to loop water to the adjacent business park to meet necessary requirements.
4. The development application should incorporate a site for a future municipal well.
5. The City is capped at an allowable sewer capacity at the L-80 lift station to service SE Corcoran until the trunk sanitary sewer is extended south from NE Corcoran. Because of this, any changes in land use should closely monitor impacts on sewer and water demand within this area. In reviewing the preliminary information provided, the sewer demand for medium density housing is similar to that of light industrial. If this development moves forward, this should be more closely reviewed.

End of Comments



CITY OF CORCORAN

2040 COMPREHENSIVE PLAN

Map 2-1 2040 Future Land Use

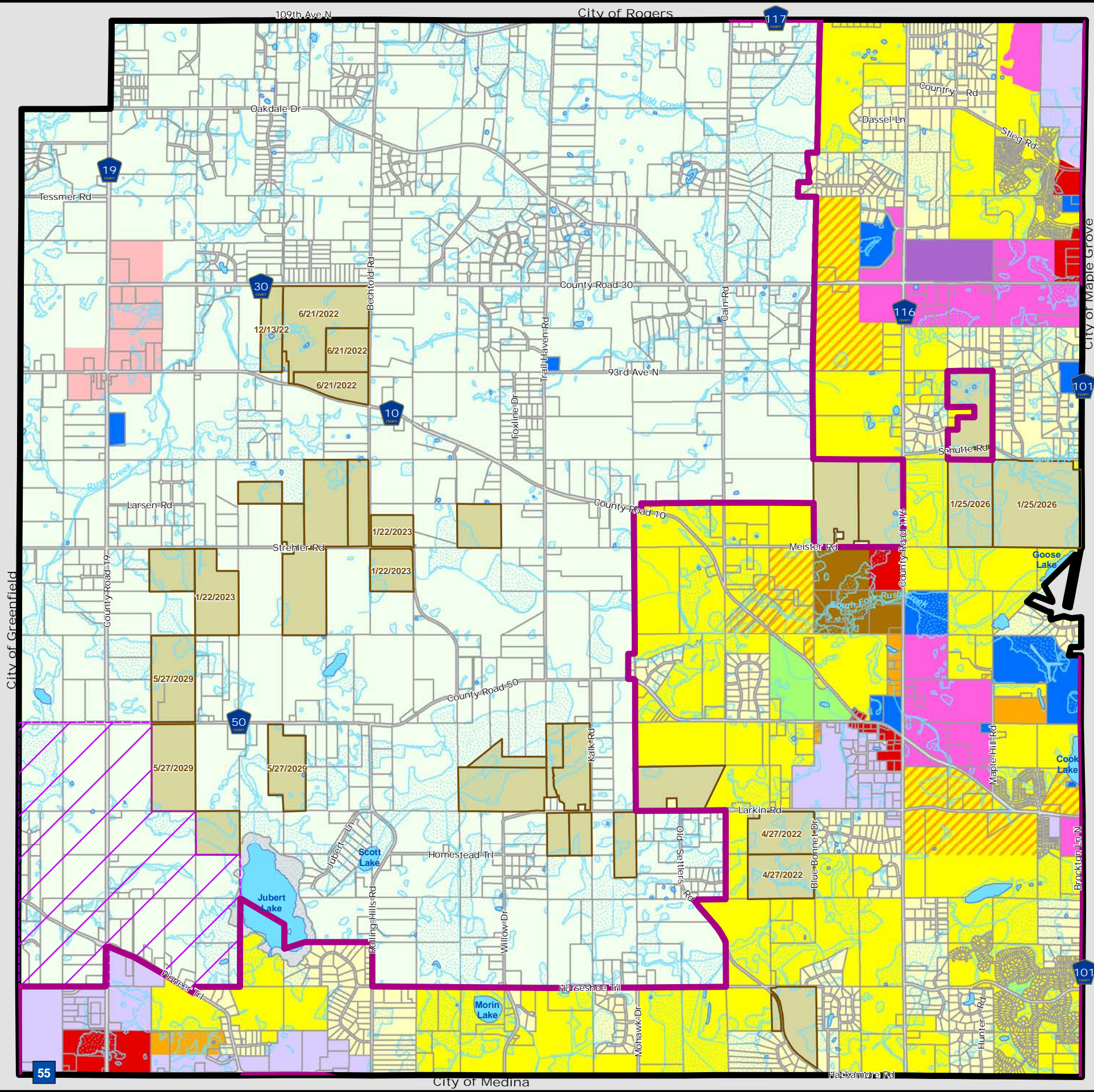
- Rural/Ag Residential
- Existing Residential
- Low Density Residential
- Medium Density Residential
- Mixed Residential
- High Density Residential
- Rural Service/Commercial
- Commercial
- Mixed Use
- Business Park
- Light Industrial
- Public/Semi-Public
- Parks/Open Space
- Agricultural Preserve (Date of Expiration)
- Open Water
- Parks/Open Space
- Municipal Boundary
- 2040 MUSA
- Future MUSA Expansion Area
- Parcel Boundaries
- Streams
- Lake/Open Water
- Wetlands

Source:
Revised National Wetland Inventory (MN DNR, 2009-2014)

3,000 1,500 0 3,000



Feet

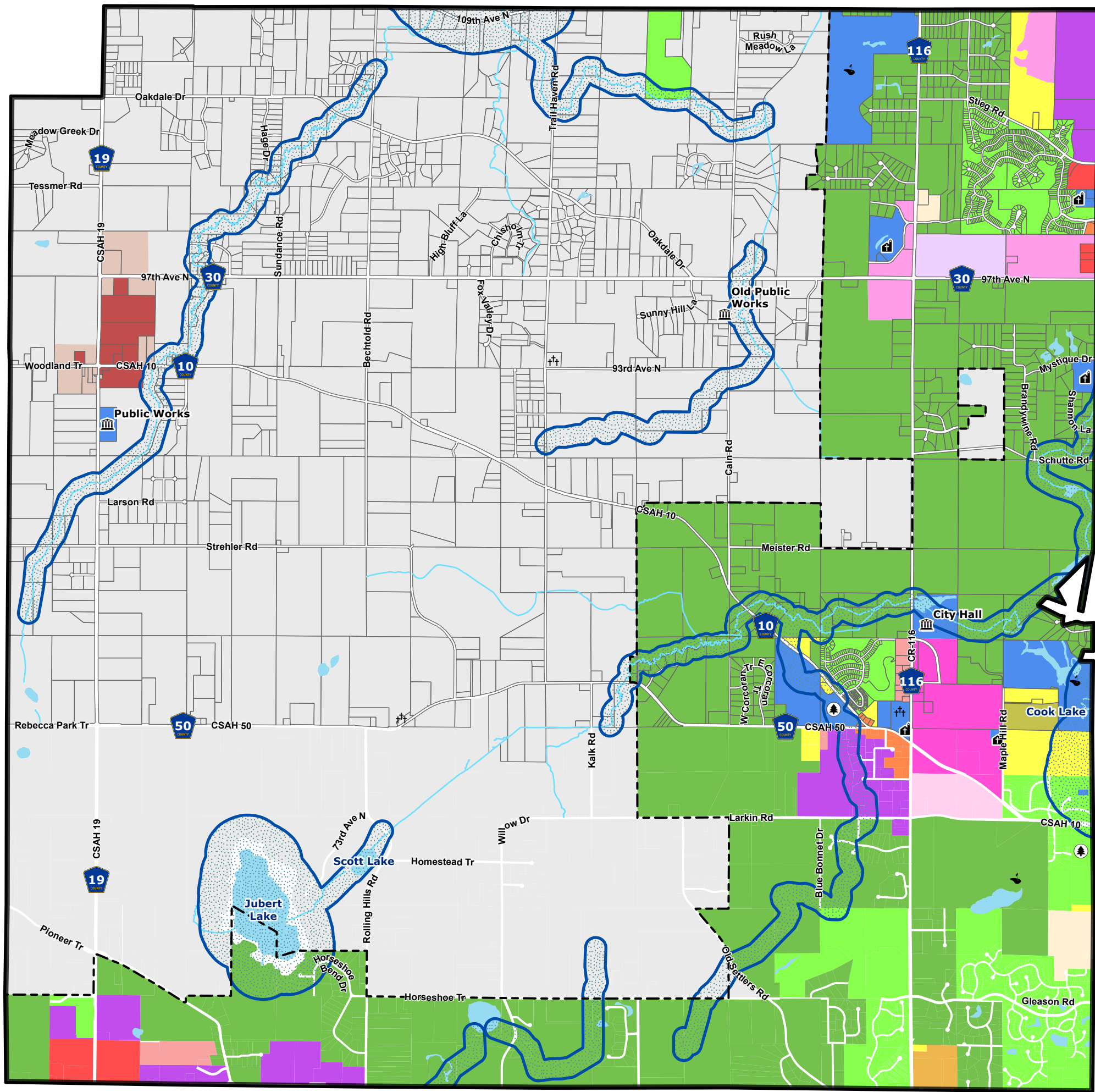




Official Zoning Map

- City Limit
 - 2040 MUSA
 - Government Building
 - Public Park
 - Golf Course
 - Church
 - Cemetery
- Zoning Districts:
- UR: Urban Reserve
 - RR: Rural Residential
 - RSF-1: Single Family Residential 1
 - RSF-2: Single Family Residential 2
 - RSF-3: Single Family Residential 3
 - RMF-1: Medium Density Residential
 - RMF-2: Mixed Residential
 - MP: Manufactured Home Park
 - P-I: Public/Institutional
 - TCR: Transitional Rural Commercial
 - CR: Rural Commercial
 - C-1: Neighborhood Commercial
 - C-2: Community Commercial
 - DMU: Downtown Mixed Use
 - GMU: General Mixed Use
 - BP: Business District
 - I-1: Light Industrial
 - PUD: Planned Unit Development
 - Open Water
 - Shoreland Overlay District
 - Parcels
 - Streams

3,000 1,500 0 3,000 Feet





CITY OF CORCORAN

2040 COMPREHENSIVE PLAN

Map 1-7 Natural Resource Inventory Areas

- ★ Natural Community
- Rare Species Occurrence
- High Quality Natural Community

Natural Plant Communities

Wetlands

- Wet Prairie
- Emergent
- Shrub
- Floodplain Forest
- Open Water
- Flood Plain (Reed Canary Dominant)

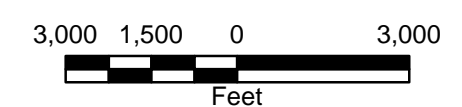
Uplands

- Savanna/Pasture
- Maple/Basswood
- Oak Forest
- Disturbed Woodland
- Old Field

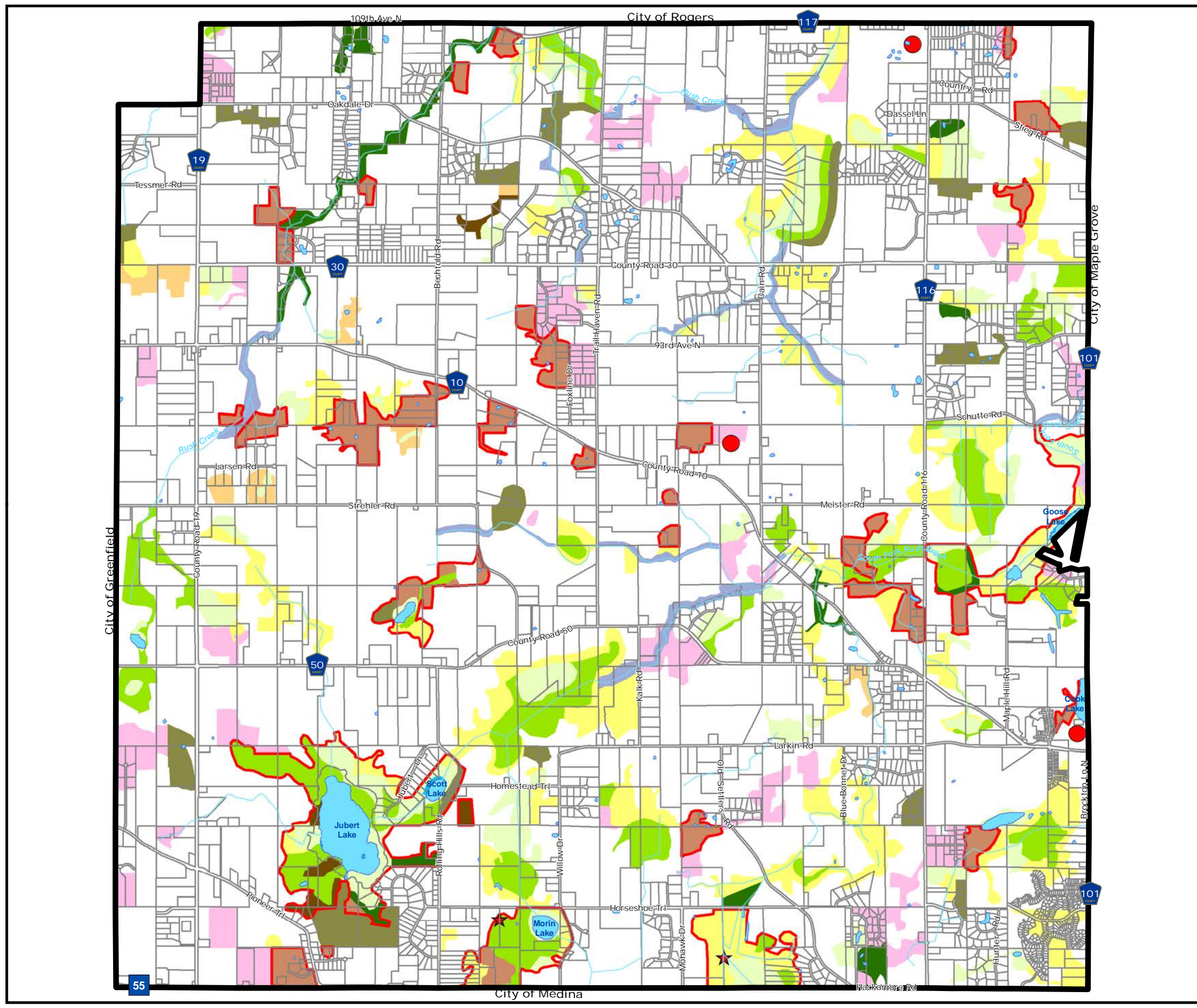
- Municipal Boundary
- Parcel Boundaries
- Streams
- Lake/Open Water

Note: Due to limitations of map scale, distribution and proportion of Natural Community types within each colored area are approximate.

Source: Natural Plant Communities, Rare Species Occurrence (Natural Resource Inventory and Management Plan, Nov. 2001, Bonestroo Rosene Anderlik & Associates)



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Date: 1/7/2019 Time: 1:10:39 PM User: ShuJC0243

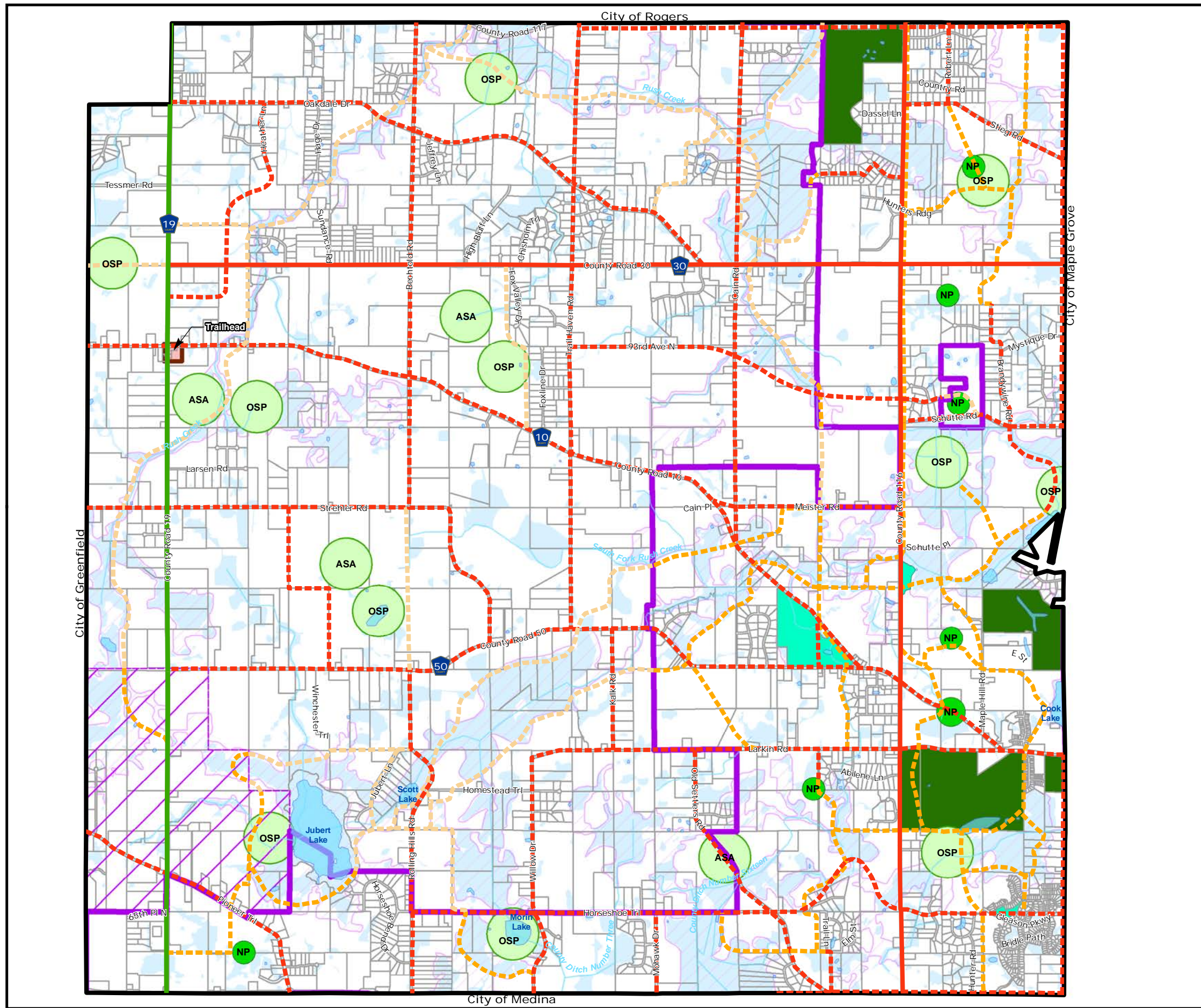




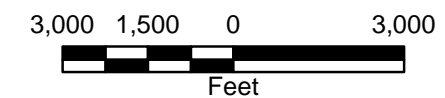
CITY OF CORCORAN

2040 COMPREHENSIVE PLAN

Map 5-1 Parks and Trails Plan

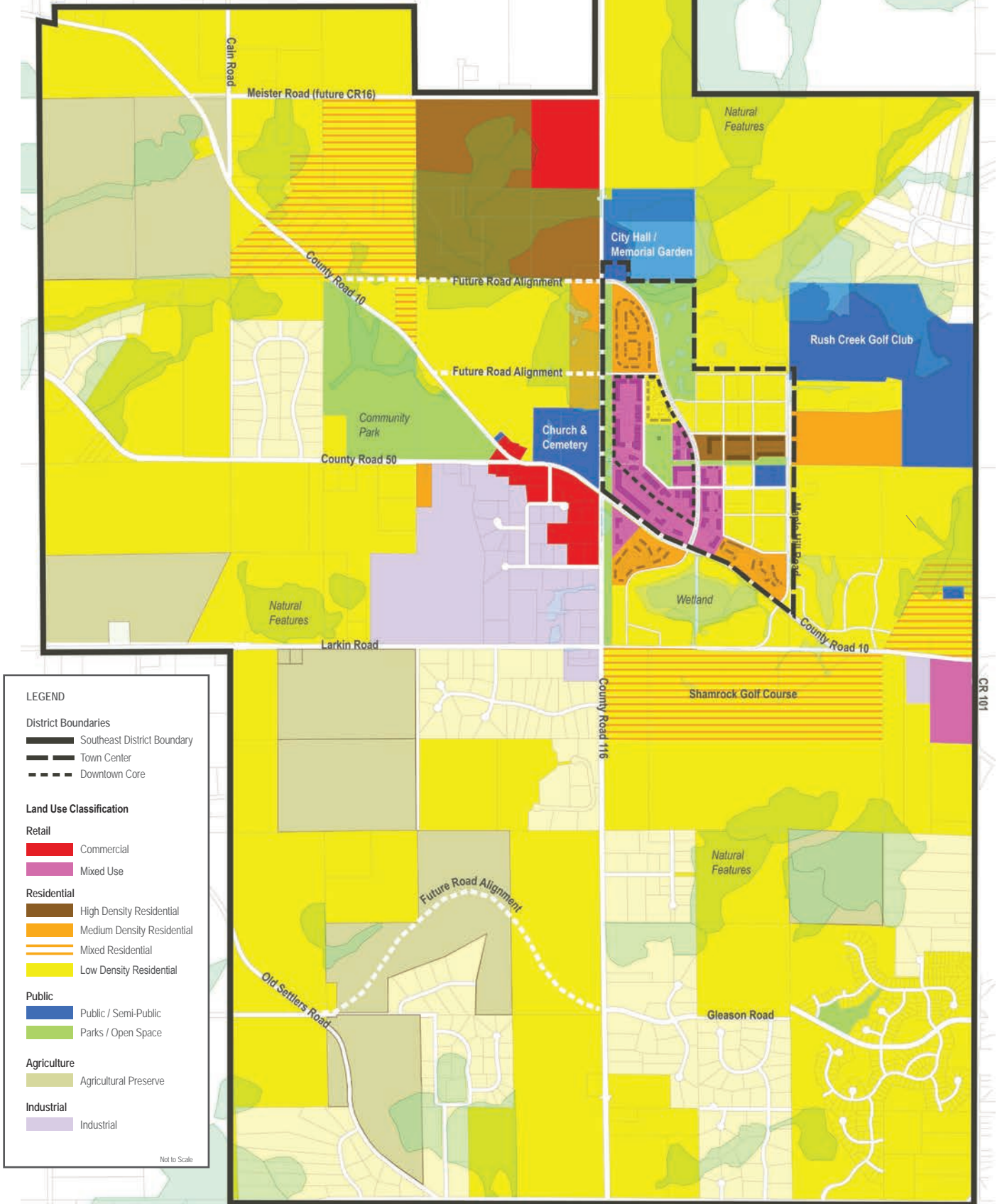


- Existing Parks and Trails**
- Regional Trail
 - Existing On Road Trail
 - City Park
 - Trailhead
 - Private Park/Open Space
- Proposed Parks and Trails**
- Proposed On Road Trail
 - Proposed Off Road Trail
 - Proposed Off Road Trail outside 2040 Development Area
 - Neighborhood Park
 - Community Park
 - Greenway Corridor
 - Municipal Boundaries
 - 2040 MUSA
 - Future MUSA Expansion Area
 - Parcel Boundaries
 - Streams
 - Lake/Open Water
 - Wetlands



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Date: 1/15/2019 Time: 1:22:31 PM User: Shu.JC0243

Southeast District Concept Plan. The Southeast District is the spatial framework for these design standards. The Town Center and Downtown Core are nested within the district each with additional guidance to create the neighborhoods and places envisioned by the community.



STAFF REPORT

Agenda Item 7f.

Planning Commission Meeting: September 26, 2024	Prepared By: Dwight Klingbeil
Topic: M&J Wine Tasting Room Concept Plan (PID 08-119-23-23-0017 and 08-119-23-23-0018) (City File No. 24-030)	Action Required: Recommendation

1. Application Request

Margaret and John Fernandez submitted a request for review of a sketch plan for a wine tasting room on the subject property and asks for Council feedback.

2. Background

Zoning and Land Use

The two parcels combined total 7.76 acres. They are both guided Rural/Ag Residential and zoned Rural Residential (RR). Significant portions of both parcels are also located within the Shoreland Overlay District, which has additional requirements beyond the RR District standards. The eastern parcel is currently used as a residence with vineyards on the property, and the western parcel is open space. The site is located outside of the Metropolitan Urban Service Area (MUSA).

Surrounding Properties

All surrounding properties are all located outside of the MUSA. All surrounding properties are guided for Rural/Ag Residential and zoned Rural Residential (RR). The properties to the north, east, and west are currently used for residential, and the property to the south is currently used for Ag Residential.

Natural Characteristics of the Site

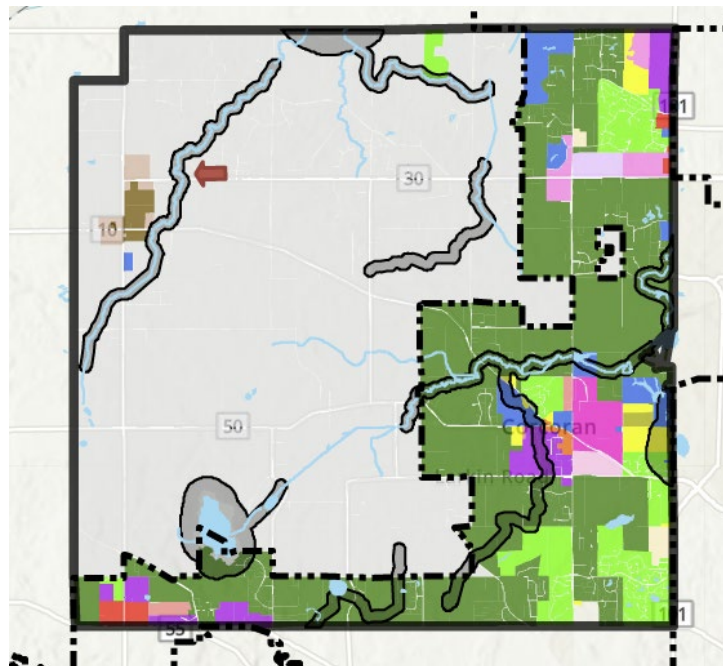


Figure 1 Site Location

Rush Creek intersects the southwest corner of the eastern parcel, and meanders through the western parcel. The Natural Resource Inventory map in the 2040 Comprehensive Plan identifies a High-Quality Natural Community in the western parcel, as well as a greenway corridor through much of the west parcel and a portion of the southwest corner of the east parcel. The entirety of the west parcel and half of the east parcel are within the shoreland overlay district. Additionally, there are significant portions of the site located within the floodplain.

3. Analysis

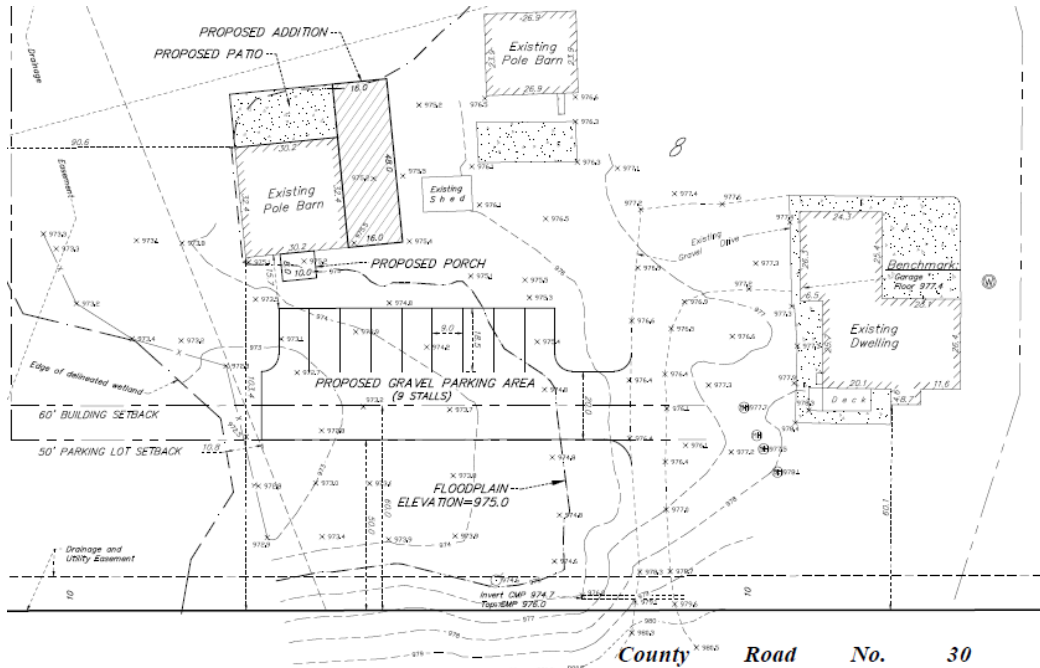


Figure 2 Concept plan

Concept Plan

The applicants currently live on the property. The applicants grow grapes in their vineyards, process and bottle the wine on site, and sell the product on their website. The eastern parcel contains residential structure, two pole barns and three sheds. The cumulative footprint of the accessory structure is roughly ~2975 sq. ft. There are no structures existing or proposed for the western parcel.

The applicants own both parcels and would like to expand their wine business beyond manufacturing. The applicant intends to repurpose the larger of the two pole barns to include a wine tasting room. Under this concept, they would continue to produce the wine, while also providing a space for seasonal wine tasting and occasional private events, such as weddings, business meetings, and photoshoots. The applicants plan to have the wine tasting room open to the public on a seasonal basis, Thursday – Sunday from 12PM to 8PM, with private events being booked periodically throughout the season. The applicant was unsure of the anticipated number of visitors for general wine

tasting, but indicated that private events, such as weddings, may host up to 100 or more people at a time.

The business is currently comprised of the two applicants. They do not expect to expand their number of employees right away but are considering hiring two additional employees sometime in the future. The applicants do not plan to have food prepared on site. Pre-packaged food will be available for daily wine tasting operations, while private events will have third-party vendors cater food.

Agribusiness

Under the current standards in the city code, this type of request would be processed as an Event Center Interim Use Permit (IUP). A home occupation for this concept would not be applicable, as that would restrict the possibility of any employees or independent contractors from working on the site. An event center would allow the applicants to hire additional employees or hire independent contractors, such as private vendors, to operate on the site.

The request could be processed under the Event Center IUP standards, but staff does not believe this is the most appropriate method. Private events are only a portion of the applicant's concept. Staff believes the requested use would align more with an agribusiness model than an event center. Agribusinesses are not currently called out within the City Code, but Council may consider exploring the adoption of agribusiness standards. This would give the applicant, as well as other agricultural-based businesses, more flexibility to operate within a set of standards while encouraging businesses that celebrate Corcoran's agricultural roots.

- The Council may wish to provide feedback on whether they would be supportive of establishing a set of standards for agribusiness uses in Corcoran.

Buildings/Architecture

The applicant plans to make a few alterations to the larger pole barn (referred to as "Barn 1" throughout this report). The alterations to barn 1 include a 768 sq ft addition to the east side of the barn for wine processing, a 471 sq ft patio on the rear side, and an 80 sq ft porch toward the front of the lot. These additions would result in a total accessory structure footprint of roughly 4292 sq ft.

The cumulative accessory structure footprint of all existing detached structures on the east parcel is roughly 2975 sq. ft. The eastern parcel is 5.84 acres, which has an allowed accessory structure footprint of 2688 sq. ft. The existing accessory structures do not comply with the size standards in Section 1030.020 Subd. 4(E). Combining this parcel with the 1.92-acre parcel to the west would increase the allowed accessory structure footprint to 3313 sq ft. The applicants proposed expansion would not meet the allowed footprint before or after lot consolidation. The applicant will need to revise their site plan to comply with the allowed footprint for the parcel.

Based on the permit history and historic photos of the site, it appears that the previous owners constructed barn 1 in a location that did not match the approved location in the 2015 building permit. The approved location of the barn is north of the residential structure and is setback from the north property line ~135 ft. This is considered a nonconforming structure and does not have the same protections as a legal nonconforming structure.

The rendering also shows potential wall signs on the south face of the pole barn. If processed as an event center, the Council may consider approval of a wall sign through an IUP. Otherwise, no wall signs are allowed in the RR district, per Section 84.05 Subd. 1.

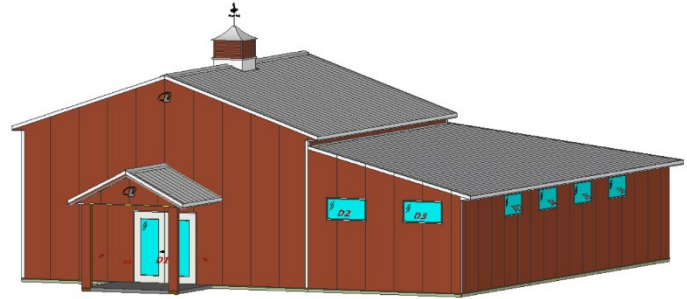


Figure 3 Building Rendering looking NW

The applicant has not provided any architectural details for the proposed additions to Barn 1. Based on permit history, the existing building has a sidewall height of 14 ft. This does not comply with the maximum sidewall height of 13 ft. 6 in. Section 1030.020 Subd. 5(C) allows accessory structures to exceed this height limit through a Conditional Use Permit (CUP). There is not a CUP on file for Barn 1. An after-the-fact CUP would need to be acquired for this barn, due to the floodplain elevation, this may be difficult to obtain. This is explained further in the *shoreland overlay district* section of this report.

Any addition to this structure must comply with accessory structure building standards detailed in Section 1060.050 Subd. 1(B) and Subd. 1(D). The permit history for Barn 1 indicates a wall material of colored steel panels. Section 1060.020 Subd. 1(D.3) allows accessory structures to be constructed with metal siding via a certificate of compliance, so long as it has been treated with a factory applied color coating system against degradation and meets the standards of the Minnesota Building Code. The applicant has not provided details on the materials used for the addition, but based on the renderings, it appears the expanded areas will match the existing materials. The applicant will be responsible for obtaining a certificate of compliance for this addition.

Setbacks

The pole barn would be required to meet the minimum accessory structure setbacks for the RR district shown in the table below:

Minimum Accessory Structure Setbacks	Required	Proposed for Barn 1
Front	100 feet	96.39 feet
Side	20 feet	90.6 feet
Rear	15 feet	220 feet
Ordinary High-Water Level	100 feet	~43 feet

The existing front yard setback for Barn 1 is 103.4 ft. The concept plan includes a new porch on the front of the pole barn, which would reduce this setback to roughly 96 ft. This addition would not comply with the zoning standards, the applicant would either need to reduce the porch size or relocate to a different face of the building. The building would meet all other required setbacks for the RR district after expansion.

Additionally, the barn is currently located within the required setback from the Ordinary High-Water Level (OHW). After proposed expansions, the barn would only be setback 43 feet from the OHW, where a minimum setback of 100 feet is required.

Parking and Drive Aisles

This concept plan includes an off-street parking lot with 9 stalls in the front yard of the property, with an alternate option of a 14-stall lot. The number of parking spaces required will depend on the size of events being held on the property. The IUP standards for event centers in the RR district requires 1 parking stall per 2 guests. The applicant’s narrative suggests that private events expect to host up to 100 people. In order to accommodate events of this size, the parking lot will need to have at least 50 parking stalls. Otherwise, the maximum capacity of private events is limited to either 18 or 28 guests, depending on the size of the parking lot. If the Council determines that an Agribusiness Ordinance is more suitable for an application such as this, the minimum number of parking stalls could be readdressed.

- Council may wish to provide feedback on what they believe is an appropriate amount of required parking spaces for the wine tasting room and private events.

The dimensions of the nine stalls appear to comply with the minimum dimensional requirements for 90-degree parking stalls (9 ft width, 18.5 ft depth), but the drive aisle does not. For 90-degree parking, the drive aisle must have a minimum width of 26 ft. The applicant is only showing a width of 20 ft. The applicant will need to revise the drive aisle width prior to the formal application.

The concept plan for the proposed parking lot indicated that it will be a gravel lot. Under the IUP standards for an event center, off street parking must be on an improved surface such as class 5 gravel or pavement. The applicant would need to specify the type of gravel being used in this lot when submitting their formal application.

Section 1060.060 Subd. 4 (A) requires parking lots to meet the following setbacks:

Minimum Parking Lot Setbacks	Required	Proposed
Front	100 feet	50 feet
Side & Rear	10 feet	> 10 feet
Ordinary High Water Level	100 feet	~27 feet

This concept would not comply with the minimum front setback, as the setback from major roads is 100 ft. The applicant would either need to relocate the lot or apply for a variance from this standard. Additionally, it would not meet the required setback of 100 feet from the ordinary high-water level (OWH).

- Council may wish to provide feedback on whether they would support a variance to allow the applicant to install a parking lot within the required setback area.

Access

Access to the site will come from the existing driveway on the property. The concept plan depicts the parking lot connecting to the existing driveway. The applicant will need to confirm with the County that the current access location is appropriate for the proposed use. Additionally, Public Safety will require the existing driveway to be widened to at least 20 ft and be able to pass a roll test for emergency vehicles to access the site. Due to the amount of fatal and near-fatal accidents in the vicinity, a traffic study will need to be conducted to assess the increased traffic levels.

Utilities

The property is located outside of the MUSA boundary and is currently served by a private septic and well system. The applicant did not specify whether the accessory structure would be connected to a septic system, or if portable restroom facilities would be located on site. The applicant will be responsible for obtaining approval from Hennepin County for any septic connection on the property.

Stormwater

The applicant is creating new impervious surfaces through a new parking lot and additions to the existing building. The current plan appears to disturb less than 1 acre of land and would not necessitate stormwater improvements. If the disturbance area is modified and exceeds 1 acre of land, the applicant will be required to submit a stormwater management plan in accordance with city standards at the time of a formal application.

Shoreland Overlay

Due to Rush Creek intersecting the property, a significant portion of both parcels lay within the Shoreland Overlay District, including the entirety of the proposed additions of the concept plan. The proposed concept must consider the standards of the Shoreland Overlay District in addition to the RR district standards.



Figure 4 Shoreland Overlay District area

The maximum height of all structures in residential areas of the shoreland overlay district is 25 ft. The height of the existing structure is roughly 20 feet. The minimum structural setback from tributary rivers/streams in the shoreland overlay district is 100 ft. The existing structure is ~43 ft from the Ordinary High-Water Level (OHW), which was measured from the west bank of Rush Creek. The addition on the west side of the structure and the porch do not encroach further into the setback from the OHW, but the patio addition does. The shoreland overlay district requires a variance for any addition that deviates from the setback requirements of this section.

The design criteria for the shoreland overlay district requires the first floor all structures without a basement, including accessory structures and additions to structures, to be constructed at least 2 feet above the regional flood elevation. The regional flood elevation in this area is 975 ft. The proposed expansions would be constructed at elevations ranging from 975.1 ft to 975.5 ft. This is too close to the floodplain elevation and the City cannot permit the proposed additions. Additionally, the parking lot is also shown within the floodplain. Permitting these expansions will require a significant amount of regulatory permitting and requirements. Engineering recommends modifications to the parking and building expansions to avoid floodplain permitting.

Public Safety

The Public Safety Committee reviewed the plans and provided the attached letter regarding access and fire code issues.

Summary

The applicant will need to make some significant adjustments to the concept plan if they wish to comply with the current standards of the City Code. The proposed use may be processed as an event center IUP, but it may be more appropriate to process this use as an agribusiness. Establishing a set of standards for agribusinesses would require an amendment to the zoning ordinance. *Does the Council prefer this application to be reviewed under the standards of the Event Center IUP or through an Agribusiness Ordinance?*

4. Recommendation

Staff recommends that the City Council review and discuss the sketch plan and provide the applicant with informal comments.

Any opinions or comment provided to the applicant by the City Council are considered advisory only and shall not constitute a binding decision on the request.

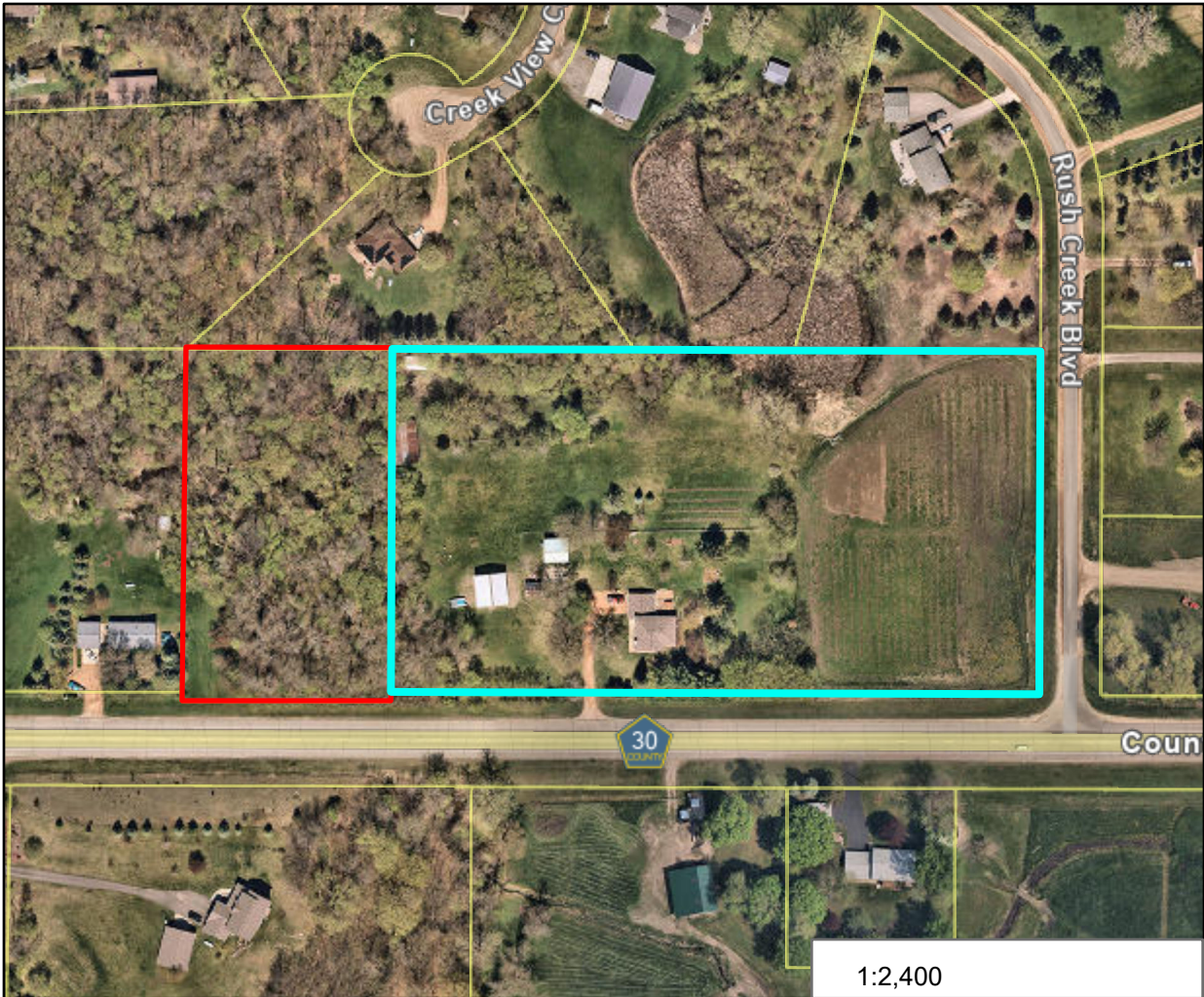
Attachments:

1. Site Location Map
2. Applicant's Narrative received July 30, 2024
3. Concept Site Plan received September 5, 2024
4. Example Renderings received April 16, 2024
5. City Engineer memo dated September 18, 2024
6. Public Safety Memo dated August 7, 2024
7. 2040 Land Use Plan



Hennepin County Property Map

Date: 9/19/2024



PARCEL ID: 0811923230017

OWNER NAME: J Fernandez & M Fernandez

PARCEL ADDRESS: 23020 Co Rd No 30, Corcoran MN 55374

PARCEL AREA: 5.84 acres, 254,426 sq ft

A-T-B: Abstract

SALE PRICE: \$412,900

SALE DATE: 05/2019

SALE CODE: Warranty Deed

ASSESSED 2023, PAYABLE 2024
 PROPERTY TYPE: Residential
 HOMESTEAD: Homestead
 MARKET VALUE: \$541,200
 TAX TOTAL: \$4,733.66

ASSESSED 2024, PAYABLE 2025
 PROPERTY TYPE: Residential
 HOMESTEAD: Homestead
 MARKET VALUE: \$535,200

Comments:

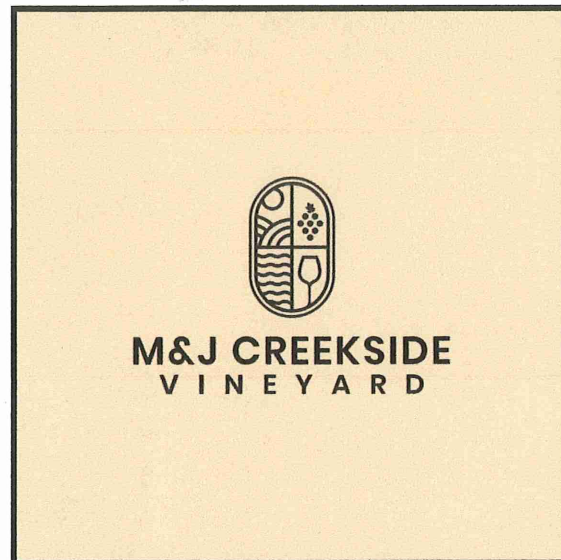
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M&J Creekside Vineyard

Business Plan

John and Margaret Fernandez



23020 County Road 30, Corcoran MN 55374

Margaret Fernandez- 763-221-4841

John Fernandez 763-447-1659

mjcreeksidevineyard@gmail.com

Executive Summary

At M & J Creekside, we strive to create a welcoming setting where individuals and groups can gather to savor Minnesota wines, beverages as well as purchase fresh, seasonal vegetables amidst a picturesque rural landscape that is M & J Creekside. Located within the metro area, our mission is to provide a rejuvenating escape from daily stressors, offering a connection to the land through Minnesota wines and locally grown produce. Whether you come to hosting private events tailored to individual needs, whether it's a celebration, a business meeting, or a memorable photoshoot in our vineyard and by the creekside.

Company Summary

After many years of dreaming of starting a vineyard, we started experimenting with wine making 8 years ago in 2016. We wanted to be sure we could make great wine before we moved forward with building a vineyard. After our initial planting of Marquette and Frontenac grapes, we became passionate about wine-making, continuously researching new cultivars and techniques. We discovered with research and visiting vineyards throughout the state of Minnesota, that there was an opportunity to produce an exceptional product here in Corcoran with Minnesota grapes.

When researching where we wanted to start our vineyard, we found that the outer suburbs are growing at a rapid pace and are severely lacking in venues for people to go and gather or hold celebrations and events. In 2019 John and I bought a beautiful property in Corcoran, MN with the plan to start a vineyard and tasting room. We contacted the University of Minnesota and they tested the soil to confirm the land was suitable for growing grapes. We also had a vintner from (Saint Croix Vineyard) come and assess the land for growing vines. There were a number of out buildings on the property and one specific structure we are currently building out into a tasting room. We spent the last five years cultivating the land and planting wine grapes to make into wine. We currently have over 700 vines with (Marquette, Frontenac, Itasca, Frontenac Gris and Edelweiss) grapes. This year we produced enough grapes to make a larger quantity of wine. Today we have enough wine for approximately 300 bottles and that number will grow exponentially in coming years.

We have a big pumpkin patch, vegetable garden, and a portion of our land is wooded, and is situated in a scenic, serene setting on Rush Creek. Our plan is to provide a unique space where people from all backgrounds and walks of life can gather and celebrate each other and relax in a rural setting close to home while enjoying Minnesota wines. We bought land in an urban setting with high visibility to attract commuters and consumers in the community. There are limited venues in our area to rent for celebrations/meetings. We plan to fill that gap. We will measure our success by selling 4-6 thousand bottles of wine a year. Host a number of events annually and become an integral business in our community that gives back.

Business Model & Partners

Our business model centers on the production and sale of wine and vegetables, with our tasting room serving as the primary venue. We intend to leverage our land and facilities for various events such as weddings, celebrations, meetings, classes, and photo shoots. Diversifying our revenue streams, we plan to offer branded merchandise and showcase local artists' creations within our establishment. Margaret Fernandez and John Fernandez serve as our current business partners, alongside a team of dedicated volunteers and hired assistance for vineyard development. Erik Heimark, a farm consultant and Specialty Crops FMB Instructor, plays a pivotal role, facilitating our agricultural operations and fostering connections with industry stakeholders including the USDA office in Buffalo, MN and other farming contacts. John is a veteran and we took some farming classes that shared resources through the VA. We are working with the City of Corcoran on permitting and building out the tasting room. We have a number of vendors for events that we can tap into and recommend for weddings and events. (some vendor examples: Fork & Flare (caterer) Rockwoods, (Caterer) Tanja Hansen (Photography), Chuck Korpi (Photography), Apres (Tent Rentals), Beesies Blooms (Florist), Fusion Events (Bar Tenders), Complete Events (DJ) to name a few)

Products

Wine Grapes- Marquette, Frontenac, Frontenac Gris, Itasca & Edelweiss (approx 700 vines)

Garden Vegetables- Tomatoes, cucumber, zucchini, squash, pumpkins

Demographics

Some stats on our Target Market:

Maple Grove-

Co Rd 30 had 6,874 Annual Average Daily Traffic (AADT) in 2022. 6800 in 2019 & 6100 in 2017.

The average household income of Maple Grove is \$144,537, median age 40.3 years.

-5.44 miles from downtown Maple Grove (DOT Traffic Mapping Application)

Hennepin County-

1,320,207 pop in 2023 has a .99% growth rate.

Corcoran-

The average household income in Corcoran is \$179,864- The median age in Corcoran is 43.4 years, 46 years for males, and 41.1 years for females.

Medina-

In 2021 the population of Medina was 6,654, median household income was \$187,031

<https://datausa.io/profile/geo/medina-mn#:~:text=About,median%20household%20income%20of%20%24187%2C031.>

Rogers-

In 2021 the population of Rogers was 13.2k people with a median age of 36.8 and a median household income of \$137,031.

<https://datausa.io/profile/geo/rogers-mn>

According to Statista, the average age group that consumes the most wine is between 30- 49. Forbes Magazine in 2021, found higher income brackets tend to consume more wine.

Competition

Buffalo Rock Winery in Buffalo 10 miles away

Schram Winery (Waconia), Sovereign Estates Winery (Waconia), Parley Lake Winery (Waconia)

Fountain Hill Winery (Delano)

Most are open Thursday through Sunday (we plan to be open seasonally Thursday-Sunday)

Marketing

To bolster customer outreach, we will deploy a multi-faceted marketing approach encompassing digital platforms, signage, and word-of-mouth referrals. The vineyard is located on county road 30 and gets significant commuter traffic. We plan to offer up different events i.e. tasting parties, grape picking events, vintner classes, fall hayrides and pumpkin picking etc.

Capital Requirements

Essential capital requirements include funding for infrastructure development, equipment procurement, vine maintenance, marketing initiatives, and insurance coverage.

Resources and capital needed will include funding for the buildout and maintenance of the tasting room and event venue, the cost of hiring contractors to add a parking lot and assess land use. We will need additional equipment to make and sell wine, a marketing budget and insurance budget. Funds for future staff as well.

Our advisory network comprises seasoned professionals from various fields, including taxation, insurance, agricultural consulting, and legal counsel, ensuring comprehensive guidance throughout our venture's trajectory. Key team members and advisors include: Erik Heimerk (Farm Consultant), Charles Jasicki (Tax Professional), USDA office, Kevin Begin (Insurance Consultant), City of Corcoran, Noah Hemsted (Hemstad Consulting/Hemsted Genetics), Minnesota Vines purchased through Winterhaven Vineyard and Nursery, MN Grape Growers Association.

18202 Minnetonka Boulevard, Suite 401
Deephaven, Minnesota 55391
Phone (952) 474-7964
Web: www.advsur.com

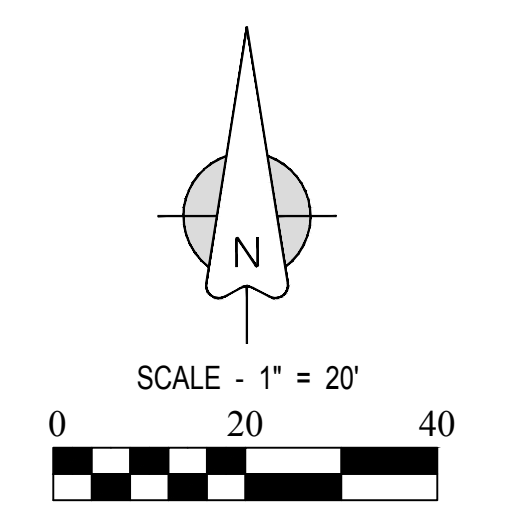
I HEREBY CERTIFY THAT THIS PLAN, SURVEY OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

Thomas M. Bloom
Thomas M. Bloom

42379
LICENSE NO.

JULY 25, 2024
DATE:

DRAWING ORIENTATION & SCALE



CLIENT NAME / JOB ADDRESS

JOHN & MARGARET FERNANDEZ

23020 CO. RD. #30 & PID
#0211923230018
CORCORAN, MN

DATE	REVISION DESCRIPTION
9-5-24	ADDED FP ELEV. & CREEK BUFFER SETBACK

DATE SURVEYED: JULY 12, 2024

DATE DRAFTED: JULY 25, 2024

SHEET TITLE
PROPOSED SURVEY

DRAWING NUMBER
240941 JR

SHEET SIZE **22 X 34**

SHEET NUMBER
S1
SHEET 1 OF 2

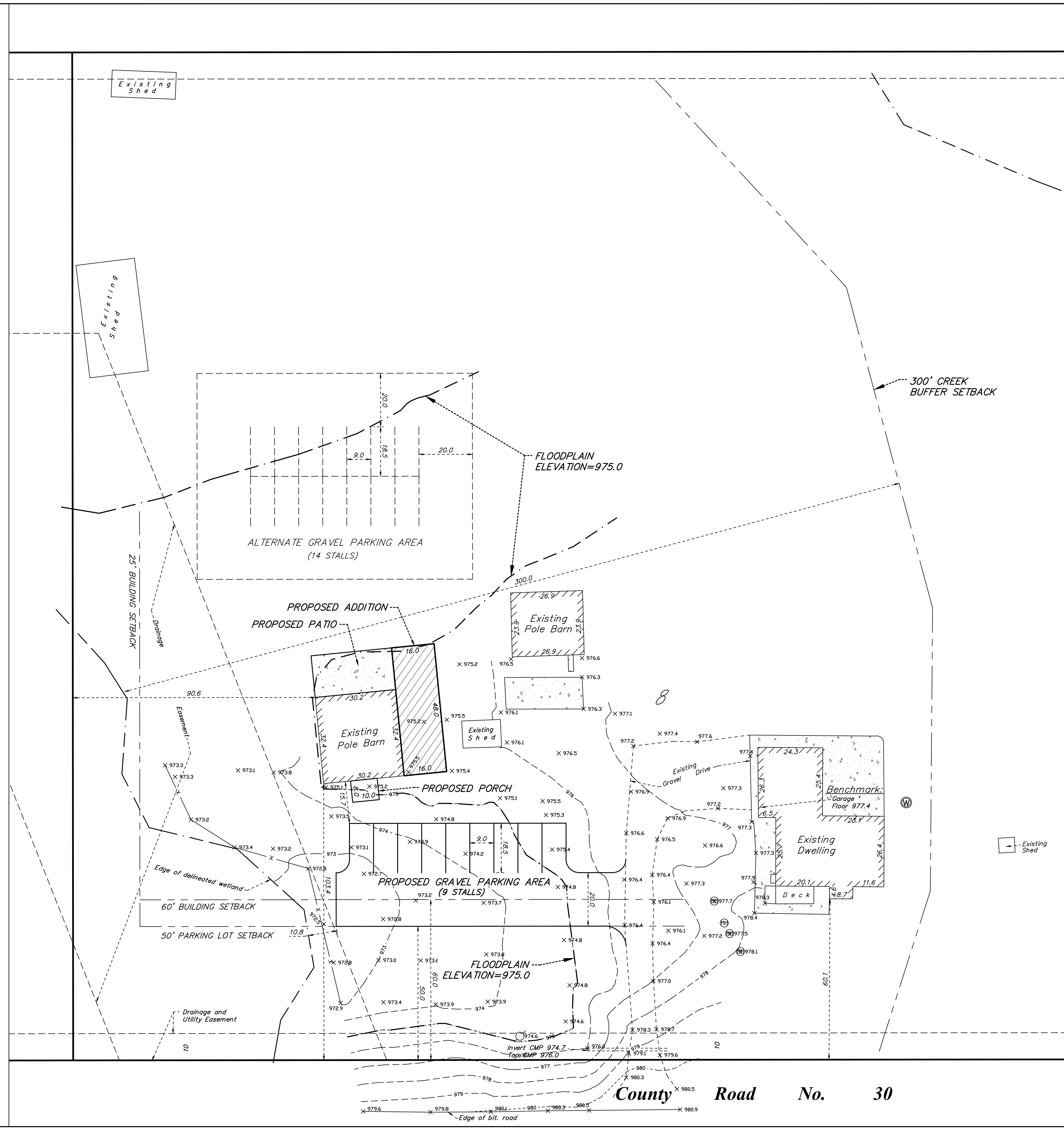
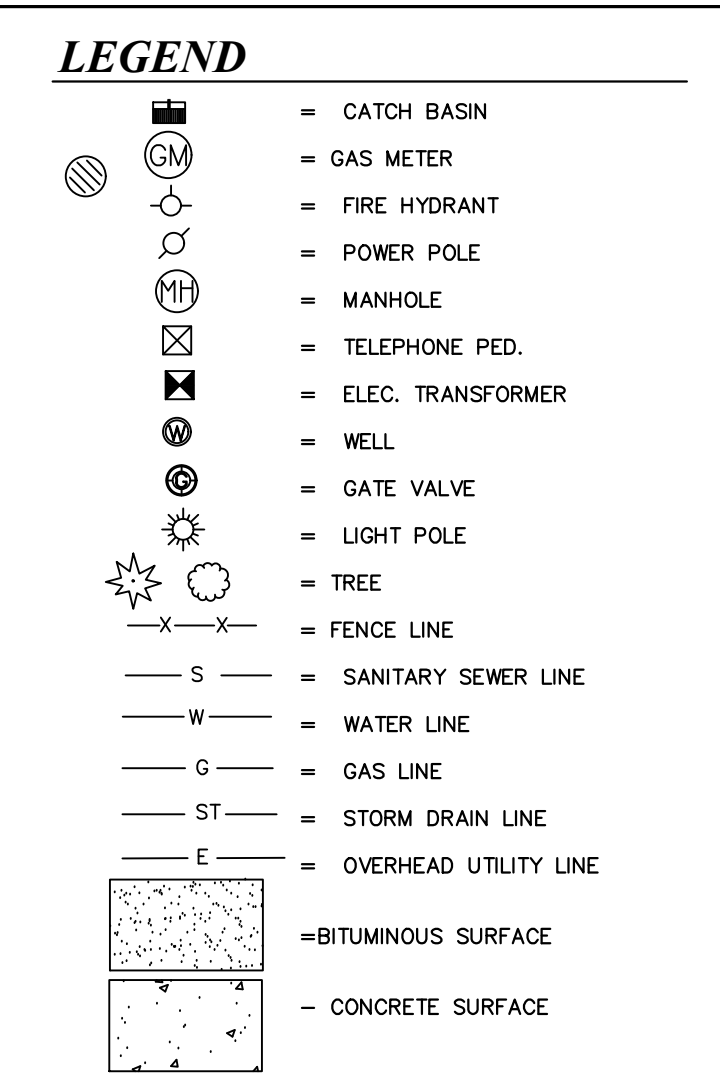
LEGAL DESCRIPTION EAST PARCEL:
The East 693.56 feet of Lot 8, Block 2, OAK HOLLOW, Hennepin County, Minnesota.

LEGAL DESCRIPTION WEST PARCEL:
That part of Lot 8, Block 2, OAK HOLLOW, Hennepin County, Minnesota, lying West of the East 693.56 feet, thereof.

- SCOPE OF WORK & LIMITATIONS:**
- Showing the length and direction of boundary lines of the legal description listed above. The scope of our services does not include determining what you own, which is a legal matter. Please check the legal description with your records or consult with competent legal counsel, if necessary, to make sure that it is correct and that any matters of record, such as easements, that you wish to be included on the survey have been shown.
 - Showing the location of observed existing improvements we deem necessary for the survey.
 - Setting survey markers or verifying existing survey markers to establish the corners of the property.
 - This survey has been completed without the benefit of a current title commitment. There may be existing easements or other encumbrances that would be revealed by a current title commitment. Therefore, this survey does not purport to show any easements or encumbrances other than the ones shown hereon.
 - Note that all building dimensions and building tie dimensions to the property lines, are taken from the siding and or stucco of the building.
 - Showing and tabulating impervious surface coverage of the lot for your review and for the review of such governmental agencies that may have jurisdiction over these requirements to verify they are correctly shown before proceeding with construction.
 - Showing elevations on the site at selected locations to give some indication of the topography of the site. We have also provided a benchmark for your use in determining elevations for construction on this site. The elevations shown relate only to the benchmark provided on this survey. Use that benchmark and check at least one other feature shown on the survey when determining other elevations for use on this site or before beginning construction.
 - While we show a proposed location for this home or addition, we are not as familiar with your proposed plans as you, your architect, or the builder are. Review our proposed location of the improvements and proposed yard grades carefully to verify that they match your plans before construction begins. Also, we are not as familiar with local codes and minimum requirements as the local building and zoning officials in this community are. Be sure to show this survey to said officials, or any other officials that may have jurisdiction over the proposed improvements and obtain their approvals before beginning construction or planning improvements to the property.

STANDARD SYMBOLS & CONVENTIONS:
"●" Denotes iron survey marker, set, unless otherwise noted.

EXISTING HARDCOVER WEST PROP.		PROPOSED HARDCOVER WEST PROP.	
0 Sq. Ft.		0 Sq. Ft.	
TOTAL EXISTING HARDCOVER AREA OF LOT	0 Sq. Ft. 83,502 Sq. Ft.	TOTAL PROPOSED HARDCOVER AREA OF LOT	0 Sq. Ft. 83,502 Sq. Ft.
PERCENTAGE OF HARDCOVER TO LOT	0%	PERCENTAGE OF HARDCOVER TO LOT	0%
EXISTING HARDCOVER EAST PROP.		PROPOSED HARDCOVER EAST PROP.	
House	1,733 Sq. Ft.	House	1,733 Sq. Ft.
Existing Deck	94 Sq. Ft.	Existing Deck	94 Sq. Ft.
Gravel Driveway	2,144 Sq. Ft.	Gravel Driveway	2,144 Sq. Ft.
Pole Barns	1,623 Sq. Ft.	Pole Barns	1,623 Sq. Ft.
Concrete Surfaces	1,597 Sq. Ft.	Concrete Surfaces	1,597 Sq. Ft.
Sheds	1,354 Sq. Ft.	Sheds	1,354 Sq. Ft.
Pole Barn Addition	768 Sq. Ft.	Pole Barn Addition	768 Sq. Ft.
Proposed Patio	472 Sq. Ft.	Proposed Patio	472 Sq. Ft.
Proposed Porch	80 Sq. Ft.	Proposed Porch	80 Sq. Ft.
Proposed Gravel Parking	3,687 Sq. Ft.	Proposed Gravel Parking	3,687 Sq. Ft.
TOTAL EXISTING HARDCOVER AREA OF LOT	8,545 Sq. Ft. 261,361 Sq. Ft.	TOTAL PROPOSED HARDCOVER AREA OF LOT	13,552 Sq. Ft. 261,361 Sq. Ft.
PERCENTAGE OF HARDCOVER TO LOT	3.3%	PERCENTAGE OF HARDCOVER TO LOT	5.2%



County Road No. 30

LEGAL DESCRIPTION EAST PARCEL:

The East 693.56 feet of Lot 8, Block 2, OAK HOLLOW, Hennepin County, Minnesota.

LEGAL DESCRIPTION WEST PARCEL:

That part of Lot 8, Block 2, OAK HOLLOW, Hennepin County, Minnesota, lying West of the East 693.56 feet, thereof.

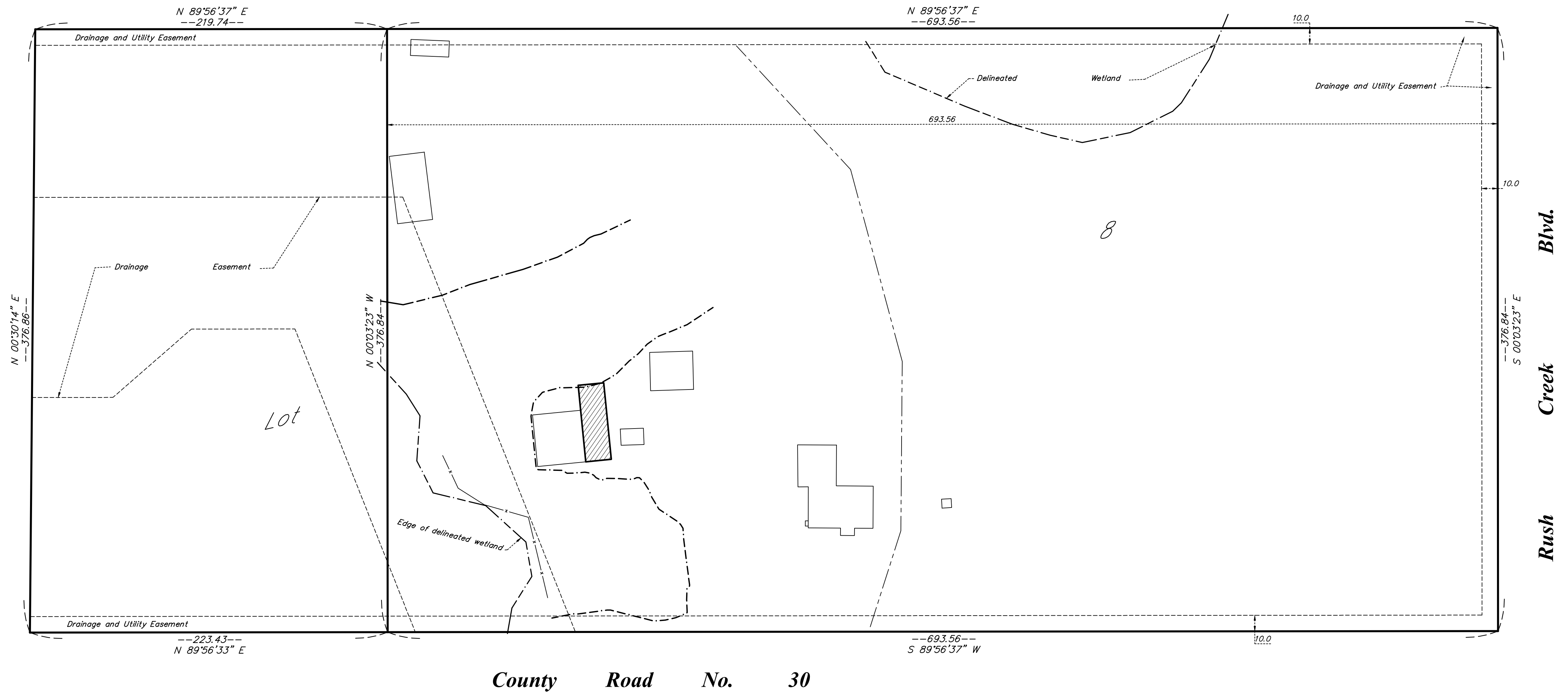
SCOPE OF WORK & LIMITATIONS:

- Showing the length and direction of boundary lines of the legal description listed above. The scope of our services does not include determining what you own, which is a legal matter. Please check the legal description with your records or consult with competent legal counsel, if necessary, to make sure that it is correct and that any matters of record, such as easements, that you wish to be included on the survey have been shown.
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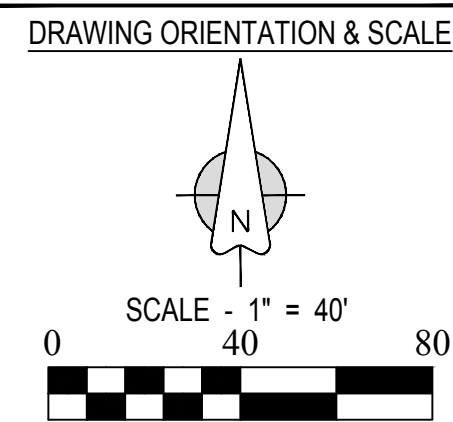
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LEGEND

- = CATCH BASIN
- = GAS METER
- = FIRE HYDRANT
- = POWER POLE
- = MANHOLE
- = TELEPHONE PED.
- = ELEC. TRANSFORMER
- = WELL
- = GATE VALVE
- = LIGHT POLE
- = TREE
- = FENCE LINE
- = SANITARY SEWER LINE
- = WATER LINE
- = GAS LINE
- = STORM DRAIN LINE
- = OVERHEAD UTILITY LINE
- = BITUMINOUS SURFACE
- = CONCRETE SURFACE

DATE	REVISION	DESCRIPTION



CLIENT NAME / JOB ADDRESS

JOHN & MARGARET FERNANDEZ
 23020 CO. RD. #30 & PID
 #0211923230018
 CORCORAN, MN

Advance
 Surveying & Engineering, Co.

18202 Minnetonka Boulevard, Suite 401
 Deephaven, Minnesota 55391
 Phone (952) 474-7964
 Web: www.advsur.com

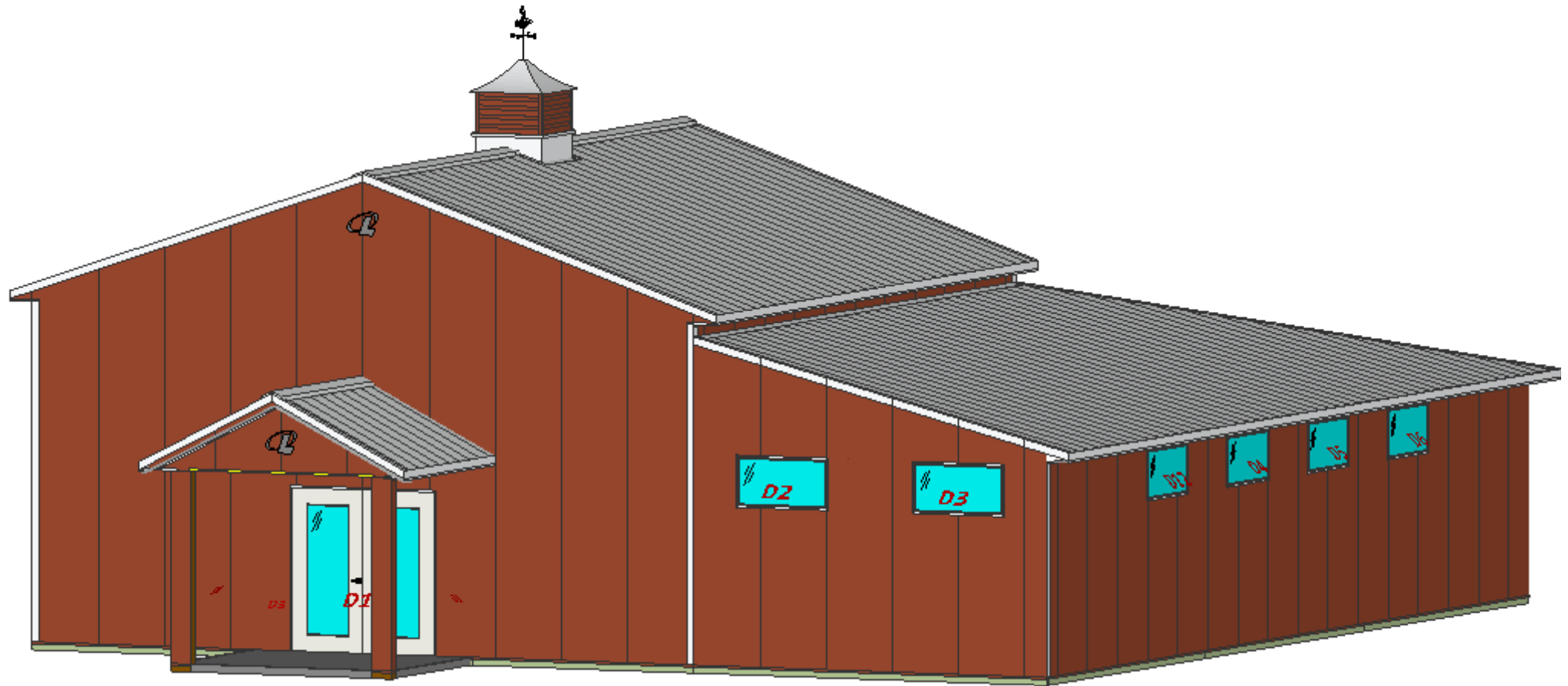
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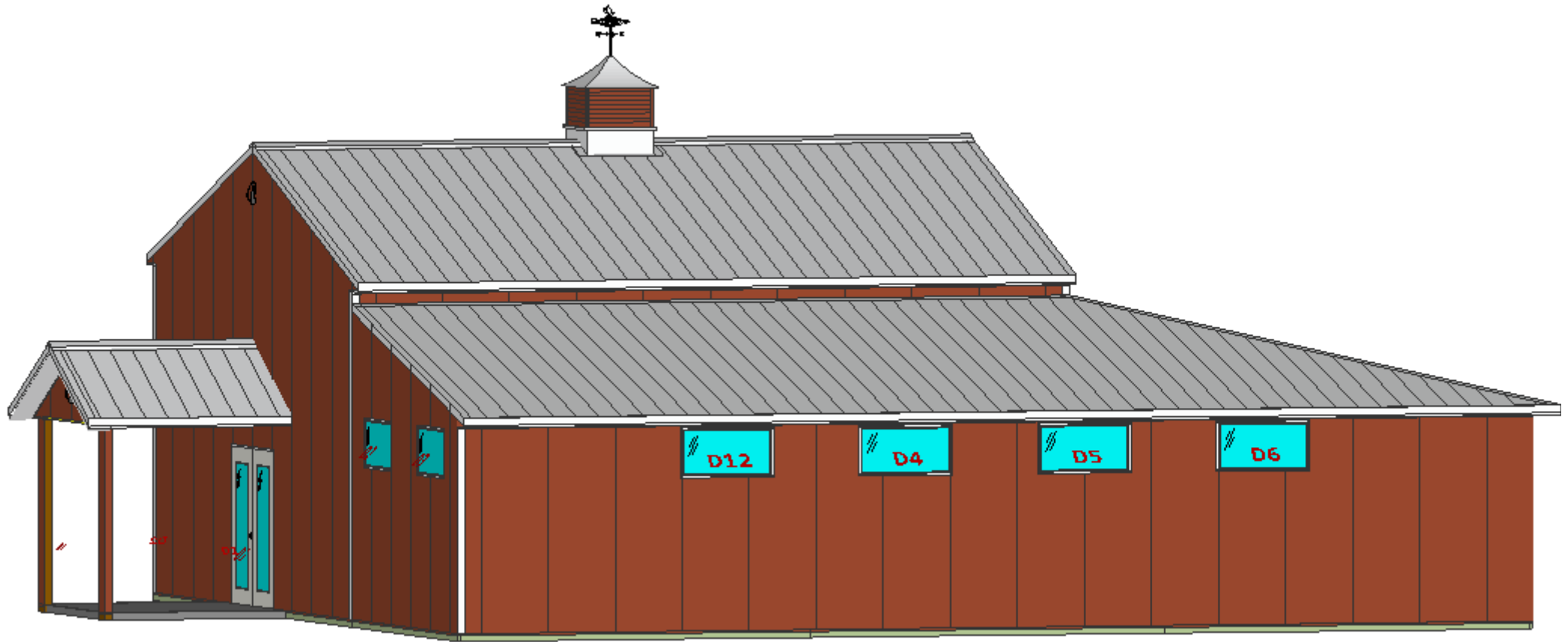
Thomas M. Bloom
 # 42379
 LICENSE NO.
 JULY 25, 2024
 DATE

DATE SURVEYED: JULY 12, 2024
 DATE DRAFTED: JULY 25, 2024

SHEET TITLE
PROPOSED SURVEY
 DRAWING NUMBER
 240941 JR

SHEET SIZE 22 X 34
 SHEET NO.
S2
 SHEET 2 OF 2



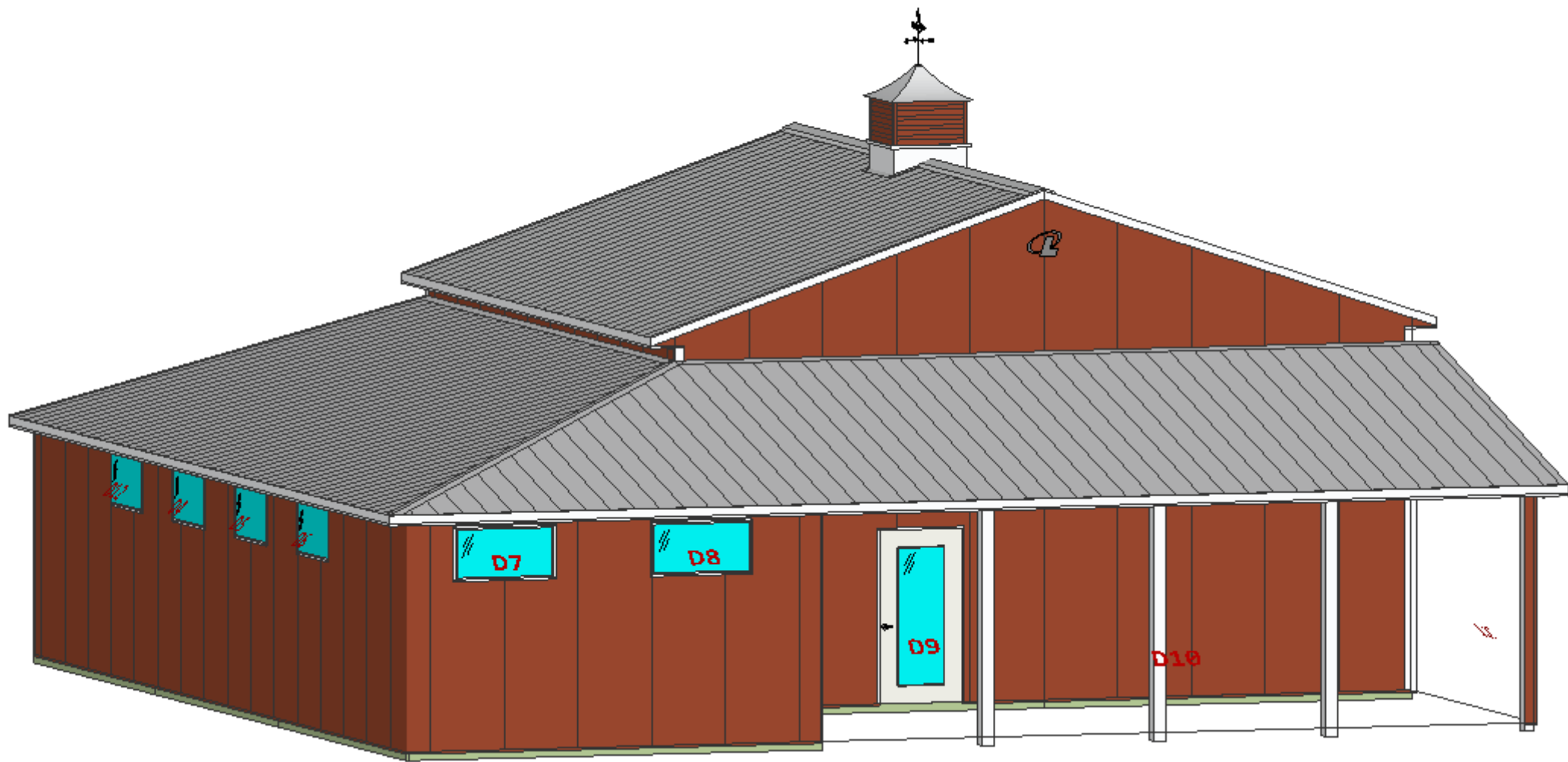


D12

D4

D5

D6





Memo

To: Kevin Mattson, PE Public Works Director

From: Kent Torve, PE, City Engineer
Steve Hegland, PE

Project: M&J Winery Concept Review

Date: August 22, 2024

Exhibits:

This Memorandum is based on a review of the following document:

1. Proposed Survey Sheets 1 and 2; July 25, 2024 by Advance Surveying and Engineering.

Comments:

General:

1. The site is proposed to be used for a wine tasting room available to the public. The site plan identifies a newly constructed parking lot for 9 stalls and 14 alternate stalls with gravel parking lot.
2. There are several buildings/structures that appear to currently encroach into easements. An encroachment agreement should be obtained for these structures if not already approved by the City for their location.

Transportation

1. The proposed project access' is from County Road 30. The applicant shall confirm with the county, that the current access location is appropriate for the proposed use.
2. The internal access and parking lot will be privately owned and maintained.
3. The Alternate Parking stalls need an access road shown.
4. The parking lot shall have concrete curbing or edging and shall have a paved surface. This shall include the alternative parking area if constructed.
5. The drive aisle should be 26-feet wide per City code.
6. Public Safety should review and comment on the size and layout of the internal drive aisles. If changes are necessary to the drive location or width, the culvert and ditch work to modify the driveway may require a permit from Hennepin County.

Wetlands/Stormwater

1. Based on the current site plan, the size of the disturbance is anticipated to be less than 1-acre so it is not anticipated to trigger any City of Corcoran, Watershed or MPCA stormwater improvements. If the disturbance area changes or the site disturbance is enough to trigger stormwater treatment compliance, the applicant shall be required to meet those standards.
2. A delineated wetland is shown on the north property line and southwest corner adjacent to Rush Creek. Any improvements shall meet all applicable City and WCA regulations. Wetland buffer and setbacks shall be shown.
3. Easements shall be provided over the wetlands and buffers.
4. All drainage swales shall maintain a minimum of 2% slope and all slopes should be 4:1 or flatter unless approved by the City Engineer.

August 2024

M&J Wine Tasting

Kevin Mattson

Page 2 of 2

Floodplain and OHW

1. FEMA 100-year floodplain (Zone AE) is mapped on the property at elevations ranging from 975 to 973. This shall be shown and setbacks and freeboard would apply.
2. A FEMA mapped floodway is mapped on the property and shall be shown on the site plan.
3. The current site plan shows expanding of the existing building which likely appears to be too close to the floodplain as allowed by City and Watershed regulations. This will limit permitting expansion of the existing structure.
4. The proposed parking lot appears to be shown in the floodplain.
5. The current site plan shows improvements to the building and parking lot within the FEMA floodplain and mapped floodplain. Attempting to permit these improvements will require a significant amount of regulatory permitting and requirements and some or all of what is being proposed may not be allowable through that process. We recommend the applicant consider modifications to the location of parking and building expansions to avoid floodplain permitting.
6. DNR uses the Ordinary High Water (OHW) for determining Shoreland Overlay District setback. This elevation is different than the 100-year floodplain elevation and City can assist with determining this elevation at Applicant's request.

Water/Sewer

1. The proposed site is not within the MUSA and will be served by private well and septic system.
2. The applicant shall confirm if the current septic system can be utilized for this use or if a new septic system will be necessary.
3. The applicant shall confirm if the current well can be utilized for this use or if a new well will be necessary for the site.

End of Comments



MEMO

Date: August 7, 2024

To: Planning (Community Development Director Davis McKeown and Planner Klingbeil)

From: Lieutenant Burns

Re: City File 24-030 M&J Wine Tasting Room Concept Plan

A Public Safety plan review meeting was held on August 7, 2024, to review the submitted application for the M&J Wine Tasting Room Concept Plan. In attendance were the following: Police Chief Gottschalk, Lieutenant Burns, Building Official Rosenau, Construction Services Supervisor Prichard, Planner Klingbeil, and Community Development Director Davis McKeown. Absent was Fire Chief Malewicki. The comments below are based on the preliminary review of the concept plan and are intended as initial feedback. Further plan review will need to be completed as construction plans are finalized.

1. A traffic study is recommended due to existing concerns regarding CR-30 and the number of fatal and near fatal crashes on this roadway.
2. Driveway must be widened as part of this project to at least 20' to accommodate emergency access and two-way traffic.
3. Driveway and parking lot must pass the roll test for emergency vehicles as part of this project.
4. There may be accessibility requirements as part of the building code that need to be incorporated in the final design.
5. South edge of the parking lot must be signed "no parking fire lane".
6. As proposed, the access to the site and gravel parking lot should suffice for the size of building proposed, but any additional intensity of seating space/events will likely trigger additional improvements.
7. There will be additional liquor licensure requirements for the premise. This may include fencing and defining continuous consumption areas.
8. A turn radius exhibit must be provided for the parking lot.



CITY OF CORCORAN

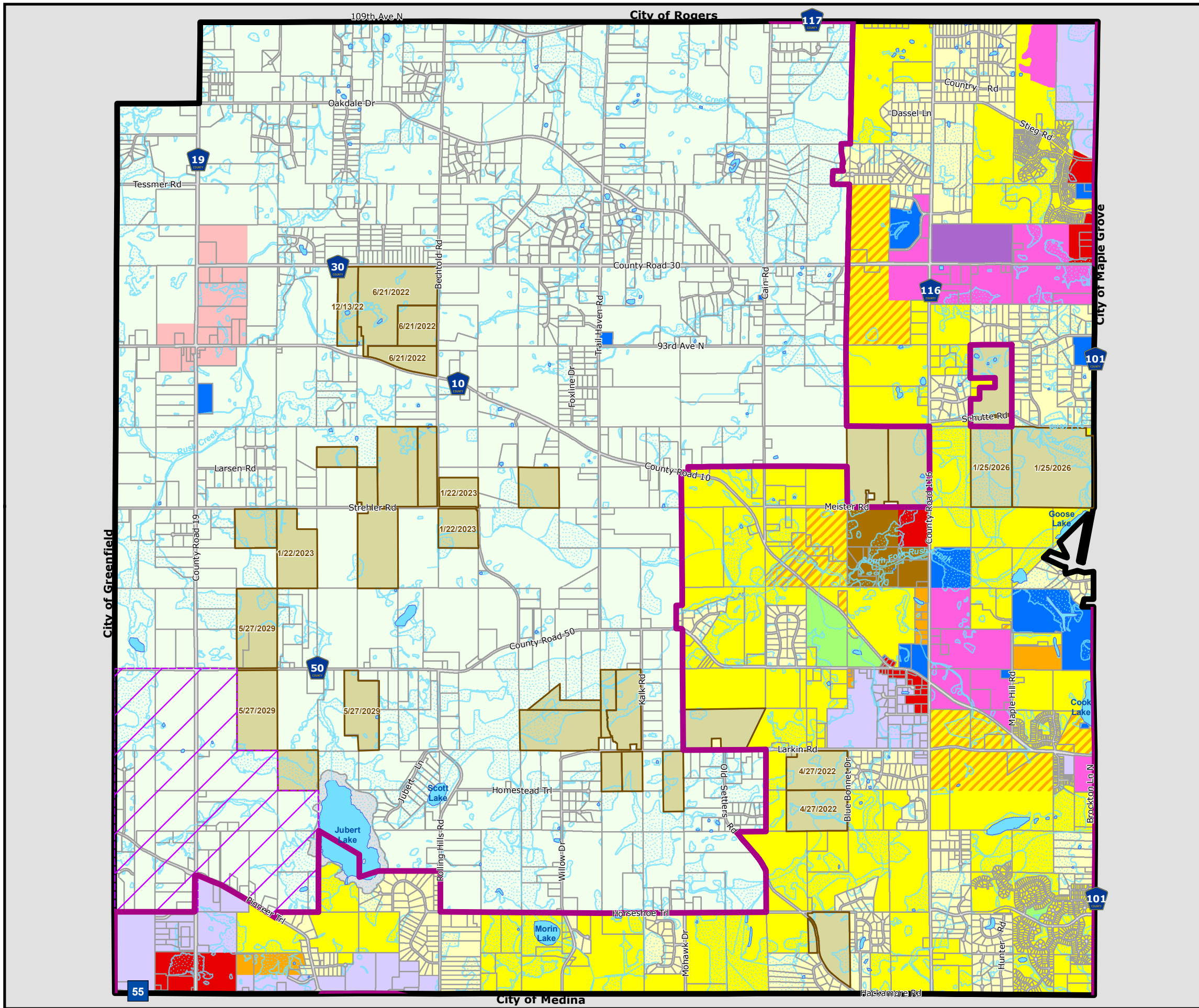
2040 COMPREHENSIVE PLAN

Map 2-1
2040 Future Land Use

- Rural/Ag Residential
- Existing Residential
- Low Density Residential
- Medium Density Residential
- Mixed Residential
- High Density Residential
- Rural Service/Commercial
- Commercial
- Mixed Use
- Business Park
- Light Industrial
- Public/Semi-Public
- Parks/Open Space
- Agricultural Preserve (Date of Expiration)
- Open Water
- Municipal Boundary
- 2040 MUSA
- Future MUSA Expansion Area
- Parcel Boundaries
- Streams
- Lake/Open Water
- Wetlands

Source:
Revised National Wetland Inventory (MN DNR, 2009-2014)

3,000 1,500 0 3,000



STAFF REPORT

Agenda Item: 9a.

Council Meeting January 11, 2024	Prepared By Jay Tobin
Topic North Hennepin Pioneer Society Request for Funds in 2025	Action Required Direction

Summary

The North Hennepin Pioneer Society submitted a letter to the City in June 2024 requesting financial assistance for their organization. The letter requested immediate support for repairs to the bell tower and support for three repair projects in 2025, the letter and repair estimates are attached to this report.

Per Minnesota Statute 138.053, any historical society affiliated and approved by the Minnesota Historical Society may receive funding annually from a governing body of any home rule charter or statutory city of town through specific funding options. The funding must be paid directly to the historical society of its respective city, town or county and be used for the promotion of historical work and aid in defraying the expense of carrying on the historical work in the city, town, or county. The historical society must be affiliated with and approved by the Minnesota Historical Society.

City Council has approved use of gambling funds which the City receives three times to assist with maintenance of the Burschville School:

- August 11, 2016 – Resolution 2016-63 approved \$6,000 for repairs and paint
- February 8, 2024 – Resolution 2024-09 approved \$15,000 for floor repairs
- July 11, 2024 – Resolution 2024-79 approved \$15,000 for bell tower repairs

The 2025 repair project requests are:

- \$44,160 – Main School Building Roof Repairs
- \$5,660 – Cabin roof repairs and shed removal
- \$22,100 – School house chimney replacement

At the time the gambling ordinance was adopted, Council did not adopt a resolution specifying the use of those funds. The chart of lawful uses for gambling expenditures is attached.

It is requested the City Council consider the request and direct staff on further action.

Financial/Budget

The gambling fund received \$29,306.63 in 2023 and earned \$11,155.62 in interest for a total 2023 gambling fund revenues of \$40,462.25. Current gambling fund balance is \$258,323.74 as of September 18, 2024.

Options

1. Discuss alternatives and commit to fund North Hennepin Pioneer Society projects in 2025.
2. Take no action.
3. Send back to staff for further review.

Recommendation

Staff recommends financial support to the North Hennepin Pioneer Society in 2025 equivalent or greater than the \$30,000 committed in 2024. Staff feels that clearer guidance for distribution of gambling funds would be beneficial at some point.

Council Action

Consider a motion to direct staff to draft documents necessary to commit funds towards the North Hennepin Pioneer Society.

Attachments

1. North Hennepin Pioneer Society Request 6-5-2024
2. Schoolhouse Roof Quote #2170
3. Cabin Roof Quote #2171
4. Chimney Quote
5. Lawful Charitable Gambling Expenditures



North Hennepin Pioneer Society-Burschville School

City of Corcoran
8200 County Rd 116
Corcoran, MN 55340

June 3, 2024

Dear Corcoran City Council,

I am writing on behalf of the North Hennepin Pioneer Society. We are an organization that has maintained and cared for the Burschville School, District #107 since the society was founded in 1967. For over 55 years we have preserved and watched over the school and would hate to see it poor condition.

Our school was one of the last operating schools in Hennepin County until it consolidated with the Buffalo School District in 1967. The then empty school was sold to our historical society to resupply with school items and reopen its doors to visitors. At one time there were a total of 8 one-room schools in Corcoran. At present time there are 3 used as private homes, 4 destroyed and only the Burschville School still standing and open as a one-room school of bygone years.

The School is a 501©3 organization and we were accepted into the National Register of Historic Sites with the Minnesota Historical Society in 2018. It was a 4-year process, but we were able to qualify and be accepted.

Over the years we have raised money for insurance, electricity, yard maintenance, repair, and replacement of damaged exterior wood, repainting the interior and exterior of the school. We have kept watch on maintenance issues that would need to be addressed in the future. Prior to the St. John's 2nd grade class visiting last May, the foundation repair, sanding and varnishing of the wood floor was completed. The class visited, dressed in time period clothing and enjoyed traveling back in time, at Burschville

The bell tower, chimney and roof would need work next, but we didn't anticipate it happening so soon. After completing the wood floor, we found water directly beneath the bell tower on our new floor. Straight line rain blew into the tower and appeared on the floor. The rest of the attic was dry and in good condition. So, repair of the tower became urgent, and we started acquiring quotes for repair. We also acquired quotes for the roof and chimney work for the future.

We have continued to raise money at our annual Summerfest in August, but we feel we need to come forth again and ask for your help by using the gambling funds the City has received. We want to fix and secure the bell tower as soon as possible. We have reached out to other organizations, supporters and members of our society for help to move forward with this work. Predicting how much we can raise is difficult, but we know if extra is collected it will go toward the roof in 2025. We acquired 3 quotes for the work and found we can work with Verdich Construction for a cost of \$20,000. We can meet the 25% deposit but are looking for help from you for the remainder of the \$15,000. The owner of the company



North Hennepin Pioneer Society-Burschville School

entered the bell tower area and observed the water damage and rotting wood. Fixing the problem and not just a cosmetic fix will keep it a strong tower and secure for the elements.

Our second request is to be on the budget for 2025. We know the roof is an even bigger cost to us and really needs your help. We received quotes from \$40,000-\$48,000. Unbelievable, but attainable with the support of the City and the Community. The last roofing job was done on the school in 1996 for about \$7,000 and installed by society members and a small crew. The wood cedar shakes are becoming loose and curling. So far, the interior is dry and sealed, but know we will need to replace it and we are holding out as long as we can. The chimney has numerous cracked bricks and spalling faces, but we will look into this work last on the list.

We want to keep the school open and available to the citizens of Corcoran and the surrounding areas. Please assist us in doing just that. Thank you.

Sincerely,

Bonnie Maue, President
Dale Pomerleau, Vice-President
Deb Weinand-Secretary
Dee Cain-Treasurer



ESTIMATE

Pudas Construction

864 78TH ST
VICTORIA, MN 55386
(612) 481-3053



Bonnie Maue
22995 CR-10
Corcoran, MN 55374

Estimate #	2170
Date	6/4/2024

Item	Description	Qty	Cost	Price	Amount
Existing Shingles	Remove and dispose of main school building and 2 out houses.	1.00	\$0.00	\$0.00	\$0.00
Ice and Water Guard	Install ice and water guard to meet or exceed code minimum requirements.	1.00	\$0.00	\$0.00	\$0.00
Synthetic Underlayment	to remaining roof surface area.	1.00	\$0.00	\$0.00	\$0.00
Roof Vents	Remove and replace roof vents, color match.	1.00	\$0.00	\$0.00	\$0.00
Cedar Shingles	Install machine cut 16" blue label cedar shingles. Include hip and ridge cap shake.	1.00	\$0.00	\$0.00	\$0.00
Total		1.00	\$0.00	\$44,160.00	\$44,160.00

Sub Total	\$44,160.00
Total	\$44,160.00

SPECIAL INSTRUCTIONS

Please send your check deposit to our office address 864 78th St Victoria, MN 55386.
If you would like to pay with a debit or credit card, call Maria (763)302-9680. There is a small fee if you would like to pay with a credit card.
Let us know if you have any questions!

ESTIMATE

Pudas Construction

864 78TH ST
 VICTORIA, MN 55386
 (612) 481-3053



Bonnie Maue
22995 CR-10
Corcoran, MN 55374

Estimate #	2171
Date	6/4/2024

Item	Description	Qty	Cost	Price	Amount
Existing Shingles	Remove and dispose of rear shed.	1.00	\$0.00	\$0.00	\$0.00
Ice and Water Guard	Install ice and water guard to meet or exceed code minimum requirements.	1.00	\$0.00	\$0.00	\$0.00
Synthetic Underlayment	to remaining roof surface area.	1.00	\$0.00	\$0.00	\$0.00
Cedar Shingles	Install machine cut 16" blue label cedar shingles. Include hip and ridge cap shake.	1.00	\$0.00	\$0.00	\$0.00
Total		1.00	\$0.00	\$5,660.00	\$5,660.00

Sub Total	\$5,660.00
Total	\$5,660.00

SPECIAL INSTRUCTIONS

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 Let us know if you have any questions!

N.J. JOHNSON CONCRETE & MASONRY

NATHAN JOHNSON
16312 122ND STREET
BECKER, MN 55308
(320) 249-0344

May 17, 2024

To: Bill Schendel
Royal Roofing

Re: Burschville School House – Chimney Removal and Replacement

ESTIMATE

Tear down and replace chimney on school house.

Total Estimate = \$ 22,100

Includes:

All labor to build and remove scaffold

Tear down existing chimney and replace with new brick and top, match existing as close as possible

Brick Mortar

Concrete for new top

New Flashing

Dumpster

Excludes:

Permit

Roof protection

Landscape restoration

Additional charges will apply if there is no water on site.

Thank you for your business,

Nathan Johnson

Lawful Purpose Expenditures Code Summary

This one-page chart lists the lawful purpose expenditures that are allowed, and the codes to use when reporting these expenditures. Refer to the code information for restrictions not noted in this chart.

CODE	CODE	CODE
1 To and by 501(c)(3) organizations or 501(c)(4) festival organizations.	11 To and by a nonprofit organization which is a church or a body of communicants.	18 Fees paid to the state for organization license, premises permits, and gambling manager license.
2 Relieving the effects of poverty, homelessness, or disability.	12 Water quality testing for public waters, provided that the MPCA has approved the project.	19 Recognizing humanitarian service demonstrated through volunteerism or philanthropy.
3 Program for education, prevention, or treatment of problem gambling.	13 - Wildlife management project that benefits the public-at-large, provided that the DNR has approved the project. - Costs related to grooming and maintaining snowmobile or all-terrain vehicle trails that are grant-in-aid trails, or other trails open to public use, provided that DNR has approved the project. - Supplies and materials for safety training and education programs coordinated by the DNR.	20 Contribution to another licensed organization, with Board approval.
4 Funding a public or private nonprofit education institution registered with or accredited by Minnesota or any other state.		21 Contribution to a parent organization that has received prior Board approval.
5 Scholarships.		Real Property/Capital Assets
6 - Recognition of military service (open to the public). - Active military personnel in need.		22 Repair, maintenance, or improvement of owned real property and capital assets, or replacement of owned capital asset that is no longer repairable, subject to annual limit.
7 Activities and facilities benefiting youth under age 21.		23 Acquisition or improvement of capital assets (excluding real property) used exclusively for lawful purpose, with a cost greater than \$2,000, with Board approval.
8 Payment of local, state, and federal taxes on receipts from lawful gambling.	14 Conducting nutritional programs, food shelves, and congregate dining programs primarily for persons who are age 62 or older or disabled.	24 Acquisition, erection, improvement, or expansion of real property used exclusively for lawful purpose, with Board approval.
9 Real estate taxes and assessments on gambling premises: - owned by a licensed organization (includes veterans organizations), or - wholly leased by a licensed 501(c)(19) veterans organization.	15 To community arts organizations or expenditures to fund arts programs in the community.	
10 - Contributions to the United States, state of Minnesota, or any of its subdivisions or agencies or instrumentalities (except a direct contribution to a law enforcement or prosecutorial agency). - A fund administered and regulated by a city or county (for lawful purposes).	16 Utility costs (fuel for heating, water, electricity, and sewer costs) for building wholly owned or wholly leased by licensed veteran or fraternal organizations and used as their primary headquarters (if portion leased out, percent- age for primary headquarters allowed with GCB Director approval).	25 Erection or acquisition of comparable building to replace building destroyed or made uninhabitable due to fire or catastrophe, or taken or sold under eminent domain proceeding, with Board approval.
	17 Meals and other membership events of licensed veterans organizations, limited to members and spouses only, held in recognition of military service (limit \$5,000 per year for all organizations at post home).	26 Contribution to non-licensed 501(c)(19) organization that is not affiliated with contributing organization and whose owned or leased property is not a permitted premises.



MEMO

Meeting Date: September 26, 2024
To: City Council
From: Dwight Klingbeil
Re: Planning Project Update

Projects/comments in blue italics are new.

The following is a status summary of active planning projects:

1. **Kwik Trip CUP, Lot Line Adjustment, and Site Plan (PID 12-119-23-14-0006; 12-119-23-14- 0004) (City File 23-006)**

Kwik Trip Inc. submitted a Site Plan, Lot Line Adjustment and CUP application for the two parcels north of Mama G's in early 2023. A feasibility study was required to evaluate the infrastructure needs of the project. The feasibility study has been distributed to the applicant. Staff and the applicant team continue to work through requirements for the application to move forward. The application is still incomplete, and the item is not currently scheduled for any upcoming meetings.

2. **Commercial and Industrial Development Standards (Citywide) (City File 23-023)**

The purpose of this zoning ordinance amendment is to address and evaluate the allowed uses and use specific standards within commercial and industrial developments. The Council adopted a work plan at the November 20, 2023, regular meeting, and requested the Planning Commission to provide their initial feedback. The Planning Commission discussed this item at the December 5, 2023, meeting and expressed their desire Commercial and Industrial Development Standards address a number of items such as: specific architectural standards, infrastructure investment incentives, encouragement toward sustainable development practices, proper transitions of intensities and height, the permitted and conditional uses of each zoning type, verbiage, and lighting standards.

City Staff prepared a survey for current landowners and lessees to express their opinions on items addressed with this update. Staff mailed the online survey invitation to property owners and tenants whose property is either currently zoned, or guided for

Commercial, Industrial, or Mixed-Use. The comment period for this survey closed on January 31, 2024.

During the February 8, 2024, City Council meeting, Council directed staff to prioritize Rural Commercial (CR) and Transitional Rural Commercial (TCR) district updates for approval by the end of quarter 2. Staff presented feedback from the Planning Commission and results from the Business Community Survey to the City Council at the April 25, 2024, regular Council meeting for further direction. The City Council and Planning Commission discussed the Commercial and Industrial standards during the May 21, 2024, Joint Work Session.

A survey invitation for feedback on Rural Commercial Subdivisions was posted to the City's media pages and mailed out to properties within 500 feet of CR & TCR parcels. Council discussed the results of this survey during the June 27, 2024, meeting.

A public hearing for an ordinance amendment removing self-storage/mini-storage from the CR and I-1 districts was held at the July 2, 2024, Planning Commission meeting. After some discussion, the Planning Commission motioned to recommend approval of this ordinance amendment. Council approved the zoning ordinance amendment, removing self-storage/mini-storage from the CR & I-1 districts at the July 25, 2024, meeting.

A public hearing to clarify the use of development rights for subdivision in the UR, RR, CR, and TCR districts was held at the August 1, 2024, Planning Commission meeting. The Planning Commission motioned unanimously to recommend approval of the draft ordinance. Council approved the Zoning Ordinance Amendment at the August 22, 2024, meeting.

3. **3019 Addition Comprehensive Plan Amendment, Rezoning, and Preliminary Plat (PID 07-119-23-14-0003) (City File 23-027)**

Craig Scherber & Associates LLC applied for a Preliminary Plat, Rezoning, and Comprehensive Plan Amendment for a Rural Residential and Rural Commercial Development on the property at PID 07-119-23-14-0003. The application includes 15 commercial lots and 4 single-family residential lots. The applicant received Council feedback on a concept version of this proposal at the February 8, 2024, meeting. A feasibility study has been completed to evaluate the infrastructure needs of the project. *This item is complete for City review and the public hearing has been scheduled for the October 3, 2024, Planning Commission meeting.*

4. **Pioneer Trail Industrial Park Final Plat & Final PUD (PID 32-119-23-43-0005, 32-119-23-43-0006, 32-119-23-43-0013)(City File 23-030).**

Contour Development LLC applied for a Final Plat and a Final PUD at 6210 Pioneer Trail. The application consists of 0 lots and 3 outlots. This application is incomplete for City review and is not currently scheduled for any upcoming meetings.

5. **610 Extension Business Park Concept Plan (PID 12-119-23-23-0001) (City File 24-003).**

United Properties submitted a Concept Plan application to develop a business park at the Oswald Farm, located at 19510 County Road 30. The narrative provided by the applicant describes the proposed business park to range from 864,000 - 1,017,500 sq ft on the 76.89-acre parcel. The applicant submitted revised plans which indicate two 128,000 sq ft buildings, and two 168,000 sq ft buildings. The applicant received informal feedback from the Council during the May 21, 2024, City Council meeting. *A work session for this item has been scheduled for September 26, 2024.*

6. **Tonka Auto CUP (PID 26-119-23-12-0004) (City File 24-008).**

Jake Hautman submitted a Conditional Use Permit application to allow the operation of

an auto repair business, Tonka Auto, at 20201 County Road 50. *The application is complete for city review and is scheduled for the November 7, 2024, Planning Commission meeting.*

7. Corcoran Industrial Northeast (PID 01-119-23-11-0001) (City File 24-010).

Hemple Real Estate is seeking Council feedback on conceptual light industrial development at 10585 County Road 101. The plan includes 2 primary industrial buildings ranging from 200,200 to 342,000 sq ft on a 78.85-acre site. The applicant received informal feedback from the Council during the March 28, 2024, Council meeting. This item is not currently scheduled for any upcoming meetings.

8. Heitke Lot Line Adjustment (PID 28-119-23-33-0001 & 28-119-23-34-0001)(City File 24-013).

Dan Heitke submitted application materials for a lot line adjustment which would allow his property at 7000 Rolling Hills Road to annex roughly 1.16 acres from Outlot A of Heitke Farm Addition. This item is incomplete for City review and is not currently scheduled for any upcoming meetings.

9. Camp Solberg (PID 08-119-23-31-0004) (City File 24-021).

Aaron and Melissa Solberg submitted an application for a preliminary and final plat to create two single-family residential lots on Outlot B of Weinand Woods located at PID 08-119-23-31-0004. This item is incomplete for city review and is not currently scheduled for any upcoming meetings.

10. Kariniemi Orchards Preliminary Plat (PID 11-119-23-11-0012) (City File 24-024).

Nathan Kariniemi submitted an application for a preliminary open space & preservation plat to allow for the development of 16 single-family lots at 20400 County Road 30. This item is incomplete and is not currently scheduled for any upcoming meetings.

11. Hope Meadows Final Plat, Final PUD (PID 11-119-23-11-0012) (City File 24-025).

JPB Land, LLC. submitted application materials for a Final Plat and a Final Planned Unit Development for the first phase of "Hope Meadows". For the first phase, the applicant is requesting approval of a Final Plat that would allow the development of 52 rowhome lots and 4 villa lots near the northwest corner of Hunters Ridge and County Road 116. *The Planning Commission discussed the PUD Amendment during the August 1 meeting. After some discussion, the Commission motioned to recommend approval of the PUD amendment. This item has been scheduled for the September 12, 2024, Council meeting.*

12. Domino's Pizza (PID 23-119-23-43-0003, 23-119-23-43-0004) (City File 24-027).

Strack Construction, Co. Inc. is seeking approval of a lot consolidation, site plan, CUP, and variance to allow the development of a Domino's drive-thru/walk-out only store on the former site of the Corcoran Meat Locker and the 10-50 Club. *The public hearing for this item was held during the September 5, 2024, Planning Commission meeting. After some discussion, the Commission voted to recommend approval of the site plan, CUP, and variance requests. This item has been scheduled for the September 26, 2024, regular meeting.*

13. Tavera 7 Final Plat, Final PUD (PID 35-119-23-24-0007) (City File 24-028).

Lennar has submitted application materials for Final Plat and Final PUD for Tavera 7th, which would develop 40 twin-homes, 60 villas, and 6 outlots. *This item is complete for City review and has been scheduled for the September 26, 2024, regular meeting.*

14. Slabaugh Plat (PID 10-119-23-24-0014 & 10-119-23-21-0013) (City File 24-029).

Gideon Slabaugh submitted application materials for a preliminary plat, final plat,

easement vacation, and variance for the property at 9925 Ebert Road. The request would allow the applicant to annex a portion of the neighboring property, 9945 Ebert Road, and square off the two lots. The applicant also requests approval of a variance to allow these properties to replat without upgrading Ebert Road. *The public hearing for this item was held during the September 5, 2024, Planning Commission meeting. The commission motioned to recommend approval of the preliminary plat and variance request. The preliminary plat, final plat, easement vacation, and variance has been scheduled for the September 26, 2024, regular meeting.*

15. M&J Creekside Vineyard Concept Plan (PID 08-119-23-23-0017 & 08-119-23-23-0018) (City File 24-038).

Margaret and John Fernandez are seeking Council feedback on a concept plan for a wine tasting room/private event space on their property at 23020 County Road 30. This item is complete for City review and has been scheduled for the September 26, 2024, regular meeting.

16. Upward Acres Final Plat (PID 17-119-23-13-0001) (City File 24-031).

Skies Limit LLC. submitted an application for the final plat of Upward Acres, which would allow the development of 6 single-family lots at 22625 County Road 10. City Council approved the preliminary plat and variance for Upward Acres during the June 27, 2024, meeting. This item is under review for completeness and has been scheduled for the September 26, 2024, regular meeting.

17. Heather Meadows 3rd Addition Preliminary Plat/OS&P (PIDs 05-119-23-31-0001 & 088-119-23- 22-0011) (City File 24-032).

Mark and Markus Lee, of ML Unlimited LLC, submitted a final plat application to create 12 single-family lots and 2 outlots at 22901 Oakdale Drive. The Council approved the Variance, CUP, and Preliminary Plat with additional conditions for Heather Meadows during the June 27, 2024, regular meeting. *This item is complete for City review and has been scheduled for the September 26, 2024, regular meeting.*

18. Schuttee/Streeter Rezoning Concept (PID 26-119-23-13-0006) (City File 24-033).

Ken Streeter, on behalf of Phil Schuttee, is requesting council feedback on a concept plan that would rezone the property at 20130 Larkin Road from Light Industrial (I-1) to Medium Density Residential. This item is complete for City review and has been scheduled for the September 26, 2024, regular meeting.

19. Old Farm Ridge (PID 36-119-23-33-0008) (City File 24-034).

Michael Kelly submitted an application for a preliminary plat, final plat, conditional use permit, and variance to plat a single lot from Outlot A of Country Season Estates, located at 6620 County Road 116. The application is under review for completeness and has not been scheduled for any upcoming meetings.

**City of Corcoran
2024 and 2025 City Council Schedule**

(as of September 26, 2024)

Below is a tentative schedule for City Council meetings subject to change.

October 10, 2024

- City Park Remaster – (JCB)
- Utility Rate Study – (Kevin)

October 24, 2024

- Public Safety Departmental Overview and Budget – (Matt)
- Administration Departmental Overview and Budget – (Nalisha)
- Compensation and Classification
- Planning Project Update
- Heitke Minor Subdivision (Dwight)
- Camp Solberg Minor Subdivision (Dwight)
- Pioneer Trail FP and FPUD (Kendra)

November 12 – Charter Commission Meeting

- Annual Report to Hennepin County

November 14, 2024

- Community Development Department Overview and Budget – (Natalie)
- Public Works Department Overview and Budget – (Kevin)
- Certification of General Election 2024
- Tort Liability Coverage Waiver
- Certify Delinquent Utilities to Hennepin County
- Certify Delinquent Recycling to Hennepin County
- Draft 2025 Fee Schedule

November 25, 2024 (NOTE: Monday Meeting)

December 12, 2024

- Recognition of Employee:
 - Matt Gottschalk – 10 years (Public Safety)
- MS4 Permit
- Truth and Taxation Hearing
- Final 2025 Budget and Levy
- 2025 Wage Schedule
- 2025 Enterprise Fund Budget
- 2025 CIP
- 2025 Fee Schedule Adoption
- Planning Project Update
- Call for Work Sessions in First Quarter 2025

Agenda Item: 11

January 9, 2025

January 23, 2025

February 13, 2025

February 27, 2025

March 13, 2025

March 27, 2025

April 10, 2025

April 24, 2025

May 8, 2025

May 22, 2025

June 12, 2025

June 26, 2025

July 10, 2025

July 24, 2025

August 14, 2025

August 28, 2025

September 11, 2025

September 25, 2025

October 9, 2025

October 16, 2025

November 13, 2025

November 24, 2025* (NOTE: Monday Meeting)

December 11, 2025