



CITY OF CORCORAN  
**Corcoran Planning Commission Agenda**  
**October 6, 2022 - 7:00 pm**

1. **Call to Order / Roll Call**
2. **Pledge of Allegiance**
3. **Agenda Approval**
4. **Open Forum**
5. **Minutes**
  - a. Minutes - June 2, 2022, Regular Meeting\*
  - b. Minutes – September 1, 2022, Regular Meeting\*
6. **New Business - Public Comment Opportunity**
  - a. **Public Hearing.** Corcoran Farms Business Park Preliminary Plat and Preliminary Planned Unit Development Plan at 20130 Larkin Road (City File 22-044)
    - i. Staff Report
    - ii. Open Public Hearing
    - iii. Close Hearing
    - iv. Commission Discussion & Recommendation
  - b. Slabaugh Variance at 9925 Ebert Road (city file 22-054)
    - i. Staff Report
    - ii. Commission Discussion & Recommendation
  - c. **Public Hearing.** Tharp Accessory Structure Conditional use Permit at 20420 Duffney Circle (City File 22-055)
    - i. Staff Report
    - ii. Open Public Hearing
    - iii. Close Hearing
    - iv. Commission Discussion & Recommendation
  - d. **Public Hearing.** Corcoran Water Tower Preliminary Plat, Final Plat, Site Plan and Variance at 19951 Oswald Farm Road (City File 22-057)
    - i. Staff Report
    - ii. Open Public Hearing
    - iii. Close Public Hearing
    - iv. Commission Discussion & Recommendation
  - e. **Public Hearing.** Zoning Ordinance Amendment to the Northeast District Plan (City File 22-060)
    - i. Staff Report
    - ii. Open Public Hearing
    - iii. Close Hearing
    - iv. Commission Discussion & Recommendation
7. **Reports/Information**
  - a. Planning Project Update\*
  - b. City Council Report\* – Council Liaison Vehrenkamp
  - c. Other Business

**HYBRID MEETING OPTION AVAILABLE** The public is invited to attend the regular Council meetings at City Hall. Meeting Via Telephone/Other Electronic Means Call-in Instructions:  
+1 312 626 6799 US Enter Meeting ID: 892 7885 0054  
Press \*9 to speak during the Public Comment sections in the meeting. Video Link and Instructions: <https://us02web.zoom.us/j/89278850054>  
Or visit <http://www.zoom.us> and enter Meeting ID: 892 7885 0054  
Participants can utilize the Raise Hand function to be recognized to speak during the Public Comment sections in the meeting. Participant video feeds will be muted. In-person comments will be received first, with the hybrid electronic means option following. [www.corcoranmn.gov](http://www.corcoranmn.gov)

**Includes Materials** - *Materials relating to these agenda items can be found in the House Agenda Packet by Door.*

## 8. Commissioner Liaison Calendar

City Council Meetings

<b>10/13/2022</b>	<b>10/27/2022</b>	<b>11/10/2022</b>	<b>11/21/2022 (M)</b>	<b>12/8/2022</b>	<b>12/21/2022</b>
Brummond	Horn	Lanterman	Shoulak	Van Den Einde	Brummond

## 9. Adjournment

**\*Includes Materials** - *Materials relating to these agenda items can be found in the House Agenda Packet by Door.*





## CITY OF CORCORAN

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# Memo

**To:** Planning Commission  
**From:** Dwight Klingbeil  
**Date:** September 30, 2022  
**Re:** Minutes from June 6, 2022.

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On September 1, 2022, the Planning Commission voted 4:0 to approve the meeting minutes for the June 2022 meeting. The motion failed to pass however, due to a lack of a second for the motion. Staff did not notice at the time and decided to bring this item before the Commission again at the October 2022 meeting as "Agenda Item 5a." to have a proper motion, with a second, and a vote.



CITY OF CORCORAN  
**Corcoran Planning Commission Minutes**  
**June 2, 2022 - 7:00 pm**

The Corcoran Planning Commission met on June 2, 2022, in Corcoran, Minnesota. Commissioner Jacobs was the only commissioner absent, all other Planning Commissioners were present in the Council Chambers, but members of the public were able to participate in-person as well as through electronic means using the audio and video conferencing platform Zoom.

Present: Commissioners Brummond, Lanterman, Shoulak, and Van Den Einde.

Absent: Commissioner Jacobs.

Also present: City Planners Davis McKeown and Lindahl.

Also present: Council Liaison Vehrenkamp.

**1. Call to Order / Roll Call**

Commissioner Shoulak called the meeting to order at 7:00 pm.

**Pledge of Allegiance**

**2. Agenda Approval**

Motion made by Lanterman, seconded by Brummond, to approve the June 2, 2022 agenda.

Voting Aye: Brummond, Lanterman, Shoulak, and Van Den Einde.

(Motion carried 4:0).

**3. Open Forum**

**4. Minutes**

a. Minutes – May 5, 2022

Motion made by Lanterman, seconded by Van Den Einde, to approve the May 5, 2022 minutes.

Voting Aye: Brummond, Lanterman, Shoulak, and Van Den Einde.

(Motion carried 4:0).

**5. New Business - Public Comment Opportunity**

a. Ditzer Variance (City File 22-020)

i. Staff Report – The staff report was presented by Planner Davis McKeown.

ii. Commission Discussion and Recommendation – Discussion included the lack of impact on functionality if canopy were relocated; financial hardship versus land hardship; the permanence of granting variances; the Drainage and Utility easement; hypothetical impact of a neighbor's opinion on variance requests; clarification on the draft resolutions; question about the survey and D&U easement; definition of a structure versus a raised garden;

hardship caused by a previous landowner; and consistent application of code as is written.

Motion made by Lanterman, seconded by Brummond, to recommend approval of draft Resolution 2022-A, denying a variance for an accessory structure encroaching within the side yard setback.

Voting Aye: Brummond, Lanterman, Shoulak, and Van Den Einde.  
(Motion carried 4:0).

b. **Public Hearing.** Sease Interim Use Permit for an Accessory Dwelling Unit (City File 22-026).

- i. Staff Report – The staff report was presented by Planner Davis McKeown.
- ii. Public Hearing
  - Jan Sease, 6516 Valley View Road, spoke about the well head preventing the ADU from being located on the west side of the garage; landscaping and mitigation of interference; the driveway; and conversations she’s had about the ADU with the neighbors.

Motion made by Brummond, seconded by Lanterman, to close the public hearing.

Voting Aye: Brummond, Lanterman, Shoulak, and Van Den Einde.

- iii. Commission Discussion & Recommendation – Commission discussion included clarification of consequences if the structure is found to be noncompliant; inclusion of language that would rescind the IUP if found noncompliant in resolution; critique of the second standard of Accessory Dwelling Units within section 1040.020, Subd. 5; discussion of interpreting code based on intent; and clarification of an Accessory Dwelling Unit versus an addition.

Motion made by Van Den Einde, seconded by Brummond, to recommend approval of the draft resolution approving the IUP for an ADU request at 6516 Valley View Road.

Voting Aye: Brummond, Lanterman, Shoulak, and Van Den Einde.  
(Motion carried 4:0)

## 6. Reports/Information

- a. Planning Project Update – Commissioner Lanterman had a question about Pulte’s Walcott Glen Preliminary Plat, and Commissioner Shoulak had a question about white Telecom flags along County Road 10.
- b. City Council Report – Council Liaison Vehrenkamp spoke about the Council’s decisions on Pulte’s Walcott Glen Preliminary Plat, Rush Creek Reserve, and the Northeast District Corridor Plan.
- c. Other Business
  - i. Planning Packet Timeline – Discussion included the planning packet timeline and potentially giving the commission more time to review materials prior to meetings as well as shortening staff report time. Commission and staff came to the compromise of commissioners receiving a summary of the draft agenda two weeks in advance to the meeting and staff to try to keep presentations under 10 minutes.

**7. Commissioner Liaison Calendar**

City Council Meetings

<b>06/09/22</b>	<b>06/23/22</b>	<b>07/14/22</b>	<b>07/21/22</b>	<b>08/11/22</b>	<b>08/25/22</b>
Lanterman	Shoulak	Van Den Einde	Brummond	Lanterman	Shoulak

**8. Adjournment**

Motion made by Lanterman, seconded by Van Den Einde, to adjourn the June 2, 2022, Planning Commission meeting.

Voting Aye: Shoulak, Brummond, Lanterman, and Van Den Einde.  
(Motion carried 4:0).

Meeting adjourned at 8:35 PM.



CITY OF CORCORAN  
**Corcoran Planning Commission Minutes**  
**September 1, 2022 - 7:00 pm**

The Corcoran Planning Commission met on September 1, 2022, in Corcoran, Minnesota. All Planning Commissioners were present in the Council Chambers, but members of the public were able to participate in-person as well as through electronic means using the audio and video conferencing platform Zoom.

Present: Commissioners Shoulak, Brummond, Lanterman, and Van Den Einde.

Also present: City Planner Davis McKeown, City Planner Lindahl, and Council Liaison Vehrenkamp

**1. Call to Order / Roll Call**

Commissioner Shoulak called the meeting to order at 7:00 pm.

**2. Pledge of Allegiance**

**3. Agenda Approval** - Commissioner Lanterman pointed out a typographical error under the New Business section for the Northeast Water Treatment Plant.

Motion made by Brummond, seconded by Lanterman, to approve the September 1, 2022, agenda.

Voting Aye: Shoulak, Brummond, Lanterman, and Van Den Einde.  
(Motion carried 4:0).

**4. Appoint Commission Chair and Vice-Chair**

Motion made by Lanterman, seconded by Van Den Einde, to appoint Commissioner Lanterman to Commission Chair.

Voting Aye: Shoulak, Brummond, Lanterman, and Van Den Einde.  
(Motion carried 4:0).

Motion made by Shoulak, seconded by Van Den Einde, to appoint Commissioner Shoulak to Vice-Chair.

Voting Aye: Shoulak, Brummond, Lanterman, and Van Den Einde.  
(Motion carried 4:0).

**5. Open Forum** (none)

**6. Minutes**

a. Minutes – June 2, 2022

Motion made by Shoulak to approve the June 2, 2022, minutes.

Voting Aye: Shoulak, Brummond, Lanterman, and Van Den Einde.  
(Motion carried 4:0).

Motion failed for lack of a second. Item 6a has been carried to the October 6, 2022, meeting.

**7. New Business - Public Comment Opportunity**

a. **Public Hearing.** Ordinance amendment for lot-related definitions, fences, and walls (City File 22-033)

i. Staff Report – Planner Davis McKeown presented the staff report.

ii. Public Hearing –

Motion made by Lanterman, seconded by Brummond to close the Public Hearing.

Voting Aye: Shoulak, Brummond, Lanterman, and Van Den Einde.  
(Motion carried 4:0).

iii. Commission Discussion & Recommendation – Commission discussion included frequency of reduced fence setback requests; allowance of a reduced fence setback for all properties on arterial roads; fence setback reduction process; zoning permit fee and process for fences; temporary fencing requirements; whether pool fencing requirements is needed within city code if covered by state law; fences along retaining walls within public right of ways; verbiage of proposed definition changes; removing the proposed update to the definition of lot width; and requirement for fences to be placed where access is possible for maintenance.

Motion made by Brummond, seconded by Lanterman, to recommend adoption of the ordinance amendment for lot-related definitions, fences, and walls with the removal of the language for swimming pool fences and barriers if duplicative of state law.

Motion made by Lanterman, seconded by Van Den Einde, to amend the motion to also remove the proposed updates to the definition of lot width.

Voting Aye: Shoulak, Brummond, Lanterman, and Van Den Einde.  
(Motion passed 4:0)

Voting Aye: Shoulak, Brummond, Lanterman, and Van Den Einde.  
(Motion passed 4:0)

b. **Public Hearing.** Blair Brown Riding Arena Conditional Use Permit (CUP) at 22640 Oakdale Drive (City File 22-047)

- i. Staff Report- Planner Davis McKeown presented the staff report.
- ii. Public Hearing -  
Motion made by Lanterman, seconded by Brummond, to close the public hearing.  
Voting Aye: Shoulak, Brummond, Lanterman, and Van Den Einde.  
(Motion passed 4:0)
- iii. Commission Discussion & Recommendation – Commission discussion included the application’s compliance with the City Code and acknowledgement of the thoroughness of the applicant’s written narrative.

Motion made by Brummond, seconded by Van Den Einde, to recommend approval of the conditional use permit at 22640 Oakdale Drive.

Voting Aye: Shoulak, Brummond, Lanterman, and Van Den Einde.  
(Motion passed 4:0)

c. **Public Hearing.** Pro-Tech Site Plan, Conditional Use Permit (CUP), and Variance at 7591 Commerce Street – (City File 22-048)

- i. Staff Report- Planner Davis McKeown presented the staff report.
- ii. Public Hearing –  
Motion made by Shoulak, seconded by Lanterman, to close the public hearing.  
Voting Aye: Shoulak, Brummond, Lanterman, and Van Den Einde.  
(Motion passed 4:0)
- iii. Commission Discussion & Recommendation – Commission discussion included the CUP for a waiver of exterior material upgrades; Council’s authority to allow gravel where blacktop is otherwise required; proper screening as a condition of approval; the applicant’s previous expansions; removal of the drive aisle from the neighbor’s property; the City’s authority to remove anything within the easement in the event maintenance is required; widening of the western drive aisle to meet the fire code; the 50’ setback requirement for parking; the City Engineer’s comments on drive aisle width; and clarification for the conditional requirements of the parking variance if approved.

Motion made by Brummond, seconded by Van Den Einde, to recommend approval of a resolution approving the site plan and two conditional use permits and recommend approval of the three variances for Pro-Tech Automotive.

Voting Aye: Shoulak, Brummond, and Van Den Einde.

Voting Nay: Lanterman  
(Motion passed 3:1)

d. Northeast Water Treatment Plant Site Plan and Variance (City File 22-057)

- i. Staff Report- Planner Lindahl presented the staff report.
- ii. Commission Discussion & Recommendation- Commission discussion included the Northeast District Guidelines; the practical difficulties with the overhead door; whether the accessory structure is a variance from the urban residential district zoning or the screening requirement for the Northeast District standards; clarification about content in the public safety memo; the possible addition of an architectural detail on the roof; conflict between the northeast district screening requirements and screening requirements elsewhere within the Zoning Ordinance; clarification of whether there was practical difficulty for screening the generator; and the screening capabilities of coniferous trees versus deciduous trees.

Motion made by Lanterman, seconded by Van Den Einde, to recommend approval of the site plan and two variances with a recommendation of denial for the variance for screening of the ground-mounted equipment.

Motion made by Shoulak, seconded by Lanterman, to amend the motion to recommend a minimum of 50% more perennial foliage for screening along the north and east property line.

Voting Aye: Shoulak, Brummond, Lanterman, and Van Den Einde.  
(Motion passed 4:0)

Voting Aye: Shoulak, Brummond, and Lanterman  
Voting Nay: Brummond  
(Motion passed: 3:1)

## **8. Reports/Information**

- a. Planning Project Update – The Commission discussed the timeline for Wright Hennepin’s Electric Substation and the status of Pulte’s “Walcott Glen” development.
- b. City Council Report – Council Liaison Vehrenkamp discussed adhering to the City’s zoning plans; the status of filling the open Planning Commission position; the upcoming budget; the tax assessor contract; the moratorium on THC products; and mass grading and installing of utilities in the Tavera development.

## **9. Commissioner Liaison Calendar**

City Council Meetings



<b>9/8/22</b>	<b>9/22/22</b>	<b>10/13/22</b>	<b>10/27/22</b>	<b>11/10/22</b>	<b>11/21/22</b>
Shoulak	Van Den Einde	Brummond	Lanterman	Shoulak	Van Den Einde

**10. Adjournment**

Motion made by Lanterman, seconded by Brummond, to adjourn the September 1, 2022, Planning Commission meeting.

Voting Aye: Shoulak, Brummond, Lanterman, and Van Den Einde.  
(Motion carried 4:0).

Meeting adjourned at 8:41 PM.

DRAFT

# STAFF REPORT

Agenda Item \_\_\_\_\_

<b>Planning Commission Meeting:</b> October 6, 2022	<b>Prepared By:</b> Kendra Lindahl, AICP
<b>Topic:</b> Rezoning, Preliminary Plat and Preliminary PUD Development Plan for “Corcoran Farms Business Park” (PID 26-119-23-13-0006) (city file no. 22-044)	<b>Action Required:</b> Recommendation

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**60-Day Review Deadline** (rezoning and PUD plan): October 30, 2022  
**120-Day Review Deadline** (preliminary plat): December 29, 2022

## 1. Request

JMMK, LLC has submitted a request for review of a rezoning to PUD (planned unit development), preliminary plat and preliminary PUD development plan to develop a five-lot industrial park consisting of five buildings.

Key plan application materials are attached as part of this packet; however, due to size limitations not every item is included. The complete application is available at city hall.

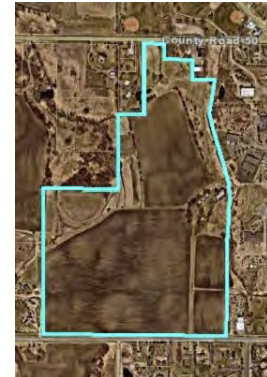


Figure 1 - Location Map

## 2. Parks and Trails Commission Review

The Parks and Trails Commission reviewed this item at their September 15<sup>th</sup> meeting. They recommended that the trail be shifted to connect with Blue Bonnet at Larkin Road and be extended north to the gas line easement then east to the stream. The trail would then extend north as shown on the plans. This option is discussed in the Parks section of this report.

## 3. Background

The City Council reviewed PUD sketch plan on February 24, 2022 and indicated support for the project. The current plan is consistent with that concept.

The City completed an environmental assessment worksheet (EAW) for the project. On August 11, 2022 the City Council issued a finding of “no need” for an EIS, based on the review of the EAW dated May 11, 2022.

## 4. Context

### *Zoning and Land Use*

The 70.36-acre site is guided Light Industrial in the Comprehensive Plan and zoned Light Industrial (I-1) district. The site has an existing farmstead in the east-central portion of the site and the land use is agricultural. The site is located within the Metropolitan Urban Service Area (MUSA) and the Southeast District.

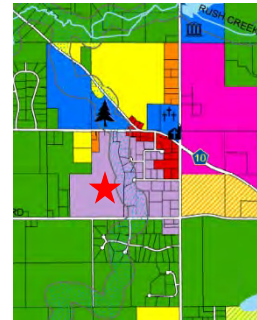


Figure 2 - Zoning Map

### *Surrounding Properties*

All surrounding properties are located within the MUSA and Southeast District. The properties to the north, across County Road 50, are guided Parks/Open Space in the Comprehensive Plan and zoned Public/Institutional (P-I) district. Properties to the east are guided Light Industrial and zoned I-1 district. Properties to the south, located across Larkin Road, are guided Agricultural Preserve and Existing Residential and zoned Urban Reserve (UR) district. Properties to the west are guided Medium Density Residential and Low Density Residential and zoned Medium Density Residential (RMF-1), Single Family Residential 2 (RSF-2) and UR districts.

### *Natural Characteristics of the Site*

The Natural Resources Inventory (NRI) map identifies wet prairie wetlands along the west property line, old field uplands along the north and northeast portions of the site and a stream that runs along the east property line. The wetland delineation provided by the applicant identifies seven wetlands throughout the site. The eastern portion of the site is in the Shoreland Overlay district.

## 5. Analysis

Staff has reviewed the application for consistency with Comprehensive Plan, Zoning Ordinance, Subdivision Ordinance and City Code requirements, as well as City policies. The City Engineer's comments are incorporated into this staff report, the detailed comments are included in the attached engineering memo and the approval conditions require compliance with the memo.

### A. Level of City Discretion in Decision-Making

The City has a relatively high level of discretion in approving or denying a rezoning application. The proposed zoning for a property must be consistent with the City's Comprehensive Plan. If the proposed zoning is not consistent with the Comprehensive Plan, the City must deny the rezoning application. The Zoning Ordinance and Map are the enforcement tools used to implement the goals and standards set in the Comprehensive Plan.

The City has a relatively high level of discretion in approving a PUD. A PUD must be consistent with the City's Comprehensive Plan. The City may impose reasonable requirements in a PUD not otherwise required if the City deems it necessary to promote the general health, safety and welfare of the community and surrounding area.

The City's discretion in approving a preliminary plat is limited to whether the proposed plat meets the standards outlined in the City's Subdivision and Zoning Ordinance and the conditions of the preliminary plat approval. If it meets these standards, the City must approve the plat.

## B. Consistency with Ordinance Standards

### Rezoning to PUD District

The Zoning Ordinance has established a PUD zoning district with the purpose of promoting a creative and efficient use of land by providing design flexibility in the development of residential neighborhoods and/or nonresidential areas that would not be possible under a conventional zoning district.

The intent of the district is to:

*A. Provide for the establishment of PUD districts in appropriate settings and situations to create or maintain a development pattern that is consistent with the City's Comprehensive Plan.*

*B. Allow for the mixing of land uses within a development when such mixing of land uses could not otherwise be accomplished under the existing zoning and subdivision regulations.*

*C. Provide for variations to the strict application of the land use regulations to improve site design and operation, while at the same time incorporating design elements, e.g. construction materials, landscaping, lighting, etc., that exceed the City's standards to offset the effect of any variations.*

*D. Promote more creative and efficient approach to land use within the City, while at the same time protecting and promoting the health, safety, comfort, aesthetics, economic viability, and general welfare of the City.*

*E. Preserve and enhance natural features and open spaces.*

*F. Maintain or improve the efficiency of public streets and utilities.*

*G. Ensure appropriate transitions between differing land uses.*

The applicant is requesting PUD flexibility for:

- Reduced parking setbacks along Blue Bonnet and Larkin Road
- Reduced parking setback on the north side of Building C (Lot 2, Block 1)
- From the standard that loading docks within 300 feet of residential be screened by a building.

In exchange for this flexibility, the applicant has stated that they will:

- Provide new industrial development in the City
- Make off-site street improvements at Larkin Road and County Road 116
- Deed a site for a future City well

The PUD flexibility and the detailed development plan are discussed in the PUD Plan section of this report.

The City must review this request for compliance with the PUD standards as follows:

1. *The planned development is not in conflict with the Comprehensive Plan.*

The planned unit development is not in conflict with the Comprehensive plan. The proposed development is guided for industrial development as proposed. The plan incorporates the extension of municipal sewer and water, the construction of an off-road trail (Diamond Lake Regional Trail), provides street connections through the development as anticipated.

2. *The planned development is not in conflict with the intent of the underlying zoning district.*

The property is zoned Light Industrial. The proposed development is not in conflict with the intent of the zoning district.

3. *The planned development is not in conflict with other applicable provisions of the City's Zoning Ordinance.*

The planned development is not in conflict with other applicable provisions of the City's Zoning Ordinance, except that PUD flexibility is requested as noted in the staff report.

The PUD allows the applicant to request flexibility from the performance standards in the ordinance in exchange for a high-quality development than might otherwise be expected.

The Planning Commission could find that the PUD flexibility requested by the developer results in deviations from the applicable provisions of the Zoning Ordinance that are not off set by the PUD benefits proposed by the applicant and, therefore, are in conflict with the applicable provisions of the ordinance.

4. *The planned development or unit thereof is of sufficient size, composition, and arrangement that its construction, marketing, and/or operation is feasible as a complete unit without dependence upon any other subsequent unit or phase.*

The planned development is feasible without dependence upon any other subsequent phase. However, the project will be phased generally from south to north. The developer indicates that they expect the development to be completed by 2028.

5. *The planned development will not create an excessive burden on parks, schools, streets and other public facilities and utilities which serve or are proposed to serve the planned development.*

With the improvements required by the feasibility study, the development will not create an excessive burden on parks, schools, streets and other public facilities and utilities which serve or are proposed to serve the planned development. The developer is providing public trails and sidewalks consistent with the City's Comprehensive Plan. The developer is constructing a new street in the development and making offsite improvement to Larkin Road. Municipal sanitary sewer and water are available to serve the site.

6. *The planned development will not have an adverse impact on the reasonable enjoyment of the neighborhood property.*

The property is zoned light industrial. The development does comply with the setback requirements for that district. The developer has provided landscaping to buffer the development from the residential properties to the west and south.

The Planning Commission may find that additional landscaping is needed to buffer the existing homes from the new industrial buildings.

7. *The quality of the building and site design proposed by the PUD plan shall substantially enhance the aesthetics of the site, shall demonstrate higher standards, more efficient and effective uses of streets, utilities and public facilities, it shall maintain and enhance any natural resources within the development, and create a public benefit that is greater than what would be achieved through the strict application of the primary zoning regulations.*

Staff finds the developer meets the building and site standards in the ordinance except where PUD flexibility is requested. The Planning Commission (and ultimately the City Council) could find that the development of 696,631 sq. ft. of industrial development that can provide opportunities for new businesses, employment and increased tax base is enough of a public benefit to off-set the PUD flexibility requested.

However, the Commission could find that additional benefits are needed to offset the PUD flexibility requested. Staff has identified some areas where changes could be suggested by the Commission to ensure that this standard has been met.

The Zoning Ordinance states that “the rezoning of the property defined in the development plan shall not become effective until such time as the City Council approves an ordinance reflecting said amendment, which shall take place at the time that the City Council approves the final development plan.” The Council would approve the rezoning to be effective at such time as the final PUD plan is approved.

Preliminary PUD Plan

The PUD offers enhanced flexibility to develop the site through the relaxation of most typical zoning district standards. The PUD allows for a greater variety of land uses, construction phasing and a potential for lower development costs. In exchange for this flexibility, the City expects a higher level of design, more sensitive development or more significant infrastructure improvements than might otherwise be required.

As part of the 2040 Comprehensive Plan, this property was reclassified from Medium Density Residential to Light Industrial to expand the existing industrial park directly east of this site in order to provide more business and employment opportunities in the City.

The applicant indicates that the building would generally be a 20% Office and 80% Warehouse mix. However, tenants could change over time. The parking calculation will be reviewed at building permit to ensure that the proposed tenants have adequate parking on site.

*Lot Standards*

The development is being reviewed against the I-1 district standards. The buildings and lots comply with ordinance standard, however, the parking and drive aisles do require PUD flexibility (shown in red below):

	<b>I-1 (Light Industrial)</b>	<b>Proposed</b>
<b>Minimum lot area</b>	1 acre	5.77 acre
<b>Minimum lot width</b>	100 ft.	637 ft.
<b>Minimum lot depth</b>	200 ft.	394 ft.
<b>Minimum Principal Structure Setbacks:</b>		
<b>Front, From Major Roadways*</b>	N/A	N/A
<b>Front, From all other streets</b>	50 ft.	80 +/- ft.
<b>Side/Rear</b>	20 ft.	60+/- ft.
<b>Adjacent to Residential</b>	50 ft.	60+/- ft.
<b>Minimum Parking Setbacks:</b>		
<b>Front</b>	50 ft.	20 +/- ft.
<b>Side/Rear</b>	10 ft.	unknown
<b>Maximum Principal Building Height</b>	45 ft.	40 ft.
<b>Maximum Impervious Surface</b>	70%	unknown

*\*Major Roadways are Principal Arterial, A Minor Reliever, A Minor Expander and A Minor Connector Roadways as shown on the 2040 Roadway Functional Classification map in the 2040 Comprehensive Plan.*

The applicant’s narrative requests PUD flexibility for a 20-foot parking and drive aisle setback along both Blue Bonnet and Larkin Road where 50 feet is required. All building and parking/drive aisle setbacks should be clearly dimensioned on the plans. It appears that the parking/drive aisles between Lots 1 and 2, Block 1 may not meet the required 10-foot setback.

*Parking*

Section 1060 of the Zoning Ordinance establishes the minimum number of parking spaces required based on the gross sq. ft. of floor area for each land use. The ordinance requires the following:

- Office = 1 space per 200 sq. ft. (minimum 8 spaces).
- Warehouse = 5 spaces plus 1 space for each 2 employees on the largest shift. A minimum 1 space per 1,500 sq. ft. of floor area is required.

The applicant’s parking narrative indicates the proposed mix for each building is expected to be 20% office and 80% warehouse uses and provides information from their experience regarding parking demand in these types of projects. The table below shows that the applicant has provided more parking than what is required for the proposed 20/80 mix of uses. Additional parking may be required for warehouse uses based on the number of employees for the largest shift or for larger office uses.

<b>Building</b>	<b>Number of Parking Stalls Provided</b>	<b>20% Office/80% Warehouse Required Parking Stalls</b>	<b>10% Office/90% Warehouse Required Parking Stalls</b>
A	147	109	79
B	225	164	118
C	298	253	182
D	170	132	95
E	409	403	290

*Loading Docks*

Section 1060.060 of the Zoning Ordinance says “loading areas established after March 23, 2004 shall be prohibited within 300 feet of residentially zoned or guided property unless completely screened by an intervening building. Loading areas not requiring screening by an intervening building shall be screened from adjacent residentially zoned or guided property by the use of berms, fences, or walls to provide 100 percent opacity to a height of at least 10 feet. The height of the screening shall be measured from the grade of the loading areas.”



The plans do not comply with this requirement (as shown on Figure 3). Building A is approximately 60 feet from the residential property line to the west and Building D is approximately 140 feet from the residential property to the west. Due to the site constraints caused by the location Larkin Road, the intersection with Blue Bonnet, the gas line easement and the wetlands, the applicant indicates that the building could not be reoriented to screen the loading docks with an intervening building. These issues do create challenges that make reorienting the building difficult, but staff does not believe enough has been done to screen the loading docks from the existing residential properties to the west.

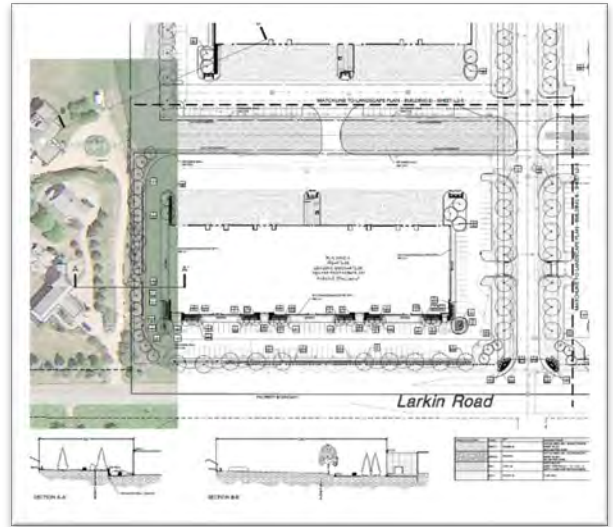


Figure 3 - Proximity to Residential

The plans do show a 36-foot high wing wall extending from the west elevation of the building to screen the loading docks. A retaining wall is provided near building A and landscaping is provided along the west property line.

Staff notes that the 50-foot wide gas line easement adjacent to the west lot line of Building D limits the amount of landscaping that can be provided under the current plan.

The Planning Commission should discuss the PUD flexibility requested. If the Planning Commission finds that additional landscaping is required to screen the loading docks, Buildings A and D would need to be reduced in width to provide increased green space for planting. Staff believes at least 30 additional feet of green space would be required along the western property line to provide a double row of screening. This would require a reduction in the size of both Building A and Building D.

### *Design Standards*

Section 1060.050 of the Zoning Ordinance provides building standards for industrial uses. However, it does not provide detailed specific design requirements like the residential districts.



VIEW 1 - PARK ENTRANCE BETWEEN BUILDINGS A AND B



VIEW 2 - BUILDING B SOUTHEAST CORNER

The applicant's plan shows buildings with smooth finish precast panels in off-white and gray with blue/gray metal canopies. The plans do not provide dimensions as required but the entries to the building are slightly recessed and finished in the gray precast with the canopy to help delineate the entrance and provide some interest in the building. The plans must be dimensioned to show the depth of the recessed areas and extension of the canopies.

There are windows at the ground level on the front of the building and clerestory windows on the sides and rear of the buildings to add some visual interest. The architecture and building materials meet ordinance standards.

However, staff notes that the side and secondary front elevations are still quite visible and recommends that those elevations be improved further to add color or other elements to break up the mass of the building. The Planning Commission could make that a condition of the PUD.

Mechanical equipment must comply with the screening standards in Section 1060.030:

*All rooftop and ground mounted mechanical equipment shall be designed (including exterior color) and located so to be aesthetically harmonious and compatible with the building. Screening of the equipment may be required where the design, color, and location of the equipment are found to not effectively buffer noise or provide aesthetic harmony and compatibility as observed by a 6-foot tall individual standing at ground level on the adjacent property or public right-of-way. Screening shall be constructed of durable materials which are aesthetically compatible with the structure and which may be an integral part of the structure. Applicable requirements for access to the equipment shall be observed in the design and construction of the screening.*

The plans do not show any ground or roof mounted mechanical equipment, but staff fully expects that they will be required for these buildings. The plans must be updated to ensure compliance.

### *Trash and Recycling*

The plans show exterior trash enclosures in the loading area for each of the buildings. Exterior trash enclosures are permitted by Section 1060.020 of the ordinance provided they are fully enclosed with materials that are compatible with the building. Enclosure details must be provided for City review and approval.

### *Utilities*

The City Engineer's memo provides detailed utility comments. Sewer and water are available to be extended to the site. The May 2022 Feasibility Study describes the improvements required to provide municipal sanitary sewer, water, stormwater and transportation improvements to serve the site. The applicant must address these conditions as well as those in the City Engineer's memo.

The existing well and septic systems must be abandoned as noted in the City Engineer's memo.

### *Public Streets and Access*

The plans show construction of a new public street connecting through the site from Larkin Road to the northwest. The public streets will be constructed 36 ft. wide in an 80 ft. wide right-of-way. This complies with City standards and Southeast District guidelines. This public street will ultimately connect to County Road 50 when the property to the northwest develops and that will provide a secondary access to the site. A temporary cul de sac easement will be required. The extension of the street will impact a DNR public water wetland and will require a DNR permit for the impact prior to construction.

Hennepin County transportation did provide comments on the preliminary plat. However, they provide comments during the EAW stating that they would not support an access onto County Road 50 on the north portion of this site but would consider an emergency vehicle access. The plans do show an emergency vehicle access onto County Road 50. The plans show a gate at County Road 50 and at the north end of the Building E parking to prohibit public access. Hennepin County also requested a 60-foot ½ right-of-way. The plans must be revised to provide the additional right-of-way on County Road 50.

The Feasibility Study requires the developer to make turn lane improvements on Larkin Road at the entrance to the site at Blue Bonnet and at County Road 116.

- At Larkin/CR 116: Widen the eastbound and westbound approaches to accommodate a left turn lane and a through/right turn lane. Widen the northbound and southbound approaches to accommodate a left turn lane, through lane, and right turn lane.
- At Larkin Road/Blue Bonnet Drive: Construct westbound left turn lane and westbound right turn lane. Construct eastbound left turn lane. Construct southbound approach with a dedicated left turn lane and a through/right turn lane. These improvements are shown on the plans.

The off-site improvements will be designed, bid and managed by the City and financed by the developer.

### *Grading and Stormwater*

The City Engineer's memo provides detailed comments on stormwater. Three stormwater are proposed with this project.

A number of retaining walls are proposed with this development. The walls on the west site of the property near buildings A and D are the largest and are 10 feet tall in some areas. The retaining wall allows the new industrial building to be lower than the homes

to the west and the face of the wall will be visible from the industrial area not the residential area to the west. Retaining walls higher than four feet shall be designed by a certified engineer and plans for any retaining walls higher than four feet shall be submitted to the building permit department for permitting prior to construction.

There is an existing retaining wall in the southwest corner of the site. The grading plans show grading but the wall is not shown on the removal plan and must be updated.

Plans show retaining walls situated within the wetland buffer setback northwest of Building D. Section 1050.010 requires that the wetland structure setback shall apply to all structures, except that the structure setback shall be reduced to 5 ft. for roadways, trails, and parking lots and their related walls and fences. Plans must be revised to dimension the plans to show compliance with the wetland buffer building setback of 5 ft.

### *Easements*

A 50-foot wide gas line easement that runs east west through the south half of the site on the proposed lot line. The plans show a public street and private drives crossing the gas line easement perpendicularly and a trail that runs parallel in the easement itself. Furthermore, the plans show retaining walls and parking lots on the easement lines, but no grading is shown. Grading details must be provided. The applicant must provide proof of the easement holders approval of the proposed encroachment prior to final PUD plan submittal.

New standard drainage and utility easements will be provided with the plat around the perimeter of the lots, over stormwater management ponds and over the wetlands (wetland and wetland buffer areas).

A temporary cul de sac easement will be provided on the west end of the new public street.

### *Association*

The development proposal shows a community space in the northwest portion of the site (Outlot A), but no details have been provided. The developer must provide information about this space and how it will be maintained.

### *Landscaping*

Section 1060.070 of the Zoning Ordinance provides landscape standards. The ordinance requires "an emphasis upon the boundary or perimeter of the proposed site at points adjoining other property and the immediate perimeter of the structure." This was also a comment from the City Council during sketch plan review.

The Code requires 697 overstory trees and 2,322 shrubs. The applicant is only showing 463 overstory trees, 87 ornamental trees and 1,716 shrubs. This is the equivalent of

492 trees and 1,716 shrubs and does not meet ordinance requirements. Staff has included a condition that the landscape requirements be met. It appears that additional shrubs can be planted along the new public street adjacent to parking but there are few areas available to plant the remaining 205 overstory trees and 606 shrubs. The applicant has not requested PUD flexibility but do not meet the ordinance standards. There are areas where the parking lot does not have the required shrubs to screen the headlights along the new public street and the west edge of the Building E parking area where the additional shrubs can be added. Staff has added this as a condition of approval.

For example if a double row of trees were added the entire length of the west property line and placed 15 feet on center it would require 178 trees.

The ordinance states “At the sole discretion of the City, a portion of the total number of required trees for any development may be planted at a public location when it is determined by the City that site constraints or existing vegetation limit the ability to plant on site. Cash fees based on the estimated cost of materials and installation of required materials may be substituted for public location planting at the discretion of the City.”

- The Planning Commission should discuss whether they would support off-site landscaping or fees in lieu of the required trees. This is an option outlined in the City Code is not a specific request for PUD flexibility, but the City does have discretion.

Underground irrigation with rain sensors is required on all new non-residential development where municipal water is available. The plans show compliance.

### *Wetlands*

A wetland delineation report was submitted and approved. Section 1050.010 of the Zoning Ordinance establishes standards for the Wetland Overlay District. This includes the establishment of wetland buffer strips with an average width of 25 ft. plus a 15 ft. structure setback from the buffer. Wetland buffer signs are required to be installed at each lot/outlot line where it crosses a wetland buffer, and where needed to indicate the contour of a buffer, with a maximum spacing of 200 ft. along the buffer edge. The plans must be revised to show the wetland buffer, buffer setback and monument signs on all plan sheets.

The wetland buffer and buffer setbacks are not shown on the eastern wetland and it is not clear if the trail complies with these requirement.

It appears that the parking lot and retaining wall on Building D do not meet the wetland buffer setback. This must be clearly shown on the plans and must be revised to comply.

The plans show 0.66 acres of wetland impacts for the buildings, new public street and the emergency access and wetland mitigation in the northeast portion of the site. The

applicant is responsible for preparing a wetland mitigation plan and obtaining approval prior to submittal of a final plat application.

### *Shoreland*

The eastern portion of the site is in the Shoreland Overlay District for the creek. The overlay boundaries extend 300 feet from the creek and are shown on the plans. The shoreland overlay district requires a 25-foot average buffer with a 50-foot structure setback from the buffer, but the buffer and setback is not shown on the plans and must be added to show compliance. A walking trail, such as the planned trail, may be established within a shoreland buffer area. The trail should be constructed to minimize erosion. An undisturbed area of vegetative buffer at least 10 feet in width should remain between the trail and the wetland edge or the top of the stream bank.

### *Signage*

The plans suggest entrance monuments at both sides of the Blue Bonnet entrance. The architectural plans show a multi-tenant sign at the entrance but no details are provided. The sign ordinance requires PUD signage to comply with the underlying zoning district unless PUD flexibility is requested. No PUD flexibility has been requested.

The ordinance allows one freestanding sign per lot up to 64 sq. ft. in area and up to 16 feet high. Wall signage is limited to one sign at the primary entrance of each tenant space, not to exceed 10% of the primary building face of the related tenant space.

The applicant must apply for sign permits prior to installation of any signage to ensure compliance with Chapter 84 of the City Code.

### *Lighting*

The applicant has not provided a lighting plan or light details. Staff has included a condition the applicant provide proposed lighting locations on revised plans for building, parking lot and street lighting to ensure compliance with the standards in Section 1060.040 of the ordinance.

### *Parks and Trails*

The Parks and Trails plan shows an off-road trail running along the creek on the east side of the property and a future on-road trail on Larkin Road. The off-road trail is part of the Three Rivers Park District Diamond Lake Regional trail that crosses through this site. The plans have been shared with Three Rivers Regional Park District staff and they have provided a comment letter which is attached to this staff report.

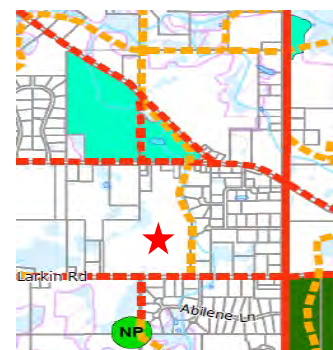


Figure 4-Parks and Trails Plan

The City normally requires construction of an 8-foot wide bituminous trail in a 20-foot easement. As part of a regional trail, Three Rivers typically asks the City to require a 10-foot wide bituminous trail. The 6-foot wide trails shown on the plan must be revised to comply with City standards.

The trail shown by the applicant runs along the east side of the property between County Road 50 and Larkin Road which is a nice location near the creek and wetlands; however, there is no way to connect from this regional trail on the north side of Larkin Road to the future trail on Blue Bonnet south of Larkin Road. A trail over the east portion of the gas line easement connects the east trail to the sidewalk on Blue Bonnet.

The shoreland overlay district requires a 25-foot average buffer with a 50-foot structure setback from the buffer. A walking trail may be established within a shoreland buffer area. The trail should be constructed to minimize erosion. An undisturbed area of vegetative buffer at least 10 feet in width should remain between the trail and the wetland edge or the top of the stream bank.

The wetland overlay district requires a 25-foot average buffer and a 15-foot structure setback from the buffer. Trails that serve an interpretive function may be exempted from buffer and setback requirements.

- The applicant must revise the plans to clearly show the creek ordinary high water level (OHWL) and these buffers and setbacks on the east side of the property. It is unclear whether the trail as proposed shows these setbacks.



Staff believes that the trail connection needs to be revised to connect the trail at Blue Bonnet and Larkin Road. The plans show the trail along the gas line easement and it could be modified to add a trail connection from this easement south on the east side of Blue Bonnet south to Larkin (green line on Figure 5). However, staff notes that this is an area where a reduced setback is requested and this could result in less landscaping unless the parking and building B and C were shifted east and the trail to the east is eliminated (red lines on Figure 5).

- The Parks and Trails Commission concurred and recommended this change. The draft resolution includes this as a condition.

Additionally, the City requires a sidewalk on one side of all public streets. The sidewalk shall remain on the west side of the new public street (opposite the trail).

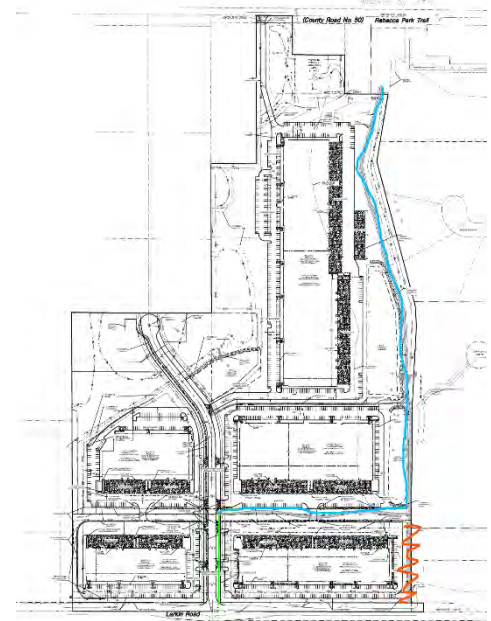


Figure 6 - Potential Changes



Under the current ordinance (which is being updated), park dedication of land is required at 3% of the net pre-development area for Commercial/Industrial land. The ordinance would require 1.98 net acres of park dedication for the 66.15 net acres (70.36 gross acres) being platted.

Park dedication credits would be given for any trail easements taken for off-road trails shown on the Comprehensive Plan. Only the new north/south trail easement for this plat would receive credit towards park dedication requirements. The applicant has not yet provided a net area for the trail easement area, but if the dedication of the easement does not satisfy the park dedication standards the remainder shall be cash-in-lieu of land. The final dedication shall be determined with the final plat.

### Preliminary Plat

The preliminary plat requests approval of 5 lots and two outlots. Outlot A would be retained by the association for a community space and Outlot B would be deeded to the City for a potential wells site.

The applicant has indicated this project phased starting with Building B and expects the project to be completed in 2028 depending on market conditions.

### Summary

Staff finds that the proposed plan is generally consistent with the Comprehensive Plan and Zoning Ordinance. The plan for the new industrial park on this site meets the four economic competitiveness goals of the Comprehensive Plan:

- Promote cooperative efforts and utilize existing resources for economic growth in the City.
- Promote economic stability and diversity to provide job opportunities to residents.
- Promote efficient, planned commercial and industrial development.
- Enhance the character of the City's commercial and industrial
- development.

The applicant is requesting PUD flexibility for:

- Reduced parking setbacks along Blue Bonnet and Larkin Road
- Reduced parking setback on the north side of Building C (Lot 2, Block 1)
- From the standard that loading docks within 300 feet of residential be screened by a building.

In exchange for this flexibility, the applicant has stated that they will:

- Provide new industrial development in the City
- Make off-site street improvements at Larkin Road and County Road 116
- Deed a site for a future City well



Staff has reviewed the plan for consistency with the applicant standards outlined in the Comprehensive Plan, Zoning Ordinance and Subdivision Ordinance. Staff noted in the staff report the outstanding issues that must be addressed and we have included conditions in the attached draft resolutions to address these issues. The Planning Commission may modify these conditions.

However, the City has discretion when reviewing a PUD and the Planning Commission may find that:

1. Additional improvements are needed and make those conditions or
2. the PUD standards have not been met and may recommend denial citing reasons for the denial.

The City of Corcoran reclassified this property from residential to industrial as part of the 2040 Comprehensive Plan update in order to provide more opportunities for industrial land in the City, which will provide jobs and tax base. However, the City must balance these desires with other development standards adopted by the City. It may be that there is simply too much development proposed for the site and that reducing the size of the buildings could reduce the need.

### Options

If the Planning Commission finds that the PUD standards have been met, they should recommend approval. Staff has prepared draft resolutions for approval as a starting point for discussion.

If the Planning Commission finds that the PUD standards have not been met, but could be with changes, they could modify the draft PUD resolution. For example:

- Does the plan provide adequate screening to the west?
- Does the building architecture meet the intent of the PUD or are improvements needed, such as better articulation on the sides/secondary front?
- Does the proposed amenity space provide a PUD benefit?

If the Planning Commission finds that the PUD standards have not been met, they should recommend denial.

## **6. Recommendation**

Staff recommends that the Planning Commission recommend approval of the following:

- a. Draft Ordinance approving rezoning
- b. Draft Resolution with finding of fact for rezoning
- c. Draft Resolution approving preliminary PUD
- d. Draft Resolution approving preliminary plat

## **Attachments**

1. Draft Ordinance approving rezoning
2. Draft Resolution with finding of fact for rezoning
3. Draft Resolution approving preliminary PUD
4. Draft Resolution approving preliminary plat
5. Location Map
6. City Engineer's Memo dated September 26, 2022
7. Public Safety Memo dated September 27, 2022
8. Applicant Narrative dated July 15, 2022
9. Applicant Parking Narrative and exhibit received August 30, 2022
10. Preliminary Plat dated August 30, 2022
11. Site Plan dated August 30, 2022
12. Building plans dated July 19, 2022
13. Cross Section Exhibit dated August 30, 2022
14. Landscape Plan dated August 30, 2022
15. Blue Bonnet Road Extension Concept dated August 30, 2022
16. Three Rivers Park District Memo dated September 15, 2022
17. Tom Feehan comments received September 27, 2022

**ORDINANCE NO. 2022-XX**

**Motion By:  
Seconded By:**

**AN ORDINANCE AMENDING TITLE X (ZONING ORDINANCE) OF THE CITY CODE TO CLASSIFY CERTAIN LAND LOCATED AT 20130 LARKIN ROAD (PID 26-119-23-13-0006) (CITY FILE NO. 22-044)**

THE CITY OF CORCORAN ORDAINS:

**Section 1.** Amendment of the City Code. Title X of the City Code of the City of Corcoran, Minnesota, is hereby amended by changing the classification of the City of Corcoran Zoning Map from Light Industrial (I-1) to Planned Unit Development (PUD), legal described as follows:

*See Attachment A*

**Section 2.** This amendment shall take effect upon adoption of the resolution approving the final PUD development plan for this project.

**VOTING AYE**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

**VOTING NAY**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this XX day of October 2022.

\_\_\_\_\_  
Tom McKee - Mayor

**ATTEST:**

\_\_\_\_\_  
Jessica Beise – City Administrator

*City Seal*

**ORDINANCE NO. 2022-XX**

**ATTACHMENT A**

Tract A, C and H, Registered Land Survey No. 1657, Hennepin County, Minnesota

Being registered land as evidenced by Certificate of Title 1444050

Torrens Property

**RESOLUTION NO. 2022-XX**

**Motion By:**  
**Seconded By:**

**APPROVING FINDINGS OF FACT FOR REZONING FOR THE PROPERTY LOCATED AT  
20130 LARKIN ROAD (PID 26-119-23-13-0006) (CITY FILE NO. 22-044)**

**WHEREAS**, JMMK, LLC (the “applicant”) has requested approval to rezone 70.36 acres legally described as follows:

*See Attachment A*

**WHEREAS**, the Planning Commission has reviewed the request at a duly called Public Hearing and recommends approval, and;

**WHEREAS**, the City Council has adopted an ordinance rezoning the affected parcels from Light Industrial (I-1) to Planned Unit Development (PUD);

**NOW, THEREFORE, BE IT HEREBY RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA**, that it should and hereby does support the request for the reclassification of the property, based on the following findings and conditions:

1. The planned unit development is not in conflict with the Comprehensive plan. The proposed development is guided for industrial development as proposed. The plan incorporates the extension of municipal sewer and water, the construction of an off-road trail (Diamond Lake Regional Trail), provides street connections through the development as anticipated.
2. The planned development is not in conflict with the intent of the underlying zoning district. The property is zoned Light Industrial. The proposed development is not in conflict with the intent of the zoning district.
3. The planned development is not in conflict with other applicable provisions of the City’s Zoning Ordinance.
4. The planned development or unit thereof is of sufficient size, composition, and arrangement that its construction, marketing, and/or operation is feasible as a complete unit without dependence upon any other subsequent unit or phase. The planned development is feasible without dependence upon any other subsequent phase. However, the project will be phased generally from south to north. The developer indicates that they expect the development to be completed by 2028.
5. The planned development will not create an excessive burden on parks, schools, streets and other public facilities and utilities which serve or are proposed to serve the planned development. With the improvements required by the feasibility study, the development will not create an excessive burden on parks, schools, streets and other public facilities and utilities which serve or are proposed to serve the planned development. The developer is providing public trails and sidewalks consistent with the City’s Comprehensive Plan. The developer is constructing a new street in the development

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and making offsite improvement to Larkin Road. Municipal sanitary sewer and water are available to serve the site.

6. The planned development will not have an adverse impact on the reasonable enjoyment of the neighborhood property. The property is zoned light industrial. The development does comply with the setback requirements for that district. The developer has provided landscaping to buffer the development from the residential properties to the west and south.
7. The quality of the building and site design proposed by the PUD plan shall substantially enhance the aesthetics of the site, shall demonstrate higher standards, more efficient and effective uses of streets, utilities and public facilities, it shall maintain and enhance any natural resources within the development, and create a public benefit that is greater than what would be achieved through the strict application of the primary zoning regulations. The developer meets this standard with a new industrial development that will meet the Comprehensive Plan economic competitiveness goals and expand infrastructure.

**VOTING AYE**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

**VOTING NAY**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this XX day of October 2022.

\_\_\_\_\_  
Tom McKee - Mayor

ATTEST:

\_\_\_\_\_  
Jessica Beise – City Administrator

*City Seal*

**RESOLUTION NO. 2022-XX**

**ATTACHMENT A**

Tract A, C and H, Registered Land Survey No. 1657, Hennepin County, Minnesota

Being registered land as evidenced by Certificate of Title 1444050

Torrens Property

**RESOLUTION NO. 2022-XX**

**Motion By:**  
**Seconded By:**

**APPROVING PRELIMINARY PLANNED UNIT DEVELOPMENT PLAN FOR “CORCORAN FARMS BUSINESS PARK” LOCATED AT 20130 LARKIN ROAD (PID 26-119-23-13-0006) (CITY FILE NO. 22-044)**

**WHEREAS**, JMMK, LLC (the “applicant”) has requested approval of “Corcoran Farms Business Park” an industrial subdivision on property legal described as follows:

*See Attachment A*

**WHEREAS**, the Planning Commission has reviewed the plan at a duly called Public Hearing and recommends approval, and;

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA**, that the Corcoran City Council hereby approves the request for preliminary PUD plan, subject to the following conditions:

1. A preliminary PUD plan is approved for “Corcoran Farms Business Park”, in accordance with the plans and application received by the City on July 15, 2022 and revisions received on August 30, 2022, except as amended by this resolution.
2. The preliminary PUD plan is approved based on the finding that the proposed project is consistent with the City’s Comprehensive Plan and the PUD standards in the ordinance.
3. Approval is contingent upon City Council approval of the requested rezoning and preliminary plat (Ordinance 2022-XX and Resolution 2022-XX).
4. The applicant shall comply with all requirements of the Public Safety Memo dated September 27, 2022.
5. The applicant shall comply with all requirements of the City Engineer’s memo, dated September 26, 2022.
6. The applicant shall comply with all requirements of the Feasibility Study dated May 2022.
7. The applicant shall comply with all requirements of the August 11, 2022 EAW Record of Decision.
8. The applicant is subject to review and approval by Hennepin County. The applicant is required to secure all permits and approvals from the County.
9. PUD flexibility is granted for the following:
  - a. To allow a 20-foot parking setback along Blue Bonnet and Larkin Road where 50 feet is typically required.



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- b. To allow a 5-foot parking setback on the north side of Building C (Lot 2, Block 1) where 10 feet is typically required.
  - c. To allow loading docks within 300 feet of residential be screened by a wing wall, retaining wall and landscaping instead of an intervening building.
10. Park dedication shall be satisfied by a combination of land and cash-in-lieu of land for the industrial park.
  - a. Park dedication shall be subject to park dedication fees in place when the final plat is approved.
  - b. A 20 ft. wide trail easement must be deeded to the City for the trail.
  - c. The trail corridor shall be extended from the Blue Bonnet/Larkin intersection north to the gas line easement, then east to the stream and north as shown on the plans and recommended by the Parks and Trails Commission.
  - d. The paved trail will be part of the Diamond Lake Regional Trail Corridor and must be 10-feet wide.
  - e. The applicant should comply with the Three Rivers Park District trail design standards to the extent possible.
  - f. The trail must be located outside of the wetland buffer.
  - g. Park dedication credit shall be given for the net acreage of the trail easement.
    - i. The applicant shall provide a trail exhibit with gross and net easement acreage calculations.
    - ii. No credit shall be given for construction/paving of the trail. This shall be considered a benefit of the PUD.
  - h. Park dedication not satisfied by the trail easement shall be cash-in-lieu of land.
  - i. The City has established park dedication fees based on the adopted 2040 comprehensive plan.
  - j. The applicant's tenant will benefit from the public trail and access to the City park facilities, including the community park located north of County Road 50.
  - k. The applicant must provide a public sidewalk on the west side of the new public street (opposite the trail).
11. The plans must be revised to show a 60-foot ½ right-of-way for County Road 50.
12. The applicant must provide proof of the gas line easement holder's approval of all proposed encroachments.
13. The developer must provide impervious surface calculations to ensure compliance with all ordinance standards.
14. Plans must be revised to clearly dimension all building and parking setbacks.
15. Plans must be revised to show the location of all rooftop and ground mounted mechanical equipment. Plans must show compliance with Section 1060.030 of the Zoning Ordinance.
16. Plans must be revised to show details for the trash enclosures to ensure compliance with Section 1060.020 of the Zoning Ordinance.

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17. Building plans must be revised to show dimensions on the building recesses and canopies.
18. A lighting plan must be provided to show compliance with the standards in Section 1060 of the Zoning Ordinance. The location of lights, pole height and fixture details must be provided for freestanding and building lighting.
19. Landscaping 3 ft. high shall be provided for parking areas with four or more stalls to screen vehicle headlights from adjacent residential and public streets. The plans must be revised to provide shrubs for all parking on the new public street and on the west side of the Building E parking lot.
20. The landscape plan must be revised to provide a total of 2,322 shrubs and 697 overstory trees.
  - a. At the sole discretion of the City, a portion of the total number of required trees for any development may be planted at a public location when it is determined by the City that site constraints or existing vegetation limit the ability to plant on site. Cash fees based on the estimated cost of materials and installation of required materials may be substituted for public location planting at the discretion of the City.
21. The applicant shall provide plans showing the planned grading, utilities and landscaping to ensure no conflicts.
22. A sign permit is required for any signage. All signage must comply with Chapter 84 of the City Code.
23. Well and septic system abandonment shall be completed as noted in the City Engineer's memo.
24. The plans must be revised to show the shoreland buffer, setbacks and monuments in compliance with Section 1050 of the City Code.
25. The plans must be revised to show wetlands, wetland buffers, wetland buffer setbacks and wetland buffer signage in compliance with Section 1050 of the City Code.
26. The Site Plan must be revised to relocated retaining walls to comply with the wetland buffer setbacks.
27. A wetland buffer planting plan and maintenance plan must be submitted for review and approval by the City.
28. All permanent wetland buffer monument signs must be erected along the wetland buffer line as required by Section 1050.010, Subd. 7 of the Zoning Ordinance.
  - a. The applicant shall work with City staff to finalize the location of wetland buffer monuments.
  - b. Wetland signs shall be purchased from the City.
  - c. The final locations must be inspected and approved by City staff.

**RESOLUTION NO. 2022-XX**

- d. Monument signs shall be installed prior to approval of the building permit.
29. Drainage and utility easements must be provided over all wetlands, wetland buffers and ponds.
30. Drainage and utility easements shall be provided along the perimeter of all lots.
31. The applicant must enter into a stormwater maintenance agreement prior to release of final plat.
32. The association or building owner is responsible for ensuring sidewalks in the development area are shoveled and maintained.
33. The association or building owner is responsible for the maintenance of Outlot A and any proposed amenity.
34. Final details for the Outlot A amenity must be provided for city review and approval with the PUD final plan.
35. All utility facilities shall be located underground.
36. The development shall comply with the City's requirements regarding fire access, fire protection and fire flow calculations, the location of fire hydrants, fire department connections and fire lane signage.
37. Parking shall be reviewed with building permit and must comply with ordinance standards for the proposed use.
38. The developer must provide a temporary cul-de-sac easement for the new public street. This must be shown on the preliminary plans.

**VOTING AYE**

- McKee, Tom  
 Bottema, Jon  
 Nichols, Jeremy  
 Schultz, Alan  
 Vehrenkamp, Dean

**VOTING NAY**

- McKee, Tom  
 Bottema, Jon  
 Nichols, Jeremy  
 Schultz, Alan  
 Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this XX<sup>th</sup> day of October 2022.

\_\_\_\_\_  
Tom McKee - Mayor

**ATTEST:**

\_\_\_\_\_  
Jessica Beise – City Administrator

*City Seal*

**RESOLUTION NO. 2022-XX**

**ATTACHMENT A**

Tract A, C and H, Registered Land Survey No. 1657, Hennepin County, Minnesota

Being registered land as evidenced by Certificate of Title 1444050

Torrens Property

**RESOLUTION NO. 2022-XX**

**Motion By:**  
**Seconded By:**

**APPROVING PRELIMINARY PLAT FOR “CORCORAN FARMS BUSINESS PARK”  
LOCATED AT 20130 LARKIN ROAD (PID 26-119-23-13-0006) (CITY FILE NO. 22-044)**

**WHEREAS**, JMMK, LLC (the “applicant”) has requested approval of “Corcoran Farms Business Park” an industrial subdivision on property legal described as follows:

*See Attachment A*

**WHEREAS**, the Planning Commission has reviewed the plan at a duly called Public Hearing and recommends approval, and;

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA**, that the Corcoran City Council hereby approves the request for preliminary plat, subject to the following conditions:

1. A preliminary plat is approved to create five lots and two outlots “Corcoran Farms Business Park”, in accordance with the plans and application received by the City on July 15, 2022 and revisions received on August 30, 2022, except as amended by this resolution.
2. Approval is contingent upon City Council approval of the preliminary PUD plan for “Corcoran Farms Business Park.” The applicant shall comply with all conditions of the preliminary PUD plan approval (Resolution 2022-XX).
3. Park dedication is due as required by the PUD approvals, prior to the release of final plat for recording.
4. The applicant shall comply with all requirements of the City Engineer’s memo, dated September 26, 2022.
5. The preliminary plat zoning table shall be updated to note the current zoning is I-1 not BP.
6. Approval shall expire within one year of the date of approval unless the applicant has filed a complete application for approval of the final plat.

**VOTING AYE**

- McKee, Tom**
- Bottema, Jon**
- Nichols, Jeremy**
- Schultz, Alan**
- Vehrenkamp, Dean**

**VOTING NAY**

- McKee, Tom**
- Bottema, Jon**
- Nichols, Jeremy**
- Schultz, Alan**
- Vehrenkamp, Dean**

**Whereupon, said Resolution is hereby declared adopted on this XX day of October 2022.**

**RESOLUTION NO. 2022-XX**

\_\_\_\_\_  
**Tom McKee - Mayor**

**ATTEST:**

\_\_\_\_\_  
**Jessica Beise – City Administrator**

***City Seal***

**RESOLUTION NO. 2022-XX**

**ATTACHMENT A**

Tract A, C and H, Registered Land Survey No. 1657, Hennepin County, Minnesota

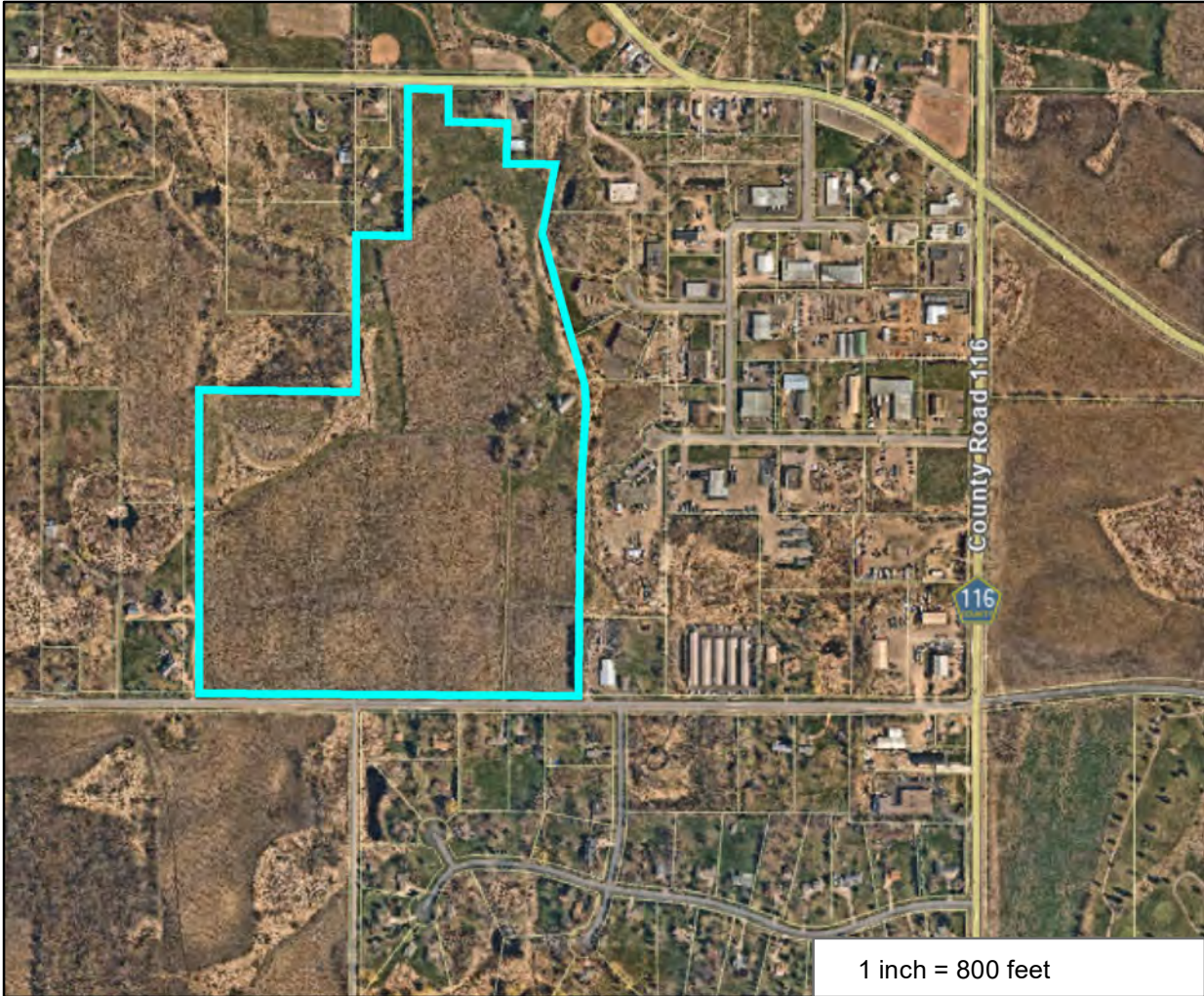
Being registered land as evidenced by Certificate of Title 1444050

Torrens Property



# Hennepin County Property Map

Date: 9/9/2022



PARCEL ID: 2611923130006

OWNER NAME: Gary D Schutte Et Al

PARCEL ADDRESS: 20130 Larkin Rd, Corcoran MN 55340

PARCEL AREA: 68.68 acres, 2,991,888 sq ft

A-T-B: Torrens

SALE PRICE:

SALE DATE:

SALE CODE:

ASSESSED 2021, PAYABLE 2022  
PROPERTY TYPE: Residential  
HOMESTEAD: Non-Homestead  
MARKET VALUE: \$631,200  
TAX TOTAL: \$7,301.68

ASSESSED 2022, PAYABLE 2023  
PROPERTY TYPE: Residential  
HOMESTEAD: Non-Homestead  
MARKET VALUE: \$697,600

## Comments:

This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

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To: Kevin Mattson, City of Corcoran                      From: Kent Torve, City Engineer  
Steve Hegland, PE

Project: Corcoran Farm Business Park                      Date: September 26, 2022

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**Exhibits:**

This Memorandum is based on a review of the following documents:

1. Corcoran Farms Business Park Preliminary Plat Drawings, Prepared by Loucks, Dated August 30<sup>th</sup>, 2022.
2. Preliminary Plat for Corcoran Farms Business Park, Prepared by Loucks, Dated August 30<sup>th</sup>,
3. Hydrology Report, Prepared by Loucks, Dated August 30<sup>th</sup>, 2022.

**General:**

1. Consistent with the review process, a comment response letter shall be provided in response to the following comments provided in this Memorandum in which the applicant provides a written response to each item.
2. In addition to engineering related comments per these plans, the proposed plans are subject to addition planning, zoning, land-use, and other applicable codes of the City.
3. Final approval by the Elm Creek Watershed Management Commission must be attained before any site grading or activity may commence.
4. For any site activity (demo, grading, utilities, etc.) no closures or restrictions of any kind shall be imposed upon the public use of Larkin Road without the City's permission. Should any lane restrictions be necessary, the Contractor shall notify the City a minimum of seven day in advance and provide a Traffic Control Plan.
5. An encroachment agreement shall be required for all site improvements or items placed within the City ROW or easements.
6. The site demolition plans shall identify any wells or septic systems to be abandoned. Any such systems shall be abandoned by the applicant in accordance with all regulatory requirements. Applicant shall provide documentation to city of well and septic abandonment and permitting once it has been completed.
7. Applicant shall be responsible for ensure all permits are in place for wetland impacts prior to any disturbances. Includes a DNR permit as noted in Grading section.

**Site Plan:**

1. The emergency access drive to the north should be encompassed within an easement to ensure the City has right to access and ensure it remains in place as shown.
2. Location and type of emergency access gates shall be reviewed and approved by public safety.
3. At the time of final plat, pedestrian ramp details shall be included in plan sets including detailed spot elevations at all landings and ramps.
4. Pedestrian landings shall be added at all locations where sidewalks or trails are directed into the roadway including at the trail or sidewalk on the receiving side of the pedestrian route.
5. Site plans note B612 curb and gutter in public streets which should be B618. Note all curb and pavement within the public ROW shall be per the city standard details.

6. An electric line easement exists through the southern portion of the site. Applicant shall provide a copy of the easement documents to the city and ensure the easement allows for the public infrastructure as shown within the proposed development.
7. A gas easement exists through the middle of the site. Applicant shall provide a copy of the easement document to the city and ensure the easement allows for the public and private infrastructure shown within the proposed development.
8. Southbound left and right turn lane striping should be added on Blue Bonnet Drive onto Larkin Road.
9. Monument signs at entrance shall require encroachment agreements.
10. The proposed trail which extends to the SE corner of the development shall be extended to the intersection of Blue Bonnet Drive and Larkin Road.
11. The site plans indicate a 10' D&U easement labeled along the south of the development but a 20' easement is shown. Update notes to match the proposed easement widths.
12. Several radius from Blue Bonnet Drive are shown at 40'. The City maximum radius for driveway entrances is 30'. Plans should be updated to conform with City standards.
13. Applicant shall confirm that a trail will be allowed through the existing gas line easement.

### Grading

1. All maintainable slopes including pond slopes above the safety bench shall be 4:1.
2. The detailed grading plan shall include the NW Blue Bonnet extension.
3. The grading of the Blue Bonnet Drive extension will require a work in public water permit through the Minnesota DNR. The applicant shall be responsible for submitting and obtaining this permit before the grading work in this area can commence. This may require additional coordination with Hennepin County and the City as part of the application to verify acceptable roadway network and connections.
4. The applicant shall verify that the grading and roadway construction through the existing gas easement will be approved by the easement holder.
5. There are two north-south driveway connections shown on the site plan through the gas easement. No grading is shown with either of these drives. If drive connections are approved, grading shall be shown for these areas.
6. There appears to be trapped drainage west of Blue Bonnet Drive and the gas easement.
7. Along the SE corner of the site, it appears that drainage is being routed onto the adjacent property owner where drainage currently does not flow. Grading plan shall maintain existing grading patterns and not impact adjacent properties.
8. There appear to be several locations along Larkin Road which may trap drainage. Additional spot elevations and grading modifications may be necessary to ensure areas drain properly.
9. Internal drainage to each lot was not reviewed with this application. At the time of building permit, each individual lot shall meet all City drainage and building separation requirements.
10. EOF's shall be labeled by the applicant for all drainage routes to ensure separation requirements are met for all buildings.
11. An existing retaining wall exists in the SW corner of the site. Plans indicate grading in this area but removal of wall is not shown on removals plan. Verify the plan for the retaining wall.
12. Several retaining walls are shown on the grading plan. All walls 4' or higher shall be designed and certified by a professional engineer.
13. At time of final plat, plans shall indicate if retaining walls will be installed with mass grading or if not, an interim grading plan for these areas may be necessary.

### Transportation

1. A temporary access easement shall be provided for turnaround on Blue Bonnet Drive
2. The applicant shall be responsible for all offsite improvements as outlined in the Feasibility Study dated May of 2022. The City typically leads offsite transportation improvements with the applicant providing a financial surety to finance the improvements.

3. Plan and profiles for all roadways shall be provided at the time of final plat.

#### Stormwater

1. All access routes for maintenance shall be encompassed by an easement.
2. Provide labels for all stormwater structures and pipes including inverts, slopes, and sizes.
3. At the time of final plat, plans and profiles shall be provided for all pipe networks.
4. At the time of final plat Rational Method calculations shall be provided for all catch basin and pipe networks to ensure that adequate capacity exists.
5. All storm sewer shall be designed in accordance with the City Guidelines.
6. A stormwater maintenance agreement will be required with this development. The agreement shall provide the City the right to enter and maintain any unmaintained infrastructure or easements shall be provided over all storm sewer.
7. All storm sewer shall be RCP.
8. The applicant is proposing storm sewer crossings of the existing gas easement. The existing gas line location shall be verified and storm crossings approved by the gas company. Potholing may be necessary to confirm stormwater management system is feasible, include the City on communication with gas company.
9. The condition of the existing pipe across Larkin Road should be approved by the City prior to final plat approval. City may require that entire line be removed and replaced by applicant if condition is not adequate for proposed connection.

#### Model Inputs

1. Submit electronic HydroCAD model with future submittals.
  - a. Ensure that model and plans correspond.
  - b. Provide individual detail plates for each outlet control structure (OCS). Identify inverts on individual plates.
2. Calculate Time of Concentration (Tc) based on actual site conditions to support the "direct entry" value included in the model. Use a series of sheet flow (maximum 100 feet) and shallow concentrated flow.
  - a. This is not a comprehensive list, but for example: Subcatchment E has an over estimated Tc of 20.6 minutes. The length of flow path is modeled as 420 feet, but the longest possible flow path seems to be less than 300 feet. Slope used for sheet flow and shallow concentrated flow was 1.4% in the model. The plans show this area has no less than a 7:1 slope (14%). Use short grass in the model.
3. Update drainage figures to be consistent with the grading plans.
  - a. This is not a comprehensive list, however Subcatchment E seems to show an impervious pad in the Drainage figure and not on the grading plans. Pond 2 has a different design in the drainage figure compared to the grading plans.
4. Wetlands, filtration basins and ponds shall be modeled at CN=98.
  - a. Wetland 7 is not modeled accordingly.

#### Discharge Points

1. Provide drainage maps consistent with HydroCAD models for existing and proposed conditions.
2. Provide energy dissipation or a stilling basin at outflow of Ponds 1, 2 & 3 before entering the unnamed ditch on the east side and the wetland on the west side. City will provide stilling basin dimensions based on discharge pipe diameter.
3. Review flow and runoff volume to Wetland 5. Decrease may cause secondary wetland impacts, to be reviewed also with WCA process.

September 26, 2022

Corcoran Farms Business Park

Kevin Mattson

Page 4 of 4

4. Adjust pipe outlets to ditch to minimize bank erosion. Provide discharge velocity analysis to ensure bank erosion is manageable.

#### Construction Plans

1. Provide permanently reinforced EOF for the infiltration/filtration basin. The 100-yr HWL shall be one foot below the EOF and the EOF shall be at least 1.0' below top of berm. Reinforced EOF shall extend to the toe of the slope to prevent erosion.
2. Show wetland buffer on plans.
3. Provide information showing how roof drains connect to the underground filtration system.
4. Provide rims, invert elevations, pipe sizes and materials for all stormwater utilities on the stormwater utilities plan sheets.
5. All slopes shall be 4:1 or flatter.
6. Show wetland impacts on grading plan.
7. Rear parking pad of Building E appears to discharge directly to the ditch. Runoff shall be captured and routed to treatment.

#### Utilities/Watermain/Sanitary Sewer

1. Complete plan and profiles shall be provided for all sanitary sewer and water lines at the time of final plat.
2. The proposed easement over the 18" trunk sanitary sewer and trunk water needs to be expanded to provide for adequate access to the pipes to be maintained and replaced. The city requires at a minimum 1:1 slopes out from the limits of the pipe trench or more if deemed necessary for maintenance and replacement access..
3. The city recommends the trunk sanitary sewer be shifted west as it runs adjacent to Building E. replacement of this pipe would eliminate the ability to use the parking lot which would impact the ability for a company to operate during these times.
4. The 12" sanitary sewer stub should be moved to the NW Bluebonnet Drive extension. The current stub location is directed to a pocket of high ground which could interfere with the ability to develop that site.
5. All watermain loops around the buildings are assumed to be private. Valves shall be located at connection points to public system so the system can be isolated.
6. The trunk watermain along Larkin Road should be 16"
7. The sewer stub provided to the SE corner of the site should be located at Larkin Road so it can be extended along the roadway in the future.
8. The utility plans note 8" watermain stubs both east of building B and west of Building D but watermain is not shown in these locations on the plans. Please clarify.
9. Temporary hydrants shall be shown on the ends of all water stubs.
10. The applicant is proposing to connect to the existing watermain in 75<sup>th</sup> Ave north to complete the looping requirements for the site. The applicant shall be responsible for all work to make this connection and shall restore all impacted areas to their existing conditions after work is completed.
11. The applicant shall be responsible for obtaining all necessary easements to install the sewer and water utilities as shown in the proposed plans or required of the development.

#### Erosion Control/SWPPP

1. Preparation of and compliance with a SWPPP shall be required for construction.

**End of Comments**



## CITY OF CORCORAN

8200 County Road 116, Corcoran, MN 55340

763.420.2288

E-mail - [general@ci.corcoran.mn.us](mailto:general@ci.corcoran.mn.us) / Web Site - [www.corcoranmn.gov](http://www.corcoranmn.gov)

# Memo

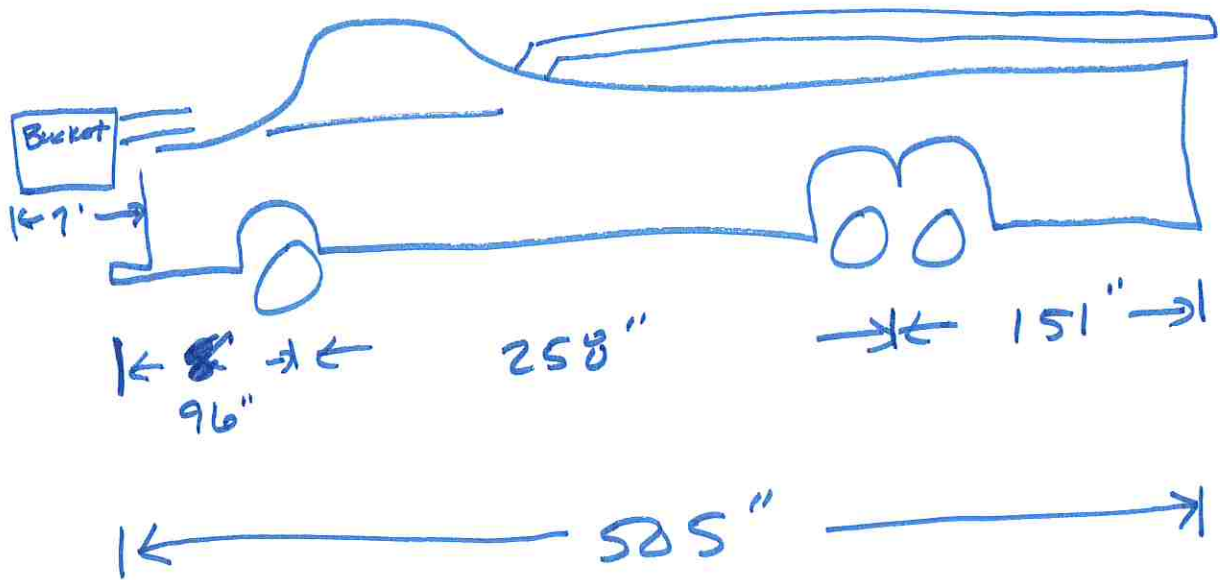
**To:** Planning (Planners Lindahl and Davis McKeown)  
**From:** Lieutenant Burns  
**Date:** September 27, 2022  
**Re:** City File 22-044 Corcoran Farms Business Park PUD

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A Public Safety plan review meeting was held on September 7, 2022. In attendance were: Lieutenant Ryan Burns, Police Chief Gottschalk, Planner Davis McKeown, Fire Chief Feist, Fire Chief Leuer, Building Official Geske, and Construction Services Specialist Pritchard. The comments below are based on the concept plans received by the City on August 30, 2022 and are intended as initial feedback as further plan review will need to be completed as construction plans are available.

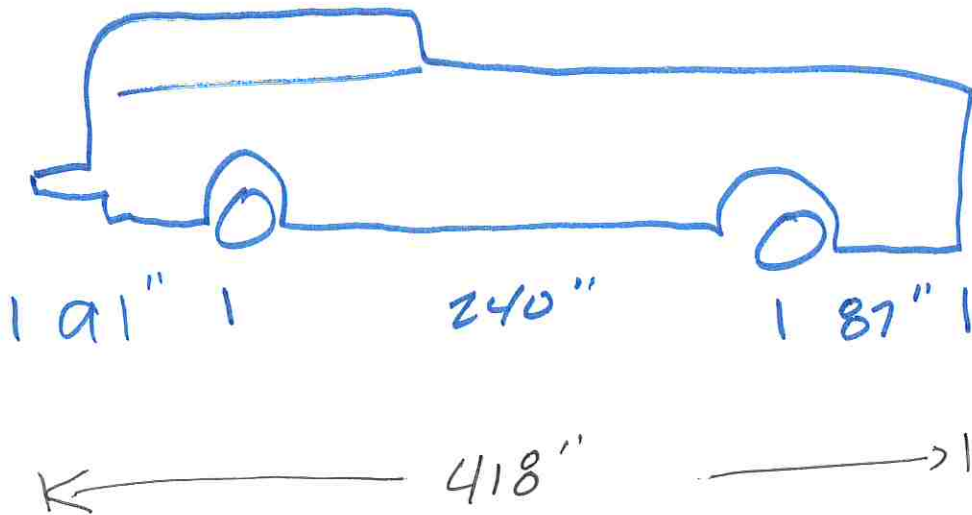
1. The location of the sprinkler rooms must be confirmed. It is preferred that sprinkler rooms are located on the loading dock side of buildings.
2. A turn radius exhibit is required using dimensions in the enclosed exhibits.
3. The locations of fire hydrants will need to be confirmed with the Fire Chief – Jeff Leuer of Loretto. The first hydrant should be located within 100' of the FDC.
4. The buildings must be individually addressed.
5. If the buildings are used for high pile storage, the buildings will require service doors that comply with the MN Fire Code.

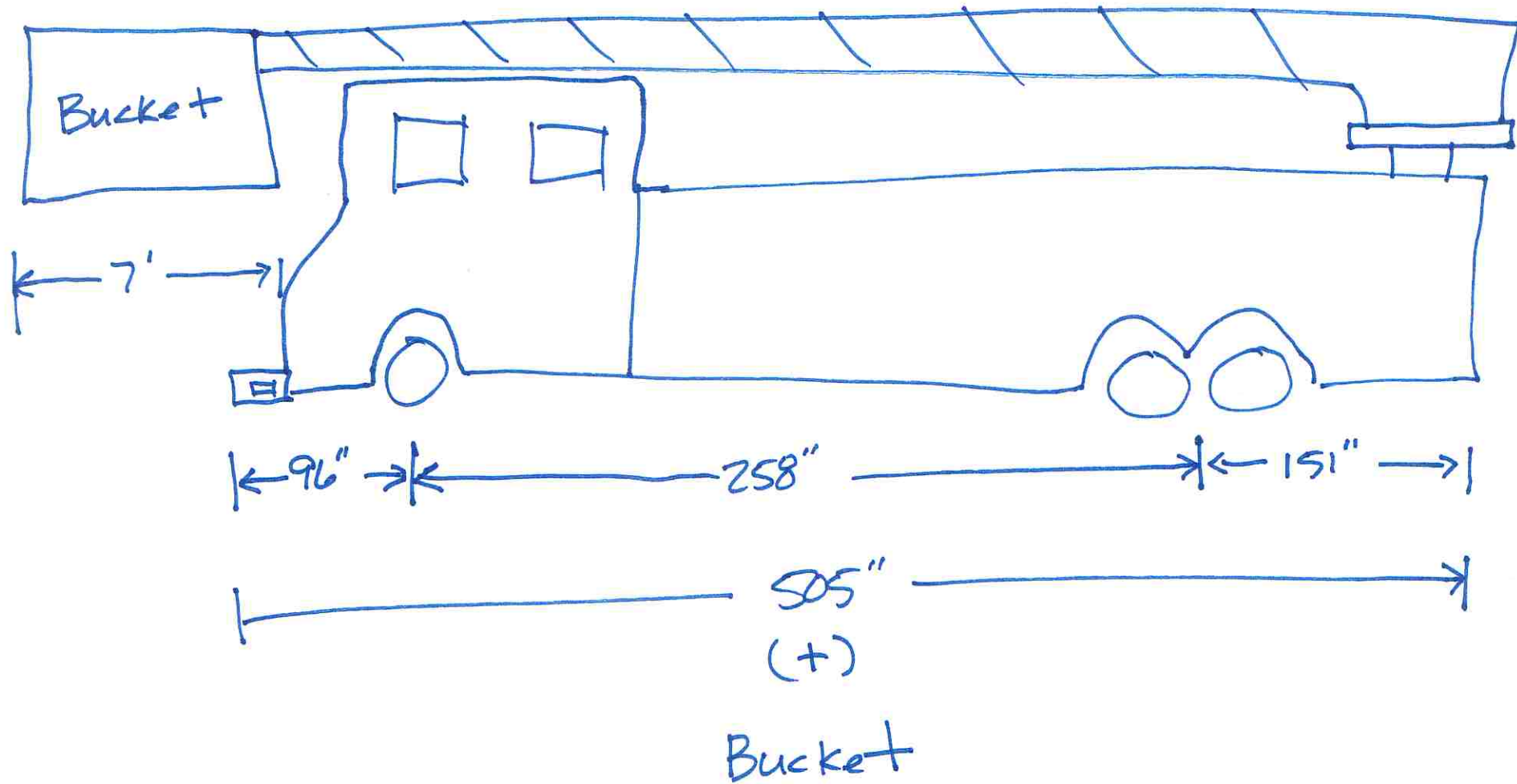
A-11



Truck body ground clearance is 14"

E-11





Rogers FIRE  
AERIAL 11 TRUCK

Down Riggers extend  
out approx. 5' on  
each side.



## Narrative for Corcoran Farm Business Park Rezoning/Pre-PUD/Pre-Plat Plan

**7/15/2022**

On behalf of our entity, JMMK, LLC, we are excited to propose Corcoran Business Park plan for a new industrial park in the City of Corcoran. The park will be constructed on a vacant farm field that has been recently zoned and guided for industrial per the updated comprehensive plan. The location and accessibility of the land makes it a valuable location for an industrial park and provides economic growth within the City of Corcoran.

The proposed 70 acre business park consists of five (5) buildings consisting of a total of 696,613 square feet of various sizes to accommodate a wide range of potential users. The design of the park took careful consideration of the natural features including, wetlands, creek, and rolling topography. In addition to the natural conditions, we needed to design around the physical location of a 50 foot wide high-pressured gas line easement that runs east-west through the entire site which creates a physical obstruction for site layout and grading alterations. We have worked with city staff during the concept plan review, feasibility study, and EAW preparation to incorporate infrastructure to serve the site and provide connection to the surrounding area including sewer, watermain, stormwater, and a portion of the regional trail system. The infrastructure as shown on the proposed plans has adequate capacity to serve the entire business park.

<b>Corcoran Farms Business Center Lot/Building Summary</b>								
	<u>Building A</u>	<u>Building B</u>	<u>Building C</u>	<u>Building D</u>	<u>Building E</u>	<u>Outlot A (AC)</u>	<u>Outlot B (Private Park)(AC)</u>	<u>Totals</u>
<b>Building Size (SF)</b>	71,812	107,630	167,058	87,593	262,520	-	-	696,613
<b>Building Length</b>	482	722	652	441	503	-	-	2,800
<b>Building Width</b>	150	148.5	257	209	260	-	-	1,025
<b>Office Percent</b>	20%	20%	20%	20%	20%	-	-	1
<b>Warehouse Percent</b>	80%	80%	80%	80%	80%	-	-	4
<b>Parking</b>	147	237	236	128	332	-	-	1,080
<b>Lot Size (SF)</b>	251,389	364,546	459,710	384,656	1,208,434	98,794	141,114	2,908,643
<b>Lot Size (AC)</b>	5.77	8.37	10.55	8.83	27.74	2.27	3.24	66.77
<b>Pre-Plat Lot ID</b>	Blk 2, Lot 1	Blk 1, Lot 3	Blk 1, Lot 2	Blk 2, Lot 2	Blk 1, Lot 1			
<b>ROW Dedication (AC)</b>								<u>3.58</u>
							<b>Total Property</b>	<b>70.35</b>

To ensure that we are proposing a valid and well-planned development we have completed a boundary and topographical survey, certified wetland delineation/report and soil borings. We retained Loucks, a civil engineering/ survey firm and Ed Farr Architects to prepare the Rezoning/PUD/Pre-plat documents for development of the park in relationship to the natural and physical parameters.

The property is currently guided and zoned Light Industrial (I-1). We are requesting the property be rezoned to a Planned Unit Development (PUD) overlay to accommodate for unique features of the site that allow flexibility of setbacks and site layout.



Based on our findings, we have designed the business park in a manner that accommodates the development parameters of the city. We abided by the shoreland rules that protects the creek along the eastern side of the site. The creek is buffered from the industrial buildings by setbacks and stormwater ponds. The creek is further enhanced by the placement of the regional trail located along the entire length of the easterly lot line of the business park. The regional trail will provide a natural pedestrian access north/south through the business park. We are incorporating sidewalks and trails within the business park to provide pedestrian links from the individual building and Blue Bonnet Drive North to access the regional trail system and to the private park area.

The wetland areas are primarily to the north and west sides of the site. The business park design avoided and/or minimized wetland impacts by separating the buildings/parking with stormwater ponds and wetland buffers. There is a wetland in the middle of the site consisting of 0.35 acres that will need to be filled and mitigated. The other wetland impacts are strictly result of Blue Bonnet Drive North extension and the emergency access road to County Road 10 crossings existing wetlands. The total wetland impacts are 0.66 acres and will be mitigated at 2:1 ratio in the northeast corner of the site.

The plan has been developed with an intense amount of buffer landscaping and minimal maintenance fence on top of the retaining walls that are located along the west property 20 foot wide buffer to visually minimize the impacts on the existing single family residences to the west. In addition, the buildings A and D along the west property line have finished floor elevations at 976.0 and loading dock elevations at 972.0. The existing elevation along the west property line is approximately 980-984 elevation. The loading docks will be approximately 8-12 feet below the west property line providing a natural visual barrier to the residences. Placing a six foot fence opaque fence on top of the retaining wall results in a visual barrier of 14-18 feet above the first floors of the westerly building.

Outlot A is planned to be incorporated into future development when it occurs to the north and west. As part of the PUD Plan/Preliminary plat we are proposing to provide a utility easement within Outlot A located in the northwest corner of the site for a future city well location as requested by the city engineer. All ponding/stormwater features and wetlands will have drainage and utility easements over these areas.

There will be covenants/agreements for the entire business park to maintain:

- private park amenities
- business park entrance monuments
- private trail system
- stormwater ponding systems which serve multiple facilities

The business park incorporates a public street (Blue Bonnet Drive North) that enters the park from Larkin Road directly across from the existing Blue Bonnet Drive. Larkin Road will be improved with a right turn lane, a left merge lane, and an eastbound by-pass lane at the site entrance. Blue Bonnet Drive North extends approximately halfway through the site ending in a temporary cul-de-sac. Blue Bonnet Drive North will be serving all five of the proposed buildings will full access. No driveways are proposed to access directly off Larkin Road. The north building will have an emergency vehicle access to/from County Road 10/50. We understand that the city eventually will extend Blue Bonnet Drive North to connect to County Road 10/50 farther west of this property. The preliminary plan provides the right-of-way dedication for the Blue Bonnet Drive North to be connected to the property line at the northwest of

this site. A temporary cul-de-sac meeting city standard will be installed at the end of the temporary end of the street. Temporary easements will be provided around the temporary cul-de-sac until it is extended.

This site is constrained by the existence of high-pressure natural gas pipeline running east/west across the southern part of the site approximately 369 feet from Larkin Road. Our discussion with Northern Natural Gas, we learned that they do not support relocating the line and any request to move it will be cost prohibitive. The gas main runs parallel to Larkin Road location which severely restricts the widths of the two (A & B) buildings that are next to Larkin Road. Fronting the buildings along Larkin Road with the loading docks located on the north side of the building places the gas line easement just off the back loading area of the southerly buildings. Northern Natural Gas has informed us that we are extremely limited on changing the existing ground elevation within the 50 foot gas easement. In order to construct the loading docks parallel to the gas main, we will need to build retaining walls to support the adjacent loading area and parking lots. Per the city's request we are also providing a five (5) foot drainage and utility easement on each side of the 50 foot pipeline easement resulting in a 60 foot overall easement.

We are incorporating the flexibility of the PUD to use a 20 foot parking setback from the public rights-of-ways on Larkin Road and Blue Bonnet Drive North. The typical 50 foot front parking setback results in a building width that cannot support an industry standard building with loading docks and required employee parking. The building setbacks will meet the I-1 zoning typical requirements. The plan providing enhancement landscaping along Larkin Road and Blue Bonnet Drive North to provide a visual buffer to the public roads.

We plan on a phased approach for the development of the site. Phasing the site will help to distribute the upfront costs and carry a reasonable amount of site improvement costs. We plan to build Building B (southeast lot) first with enough of Blue Bonnet Drive North built to service Building B and Building A. In addition, we will extend the existing sewer and water line to the south of the site as needed. We propose to commit to constructing Building B as soon as possible while marketing the Building A site as a build to suit for a light industrial company. **Based on current market demands, it is anticipated that the overall development should be completed by end of 2028.**

## Corcoran Farms Parking Narrative

The proposed site plan is anticipated to be a highly successful plan that will accommodate the largest variety of industrial companies in the near future and for many years to come. Many of the industrial parks that have been built across the Twin Cities are consistently near full occupancy today in part due to a very strong industrial market of only 3.5% vacancy, but also due to their design which incorporates building depths and parking ratios very similar to what is proposed at Corcoran Farms. An example of successful design is Plymouth Ponds in Plymouth a 700,000 square foot industrial park built on 60.05 acres, the park has been consistently fully leased over it's time, and design has helped it succeed.

The land at Corcoran Farms has unique challenges that heavily influenced the outcome of the buildings that are being presented and planned. First, the natural gas pipeline that hugs the west property line and then cuts across the entire site from west to east, defined the depth of the sites south of this easement. Second, the required alignment of Blue Bonnet Drive created a north south definition of the road which created a limit to the width of Buildings A and D, which resulted in the depth and width of Building C. The 4 southerly buildings (A-D) fit in the southern main rectangle of the site so that the land is fully utilized. Site E to the north is also designed to create an optimal fit for the shape of the land that is buildable while preserving the wetlands and the significant slopes that drop to them.

Ed Farr Architects, our architect for the project, has designed numerous industrial parks over the years and is currently working on several new parks around the Twin Cities, and Ed feels the optimal ratio of parking stalls per 1,000 square feet of space is 1.5 stalls.

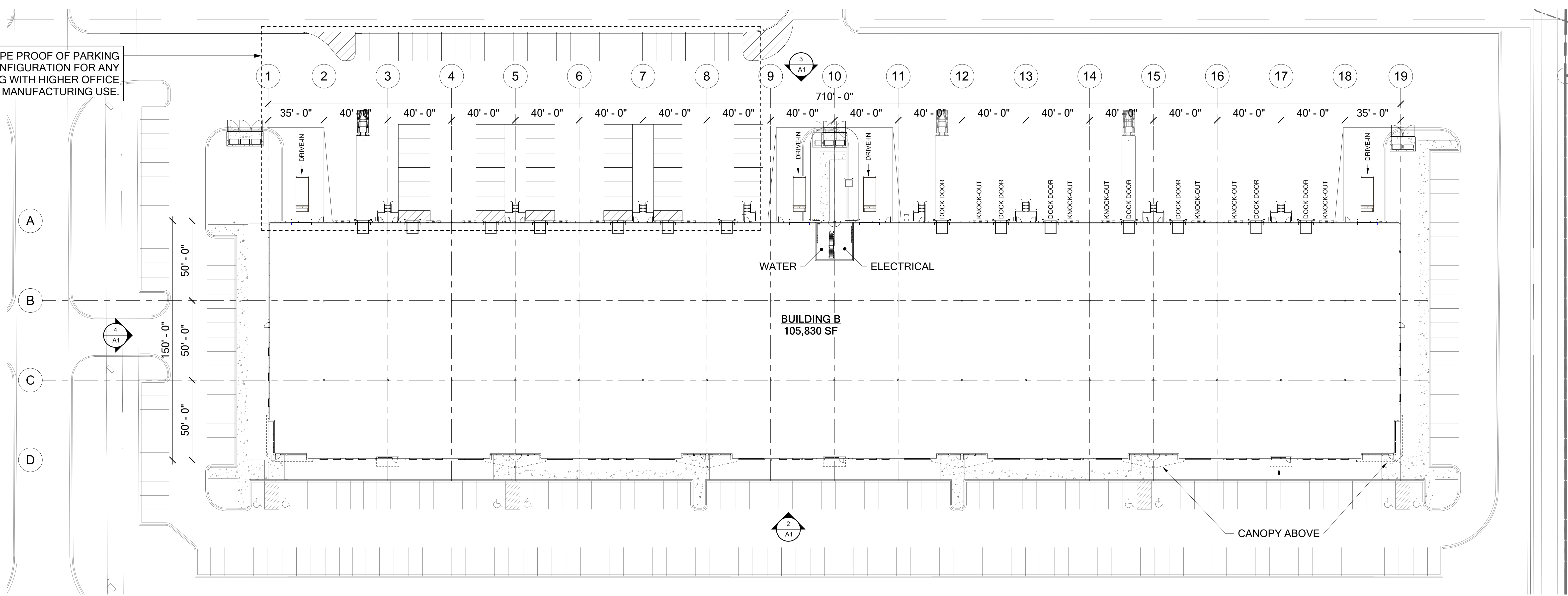
All buildings shown on the revised plans meet or exceed 20% office ratios and are improved over the earlier design. Buildings A-D ratios range from 23.6% up to 27%.

Buildings A and B as conceptually drawn for this PUD are at 2.1/1000 which is well in excess of the standard, Building C is 1.8/1,000, Building D is 1.9/1,000, and Building E is at 1.56/1,000. We are also showing an example of how a building can be modified to support a company that may need 50% office finish or greater (see included attachment). These types of companies represent a small sub-set of users, and they need very little shipping access and by reducing the back areas for trucks and replacing it with parking, this has proven to be a solution at other business parks.

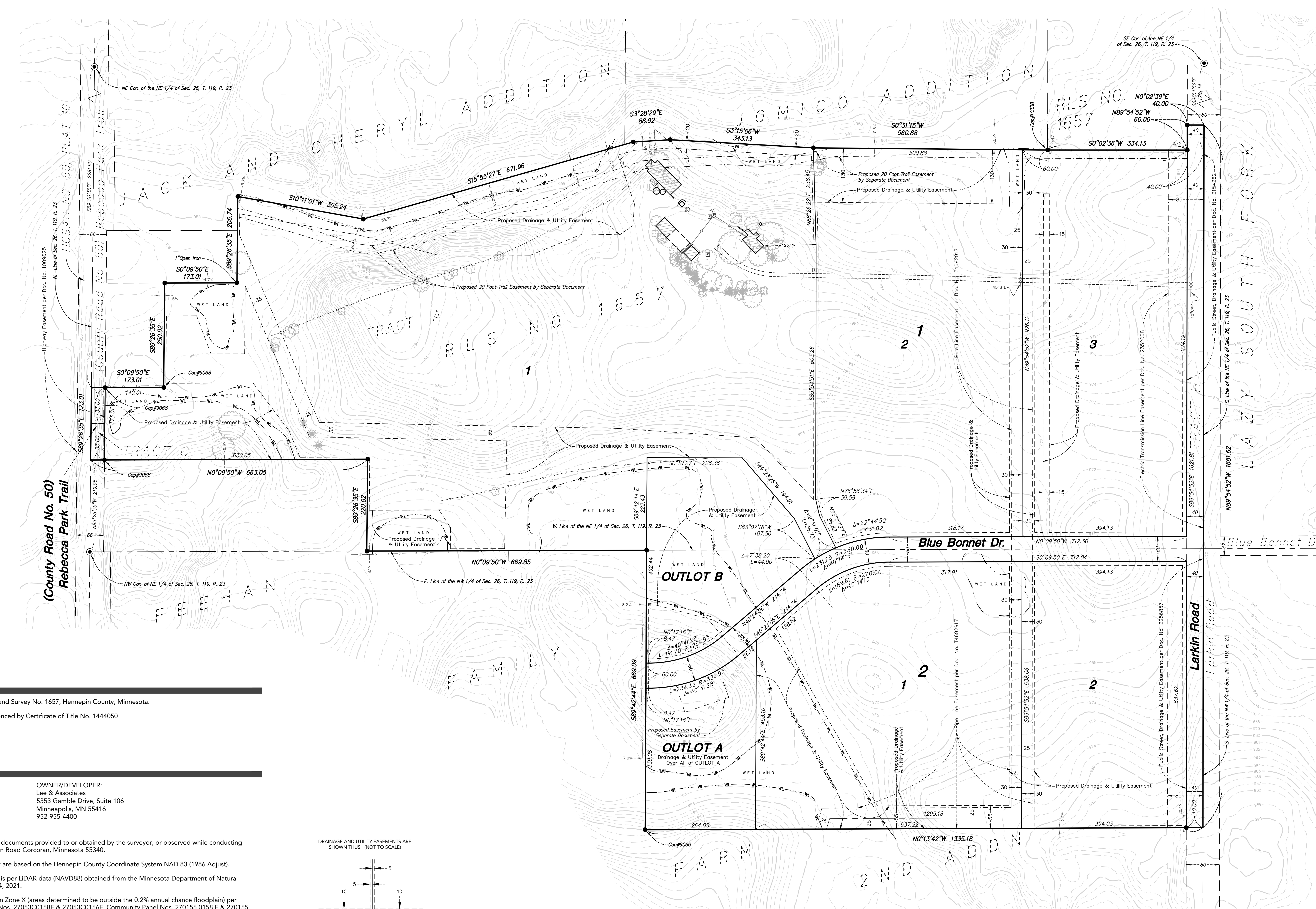
Designing buildings the way we have designed Corcoran Farms will be the most successful, as compared to designing to accommodate only one subset of the market such as high tech or medical manufacturing which are classified as "office showroom", and offer larger parking fields but lose functionality due to their shallow building depths, will only serve that one segment and therefore, is not a highest and best use of the property.

In summary, the buildings are designed with parking and other features to offer flexibility to accommodate higher finish users if needed, and will be highly desirable to the widest variety of companies across the market spectrum so that they fill faster, stay occupied longer, and prove to be a great asset to the City of Corcoran long term.

PROTOTYPE PROOF OF PARKING CONFIGURATION FOR ANY BUILDING WITH HIGHER OFFICE OR MANUFACTURING USE.







**LEGAL DESCRIPTION**

Tracts A, C and H, Registered Land Survey No. 1657, Hennepin County, Minnesota.  
Being registered land as is evidenced by Certificate of Title No. 1444050  
Torrens Property

**GENERAL NOTES**

- SURVEYOR:**  
Loucks  
7200 Hemlock Lane, Suite 300  
Maple Grove, MN 55330  
763-424-5505
- OWNER/DEVELOPER:**  
Lee & Associates  
5353 Gamble Drive, Suite 106  
Minneapolis, MN 55416  
952-955-4400
- Prepared July 15, 2022.
  - The address, if disclosed in documents provided to or obtained by the surveyor, or observed while conducting the fieldwork is 20130 Larkin Road Corcoran, Minnesota 55340.
  - The bearings for this survey are based on the Hennepin County Coordinate System NAD 83 (1986 Adjust).
  - Topography shown hereon is per LIDAR data (NAVD88) obtained from the Minnesota Department of Natural Resources on September 24, 2021.
  - This property is contained in Zone X (areas determined to be outside the 0.2% annual chance floodplain) per Flood Insurance Rate Map Nos. 27053C0158F & 27053C0156F, Community Panel Nos. 270155 0156 F & 270155 0156 F, respectively, effective date of November 4, 2016.
  - The field work was completed on August 19, 2021.

**SITE DATA**

**Overall Areas:**

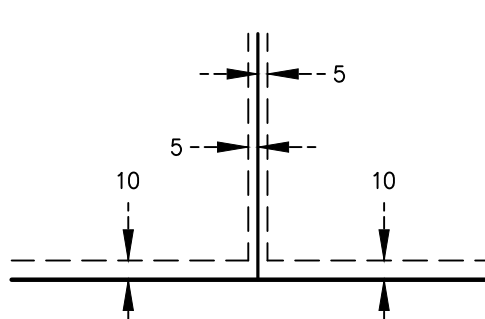
County Road No. 50	= 5,709 +/- square feet or 0.13 +/- acres
Larkin Road	= 67,268 +/- square feet or 1.54 +/- acres
Blue Bonnet Dr.	= 83,217 +/- square feet or 1.91 +/- acres
Total Right of Way Dedication	= 156,194 +/- square feet or 3.58 +/- acres

**Lot Areas:**

Lot 1, Block 1	= 1,349,548 +/- square feet or 31.01 +/- acres
Lot 2, Block 1	= 459,710 +/- square feet or 10.55 +/- acres
Lot 3, Block 1	= 364,546 +/- square feet or 8.36 +/- acres
Lot 1, Block 2	= 384,656 +/- square feet or 8.83 +/- acres
Lot 2, Block 2	= 251,389 +/- square feet or 5.77 +/- acres
Outlot A	= 98,794 +/- square feet or 2.28 +/- acres
Outlot B	= 141,114 +/- square feet or 3.07 +/- acres

**Total Property** = 3,064,837 +/- square feet or 70.36 +/- acres  
**Net Property** = 2,908,643 +/- square feet or 66.78 +/- acres

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS: (NOT TO SCALE)



BEING 5 FEET IN WIDTH, UNLESS OTHERWISE INDICATED AND ADJOINING LOT LINES, AND BEING 10 FEET IN WIDTH, UNLESS OTHERWISE INDICATED, AND ADJOINING RIGHT-OF-WAY LINES, AS SHOWN ON THE PLAN.

**ZONING INFORMATION**

Zoning: BP (Business Park)

Minimum lot area	1 acre
Minimum lot width	100 feet
Minimum lot depth	200 feet
<b>Minimum Principal Structure Setbacks:</b>	
Front, From Major Roadways*	100 feet
Front, From all other streets	50 feet
Side	20 feet
Rear	20 feet
Adjacent to Residential	50 feet
Maximum Principal Building Height	45 feet
Maximum Impervious Surface Coverage	70%

**LEGEND**

- FOUND 1/2 INCH OPEN IRON MONUMENT UNLESS SHOWN OTHERWISE
- SET 1/2 INCH X 1/4 INCH IRON MONUMENT, MARKED "LS 33442"
- FOUND HENNEPIN COUNTY CAST IRON MONUMENT
- ▣ ELECTRIC TRANSFORMER
- ▢ FLARED END SECTION
- ▣ FUEL TANK/PUMP
- ▣ GUARD POST
- GUY WIRE
- ⊕ MAILBOX
- ⊕ MONITORING WELL
- ⊕ POWER POLE
- ⊕ SERVICE CLEANOUT
- ⊕ SIGN
- ▣ TELEPHONE PEDESTAL
- ⊕ UTILITY MANHOLE
- YARD LIGHT
- STORM SEWER
- OVERHEAD UTILITY
- BARBED WIRE FENCE
- CHAIN LINK FENCE
- SPLIT RAIL FENCE
- WATER LINE
- WETLAND AS DELINEATED BY KJOLHAUG ON AUGUST 26, 2021.
- RETAINING WALL
- CONCRETE
- PAVERS
- EXISTING BUILDING
- CONTOUR

**CADD QUALIFICATION**

CADD files prepared by the Consultant for this project are prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

**SUBMITTAL/REVISIONS**

07/15/22 SURVEY ISSUED

**PROFESSIONAL SIGNATURE**

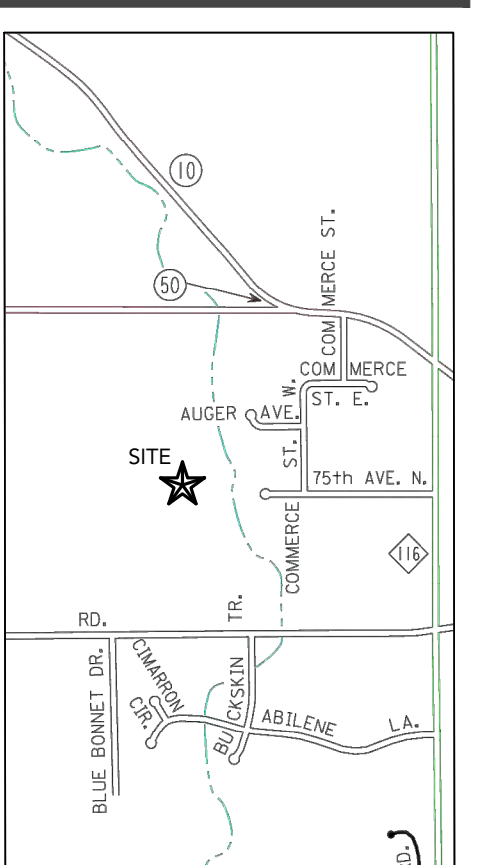
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

License No. 53642  
Date 07/15/22

**QUALITY CONTROL**

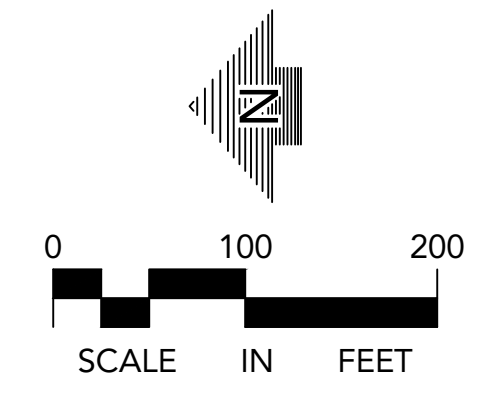
Loucks Project No. 21442  
Project Lead JJA  
Drawn By KMM  
Checked By JJA  
Field Crew CMS

**VICINITY MAP**



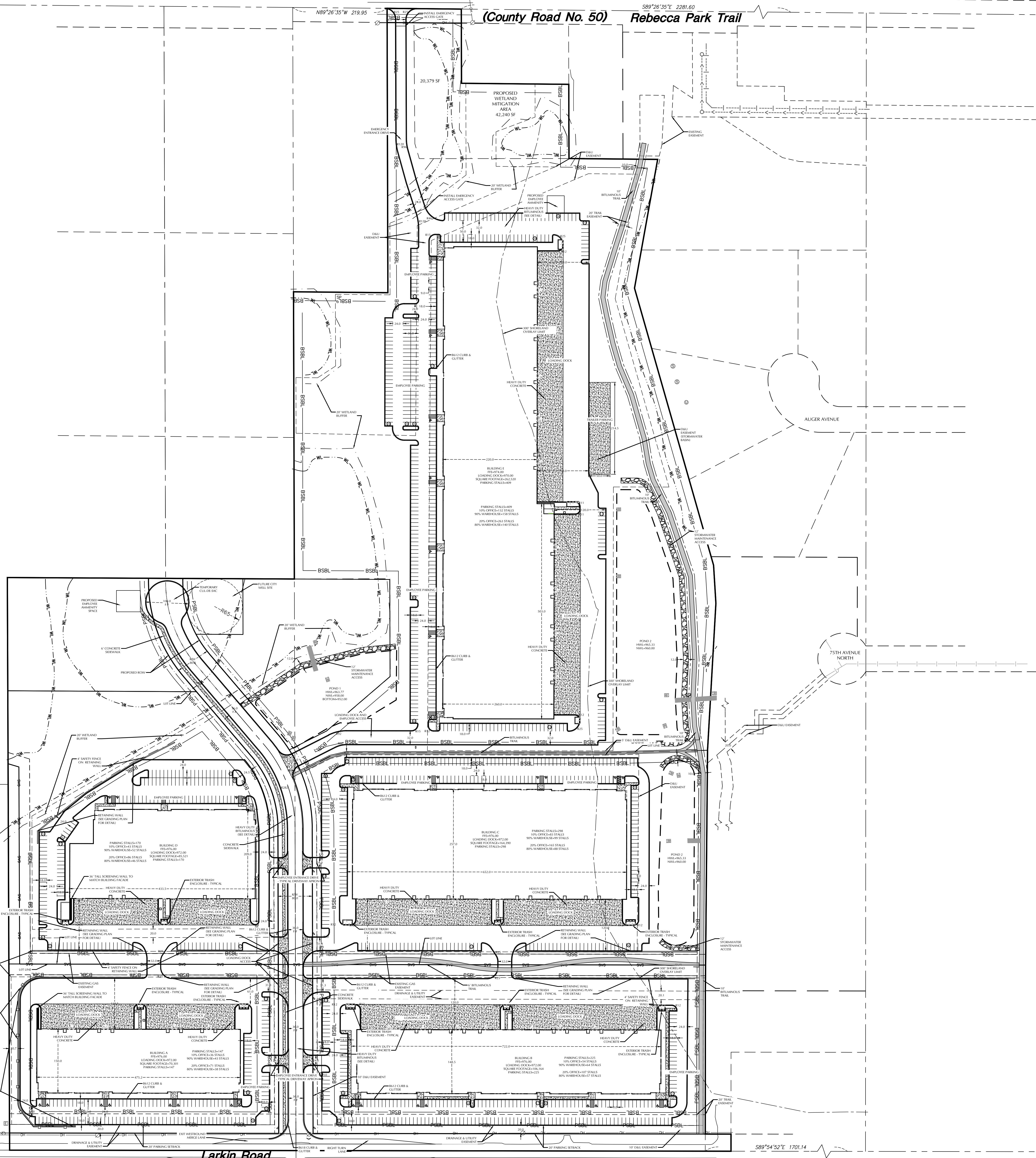
**PRELIMINARY PLAT**

**C1.0**





(County Road No. 50) Rebecca Park Trail



SITE DATA

ZONING:	PUD
PROPERTY AREA:	70.36 AC
DISTURBED AREA:	36.89 AC
EXISTING IMPERVIOUS AREA:	7.205 AC (10.20%)
EXISTING IMPERVIOUS AREA:	1.024 AC (1.45%)
(EXCLUDING WETLANDS)	
PROPOSED IMPERVIOUS AREA:	52.041 AC (73.96%)
PROPOSED IMPERVIOUS AREA:	41.538 AC (57.62%)
(EXCLUDING WETLANDS & PONDS)	

PAVEMENT TYPES

	CONCRETE PAVEMENTS
	HEAVY DUTY CONCRETE PAVEMENT
	HEAVY DUTY BITUMINOUS PAVEMENT

NOTE: SEE PAVEMENT SECTIONS ON SHEET C8.1 FOR TYPE AND DEPTH INFORMATION.

CIVIL LEGEND

EXISTING	PROPOSED

SITE NOTES

- ALL PAVING, AND CONCRETE SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN PER THE DETAIL SHEETS) AND STATE/LOCAL JURISDICTION REQUIREMENTS.
- ACCESSIBLE PARKING AND ACCESSIBLE ROUTES SHALL BE PROVIDED PER CURRENT ADA STANDARDS AND LOCAL/STATE REQUIREMENTS.
- ALL BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF WALL UNLESS OTHERWISE NOTED.
- SEE SITE ELECTRICAL PLAN FOR SITE LIGHTING.

GENERAL NOTES

- MINNESOTA STATE STATUTE REQUIRES NOTIFICATION PER "GOPHER STATE ONE CALL" PRIOR TO COMMENCING ANY GRADING, EXCAVATION OR UNDERGROUND WORK.
- THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM THE PLANS.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASE OF THIS PROJECT. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DAMAGES TO ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASE OF THIS PROJECT.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE APPROPRIATE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARDS.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- THE DUTY OF THE ENGINEER OR THE DEVELOPER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTORS PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTORS SAFETY MEASURES IN, OR NEAR THE CONSTRUCTION SITE.
- BEFORE BEGINNING CONSTRUCTION THE CONTRACTOR SHALL INSTALL EROSION AND SEDIMENTATION CONTROL MEASURES IN ACCORDANCE WITH NPDES PERMIT REQUIREMENTS, BEST MANAGEMENT PRACTICES, STATE AND LOCAL REQUIREMENTS AND THE DETAILS SHOWN ON THE DETAIL SHEETS(S) OF THE PROJECT PLANS.
- ALL CONSTRUCTION PERMITS, APPLICATIONS AND FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL ENTRANCES AND CONNECTIONS TO CITY STREETS SHALL BE CONSTRUCTED PER THE REQUIREMENTS OF THE STATE AND LOCAL JURISDICTIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS AND NOTIFICATIONS AS REQUIRED.
- SUBGRADE PREPARATION SHALL BE PERFORMED IN ACCORDANCE WITH MNDOT 211.2. THE TOP 3 FEET SHALL BE COMPACTED TO 100% OF THE STANDARD PROCTOR DENSITY.
- AGGREGATE BASE SHALL BE MNDOT 221.1 CLASS 5. COMPACTION SHALL BE BY THE QUALITY COMPACTION METHOD.

CORCORAN FARMS BUSINESS PARK CORCORAN, MN

LEE & ASSOCIATES

5353 GAMBLE DRIVE, SUITE 106 MINNEAPOLIS, MN 55416

LOUCKS CIVIL ENGINEERING LAND SURVEYING LANDSCAPE ARCHITECTURE ENVIRONMENTAL 7200 Hemlock Lane, Suite 300 Maple Grove, MN 55369 763.424.5505 www.louckscinc.com

CADD QUALIFICATION

CADD files prepared by the Consultant for this project are the property of the Consultant and shall not be used for any other project without the written approval of the Consultant. The Consultant's approval, either may be permitted to obtain copies of the CADD files for information and reference only. All drawings or information, additions, or deletions to these CADD files shall be made at the full risk of the user and the user shall be held responsible for any and all consequences, claims, and liabilities.

SUBMITTALS/REVISIONS

07/19/22 PRELIM PLAT APPLICATION 08/30/22 PRELIM PLAT RESUBMITTAL

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.

License No. 19624 Date 12/18/20 Project No. 21442 Project Lead JAS Drawn By JOK Checked By JAS Review Date 12/18/20

SHEET INDEX

SEE TITLE SHEET

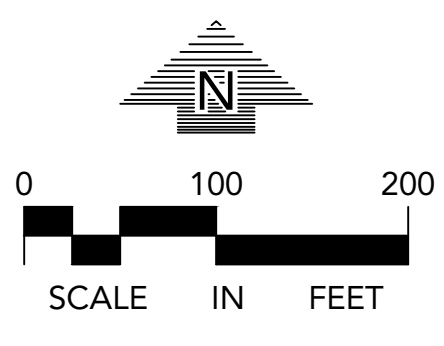
OVERALL SITE PLAN C2-1



CALL BEFORE YOU DIG! Gopher State One Call TWIN CITY AREA: 651-454-0802 TOLL FREE: 1-800-252-1166

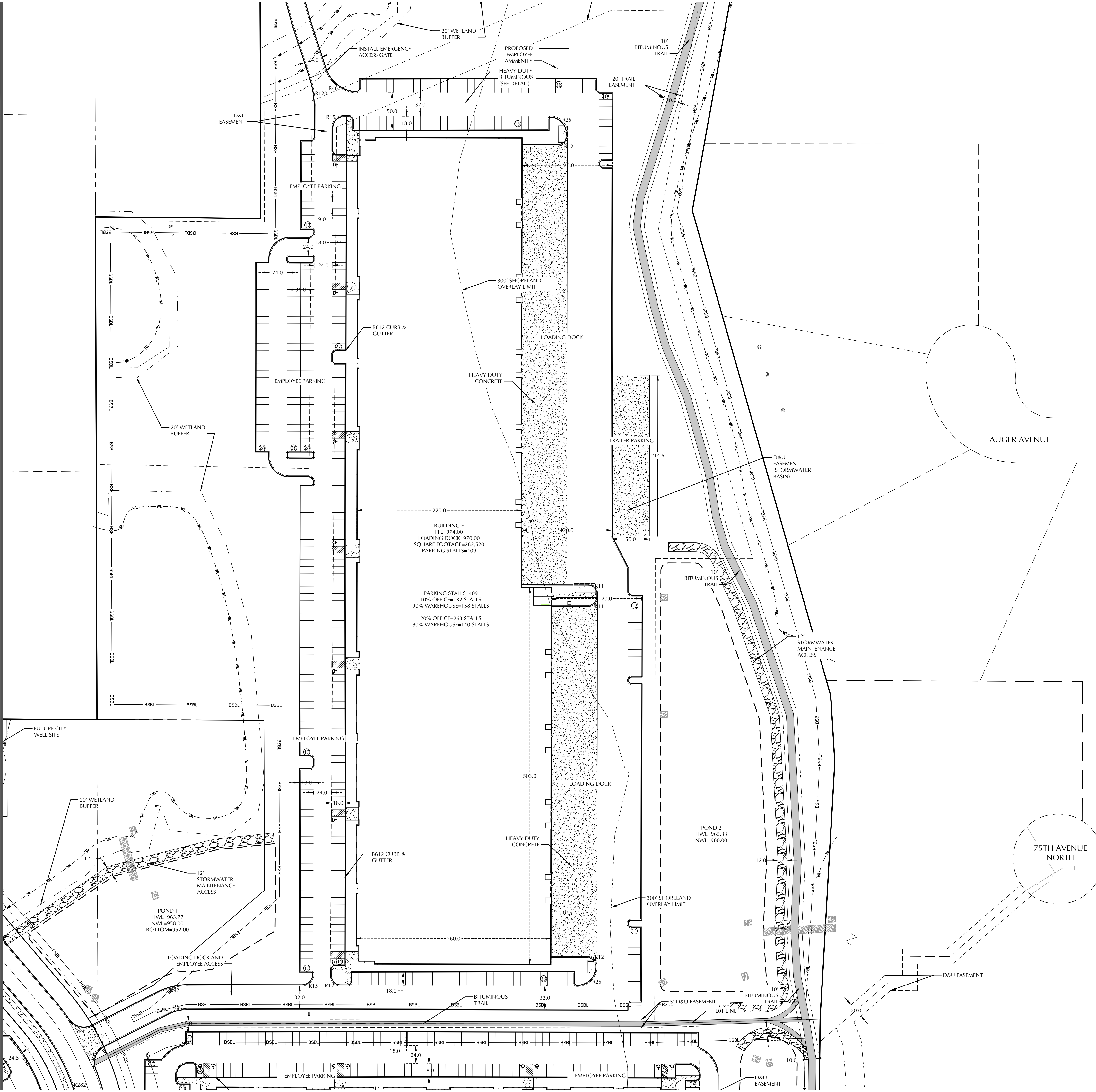
WARNING: THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0802 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.





EXISTING	PROPOSED



**CADD QUALIFICATION**

CADD files prepared by the Consultant for this project are prepared by the Consultant professional services for use solely with respect to this project. These CADD files shall not be used on other projects, for additions to this project, or for completion of this project by others without written approval by the Consultant. With the Consultant's approval, others may be permitted to obtain copies of the CADD drawing files for information and reference only. All intended or unintended revisions, additions, or deletions to these CADD files shall be made at the full risk of the party making such revisions, additions or deletions and the party shall hold harmless and indemnify the Consultant from any & all responsibilities, claims, and liabilities.

**SUBMITTAL/REVISIONS**

07/19/22 PRELIM PLAT APPLICATION  
08/30/22 PRELIM PLAT RESUBMITTAL

**PROFESSIONAL SIGNATURE**

I hereby certify that this plan, specification, or report prepared by me or under my direct supervision and in accordance with the laws of the State of Minnesota.

License No. 19624  
Date 12/18/20

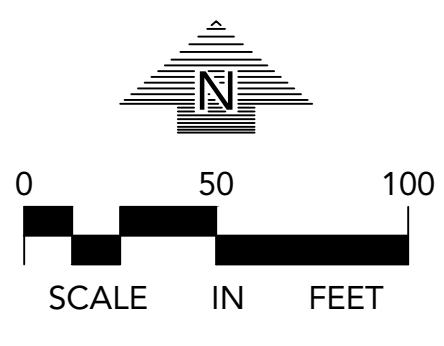
**QUALITY CONTROL**

Project No. 21442  
Project Lead JAS  
Drawn By JDK  
Checked By JAS  
Review Date 12/18/20

**SHEET INDEX**

SEE TITLE SHEET

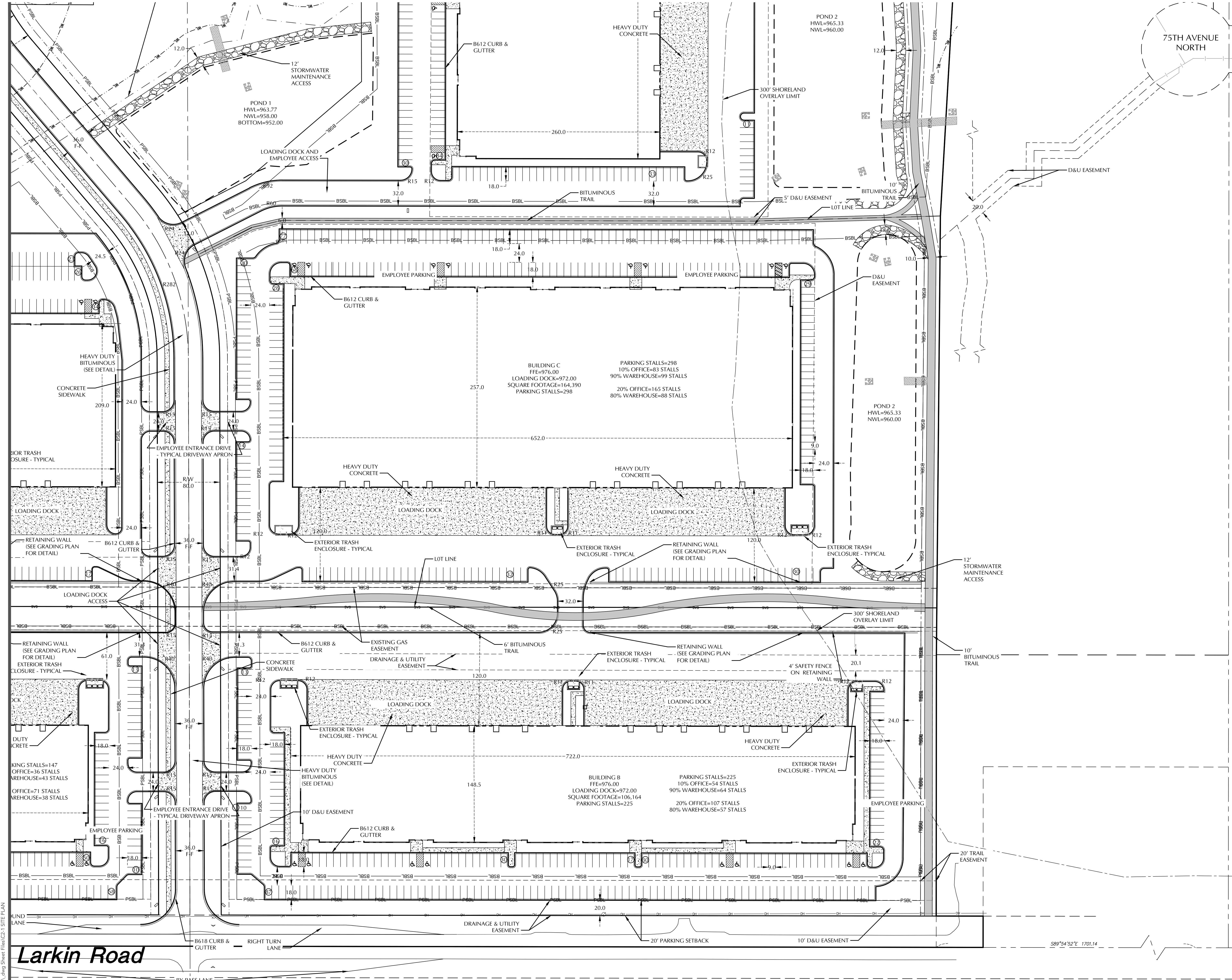
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Revised: 08/01/2022 2:35 AM W:\2021\142\CADD\DATA\CIVIL\_dwg\_Sheet Final\C2-1 SITE PLAN



EXISTING	PROPOSED



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**SUBMITTALS/REVISIONS**  
07/19/22 PRELIM PLAT APPLICATION  
08/30/22 PRELIM PLAT RESUBMITTAL

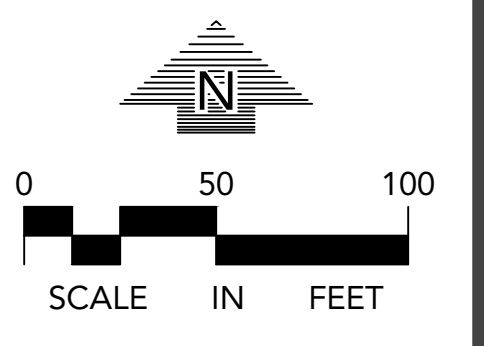
**PROFESSIONAL SIGNATURE**  
I hereby certify that this plan, report, or other document prepared by me or under my direct supervision and control is a study of the project and complies with the laws of the State of Minnesota.

License No. 19624  
Date 12/18/20

**QUALITY CONTROL**  
Loucks Project No. 21442  
Project Lead JAS  
Drawn By JJK  
Checked By JAS  
Review Date 12/18/20

**SHEET INDEX**  
SEE TITLE SHEET

**NOT FOR CONSTRUCTION**



Plotted: 08/31/2022 7:35 AM W:\2021\142\CADD\DATA\CIVIL\Job\_Sheet\_Files\C2-3 SITE PLAN



EXISTING	PROPOSED

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**SUBMITTAL/REVISIONS**

07/19/22 PRELIM PLAT APPLICATION  
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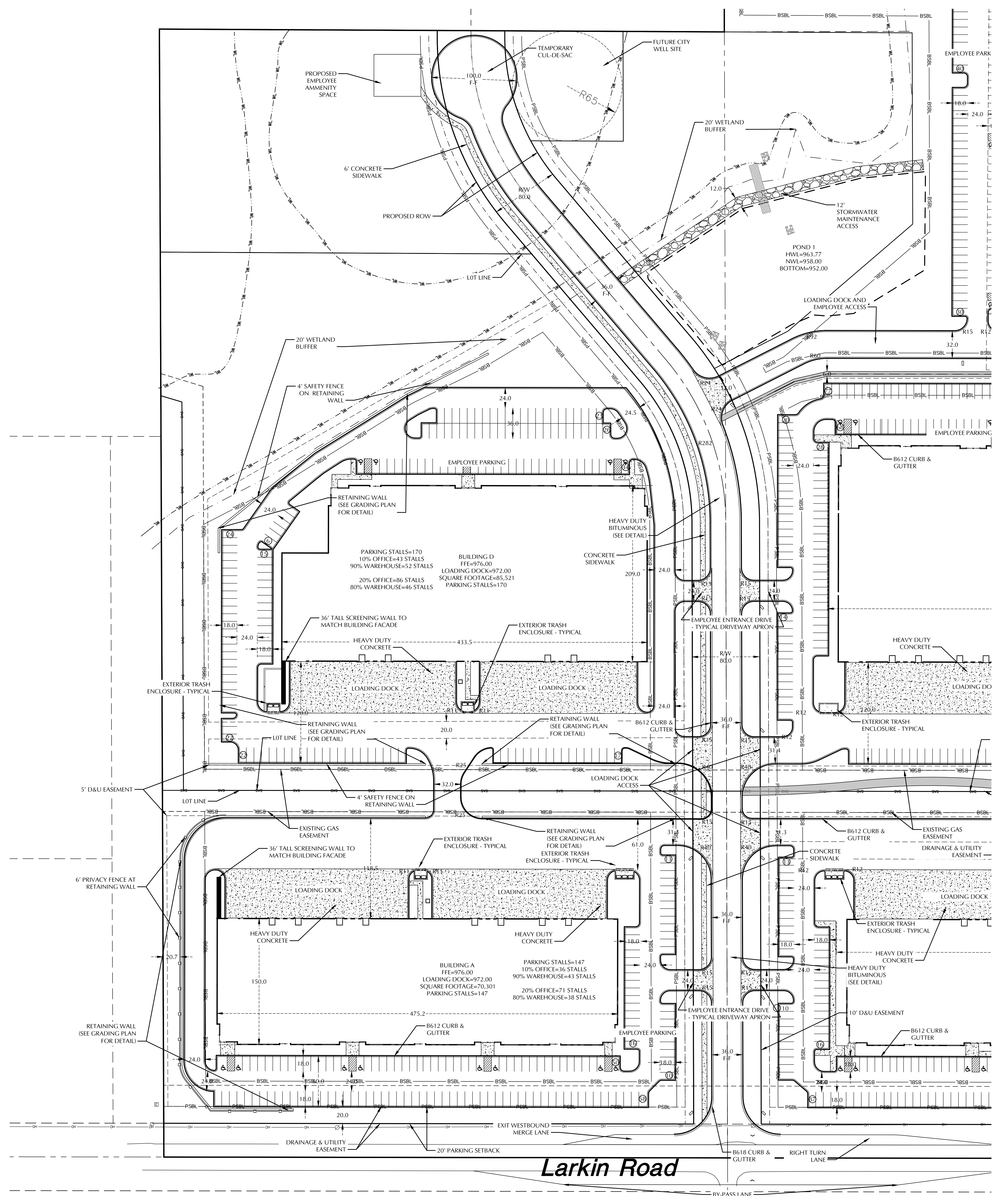
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Date 12/18/20

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Loucks Project No. 21442  
Project Lead JAS  
Drawn By JJK  
Checked By JAS  
Review Date 12/18/20

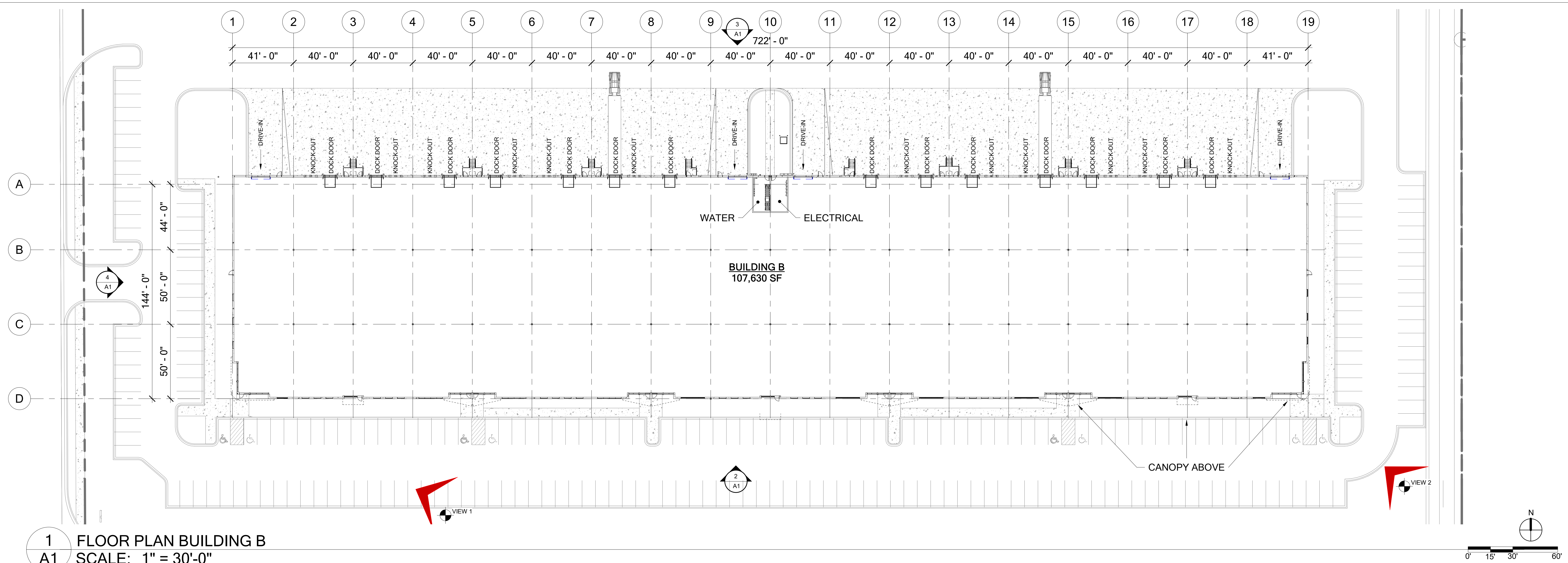
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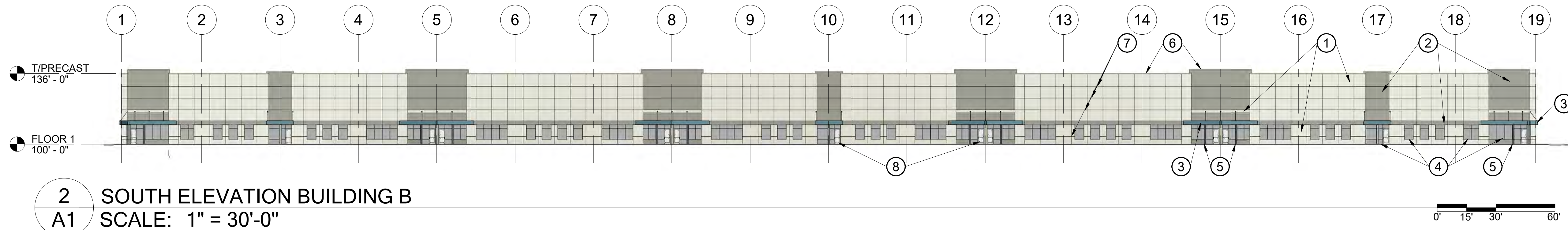
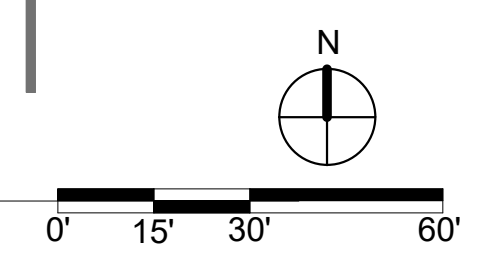


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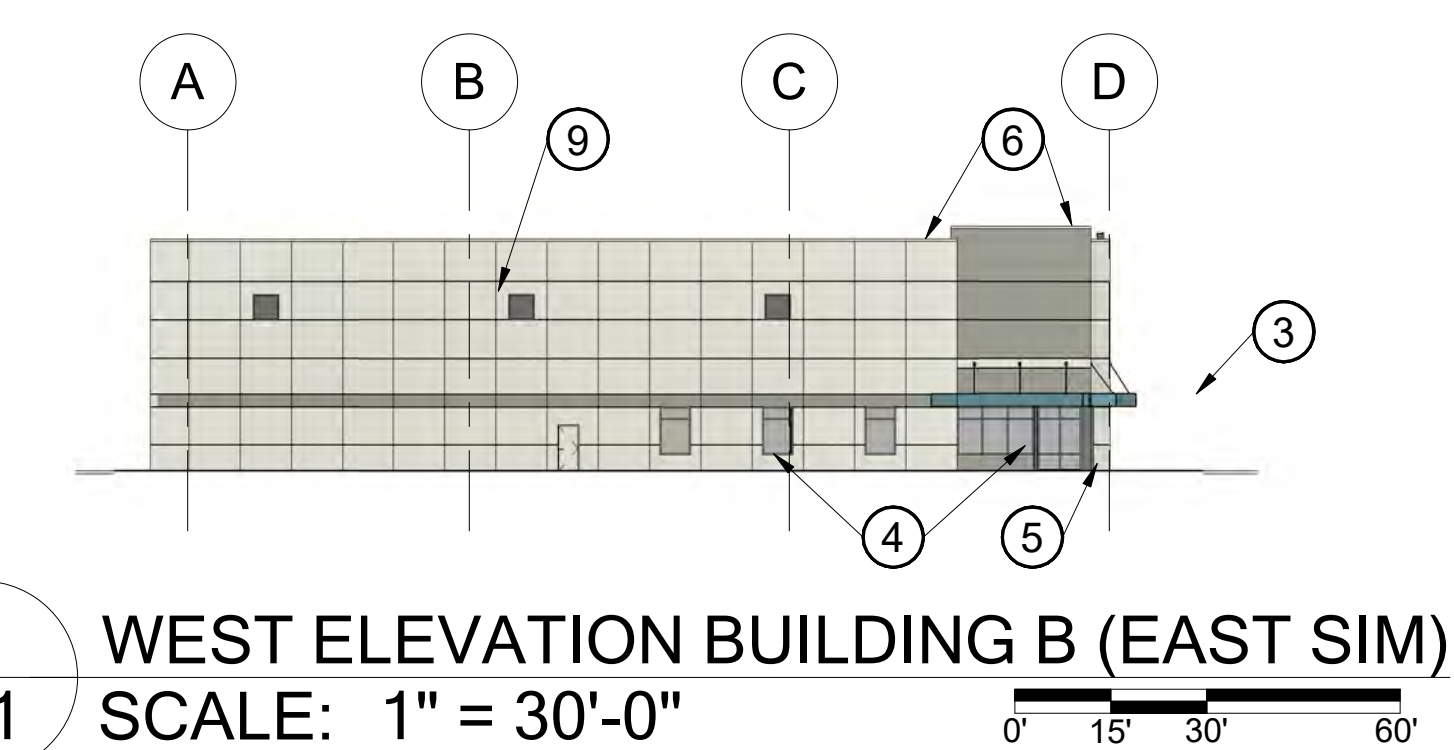




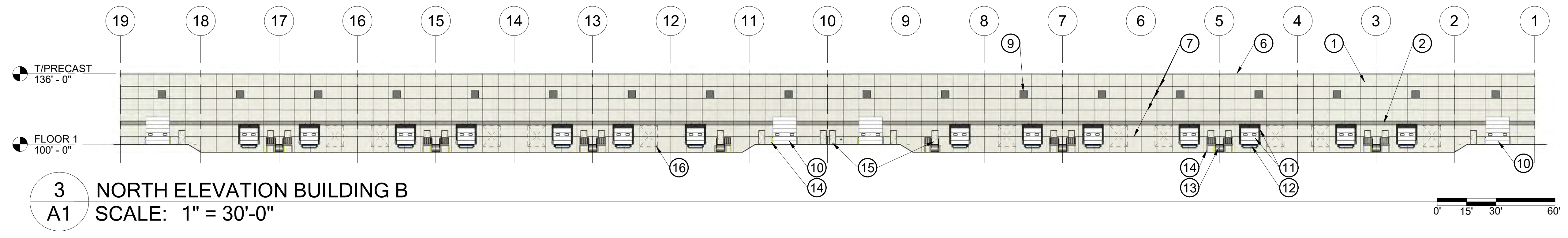
**1 FLOOR PLAN BUILDING B**  
A1 SCALE: 1" = 30'-0"



**2 SOUTH ELEVATION BUILDING B**  
A1 SCALE: 1" = 30'-0"



**4 WEST ELEVATION BUILDING B (EAST SIM)**  
A1 SCALE: 1" = 30'-0"



**3 NORTH ELEVATION BUILDING B**  
A1 SCALE: 1" = 30'-0"

**ELEVATION NOTES**

- 1 PRECAST PANELS SMOOTH PAINTED - OFF WHITE
- 2 PRECAST PANELS SMOOTH PAINTED - MEDIUM GRAY
- 3 METAL CANOPY
- 4 ALUMINUM STOREFRONT FRAMING
- 5 DOWNSPOUT
- 6 PREFINISHED METAL COPING
- 7 REVEALS
- 8 ALUMINUM GLASS ENTRY DOORS

**ELEVATION NOTES**

- 9 CLERESTORY WINDOW
- 10 12' x 14' SECTIONAL DRIVE-IN DOOR
- 11 9' x 10' SECTIONAL DOCK DOOR WITH DOCK SEAL
- 12 DOCK LEVELER
- 13 METAL DOCK STAIRS
- 14 BOLLARD
- 15 HOLLOW METAL DOOR AND FRAME
- 16 KNOCK-OUT PANEL



**VIEW 1 - PARK ENTRANCE BETWEEN BUILDINGS A AND B**



**VIEW 2 - BUILDING B SOUTHEAST CORNER**



**Client**  
 Lee & Associates  
 5335 Gamble Dr.,  
 Suite 106  
 Minneapolis, MN 55416

**Project**  
 Corcoran Farms  
 Business Park  
 Building B

**Location**  
 Corcoran, MN

**Issued For** \_\_\_\_\_ **Date** \_\_\_\_\_  
 BID \_\_\_\_\_ 07/19/2022

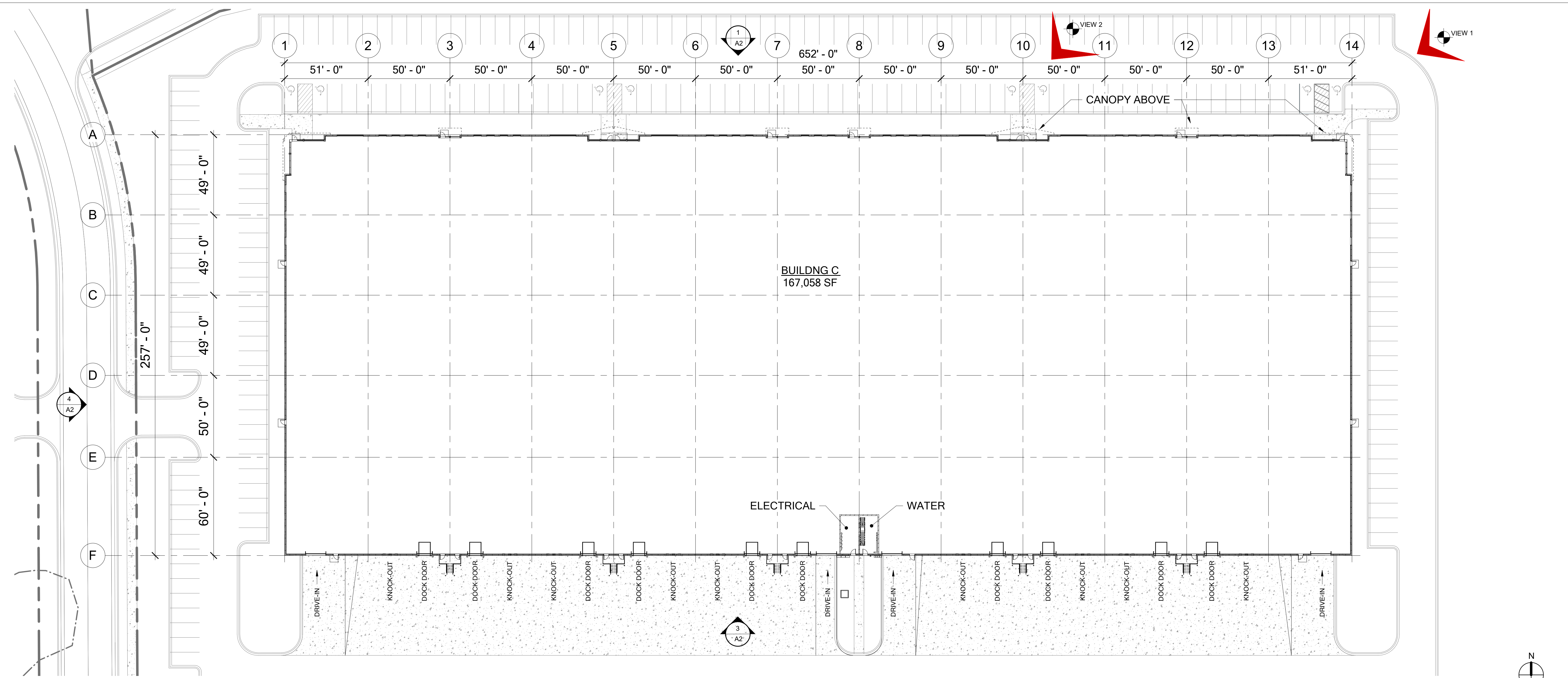
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 Building B

**Project Number** \_\_\_\_\_ **Sheet Number** \_\_\_\_\_  
 22.054 A1

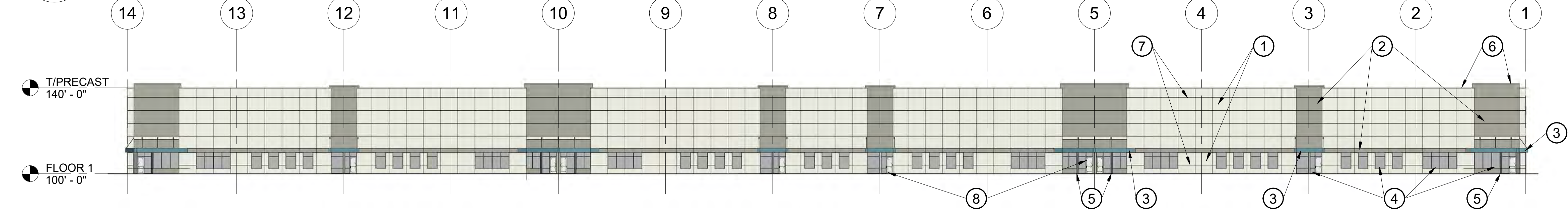


I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota

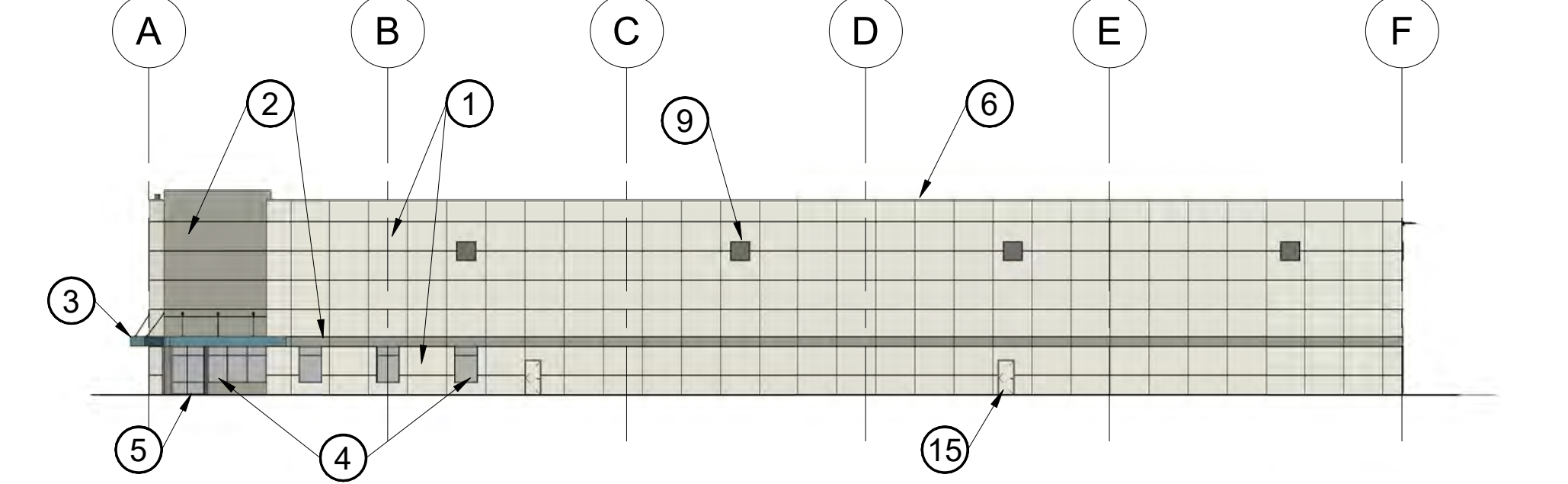
Edward A. Farr  
 Date: \_\_\_\_\_ Reg. No. 16362  
 Project Manager  
 EAF  
 ©COPYRIGHT 2022



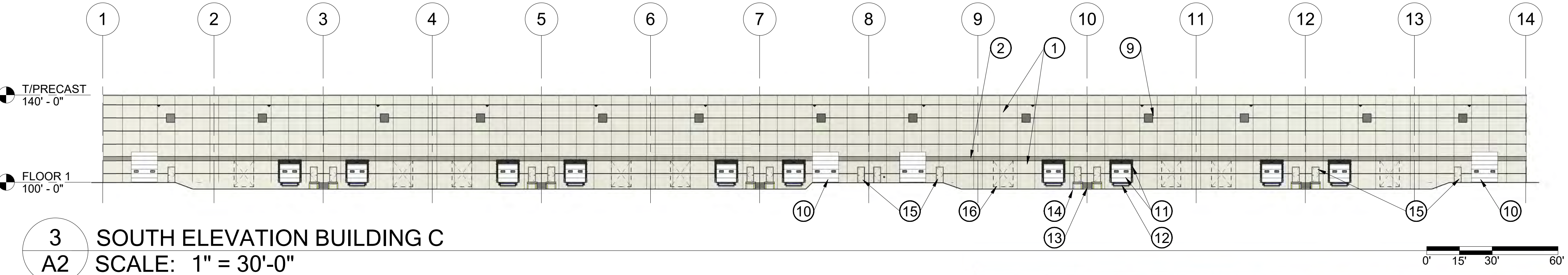
2 FLOOR PLAN BUILDING C  
 A2 SCALE: 1" = 30'-0"



1 NORTH ELEVATION BUILDING C  
 A2 SCALE: 1" = 30'-0"



4 WEST ELEVATION BUILDING C (EAST SIM)  
 A2 SCALE: 1" = 30'-0"



3 SOUTH ELEVATION BUILDING C  
 A2 SCALE: 1" = 30'-0"

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- 13 METAL DOCK STAIRS
- 14 BOLLARD
- 15 HOLLOW METAL DOOR AND FRAME
- 16 KNOCK-OUT PANEL



VIEW 1 - BUILDING C TENANT ENTRY



VIEW 2 - BUILDING C NORTHEAST CORNER

**EDWARD FARR ARCHITECTS INC**  
 7710 Golden Triangle Drive Eden Prairie, Minnesota 55344 Tel: 952.943.9660 www.edfarrarch.com

Client  
 Lee & Associates  
 5335 Gamble Dr,  
 Suite 106  
 Minneapolis, MN 55416  
 Project  
 Corcoran Farms  
 Business Park  
 Building C

Location  
 Corcoran, MN

Issued For: \_\_\_\_\_ Date: 07/19/2022  
 BID: \_\_\_\_\_

Sheet Title  
 Building C

Project Number: 22.055 Sheet Number: A2

7/19/2022 1:13:51 PM



**CADD QUALIFICATION**

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**SUBMITTAL/REVISIONS**

07/19/22 PRELIM PLAT APPLICATION

**PROFESSIONAL SIGNATURE**

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.

License No. LA 24610

Date 07/15/22

**QUALITY CONTROL**

Project No. 21442

Project Lead JAS

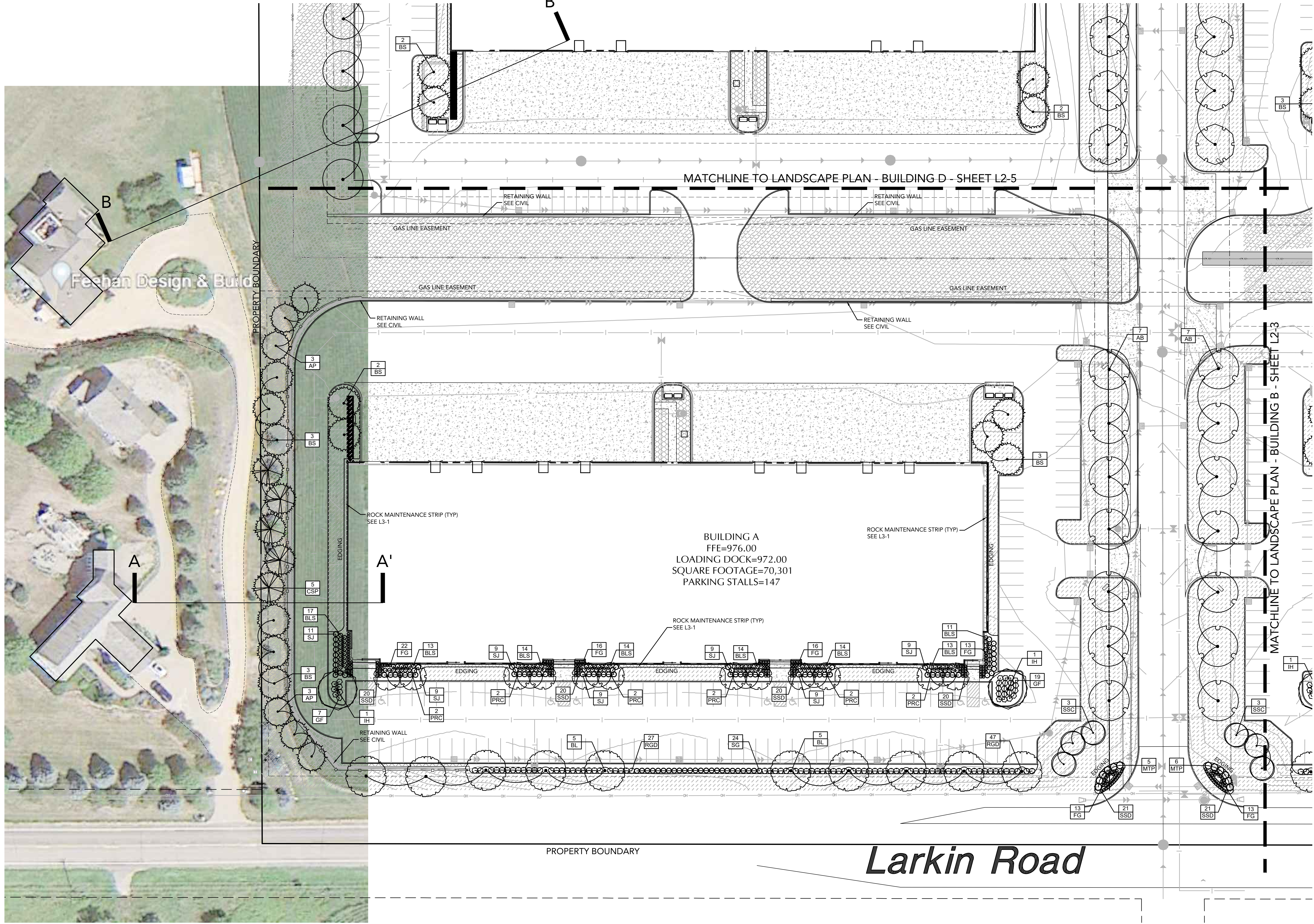
Drawn By GAJ

Checked By JAS

Review Date 07/15/22

**SHEET INDEX**

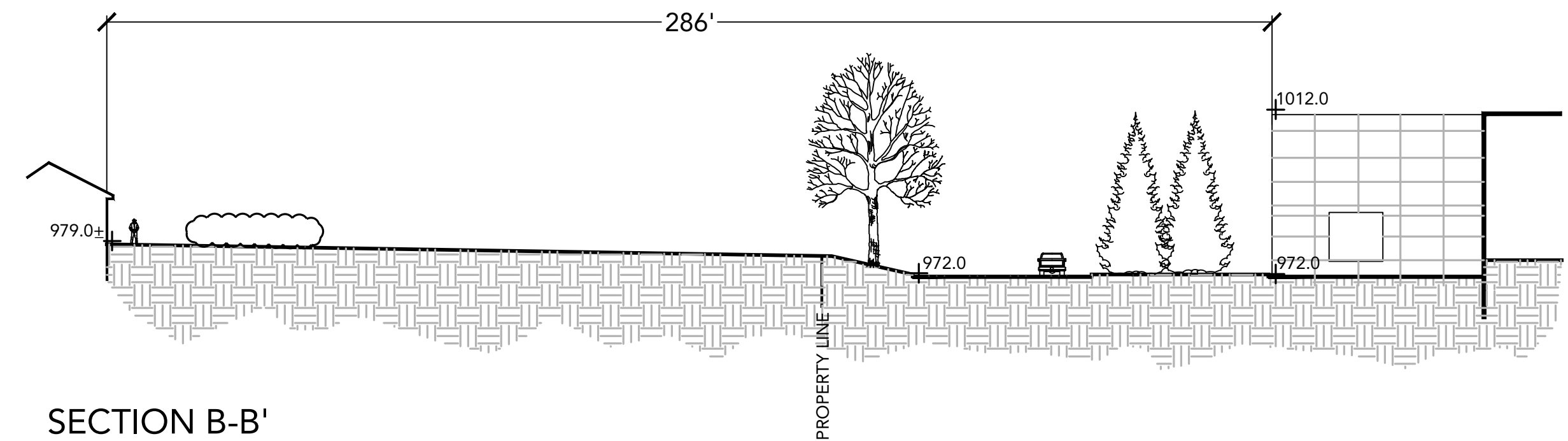
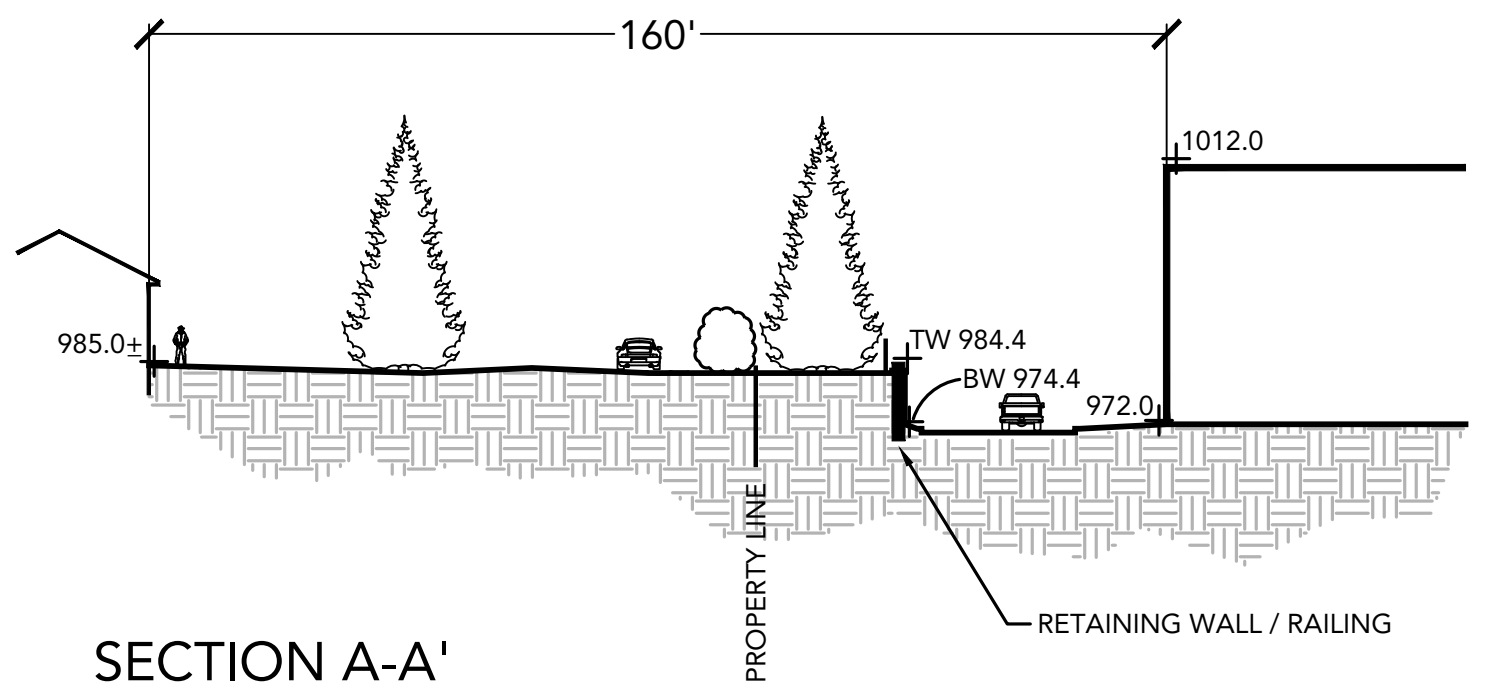
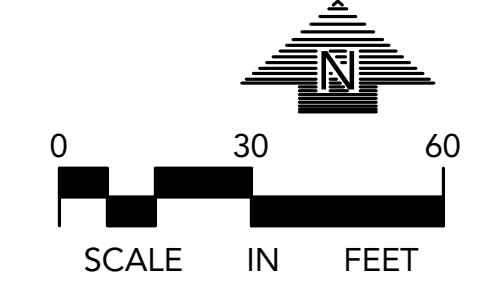
SEE TITLE SHEET



**BUILDING A**  
FFE=976.00  
LOADING DOCK=972.00  
SQUARE FOOTAGE=70,301  
PARKING STALLS=147

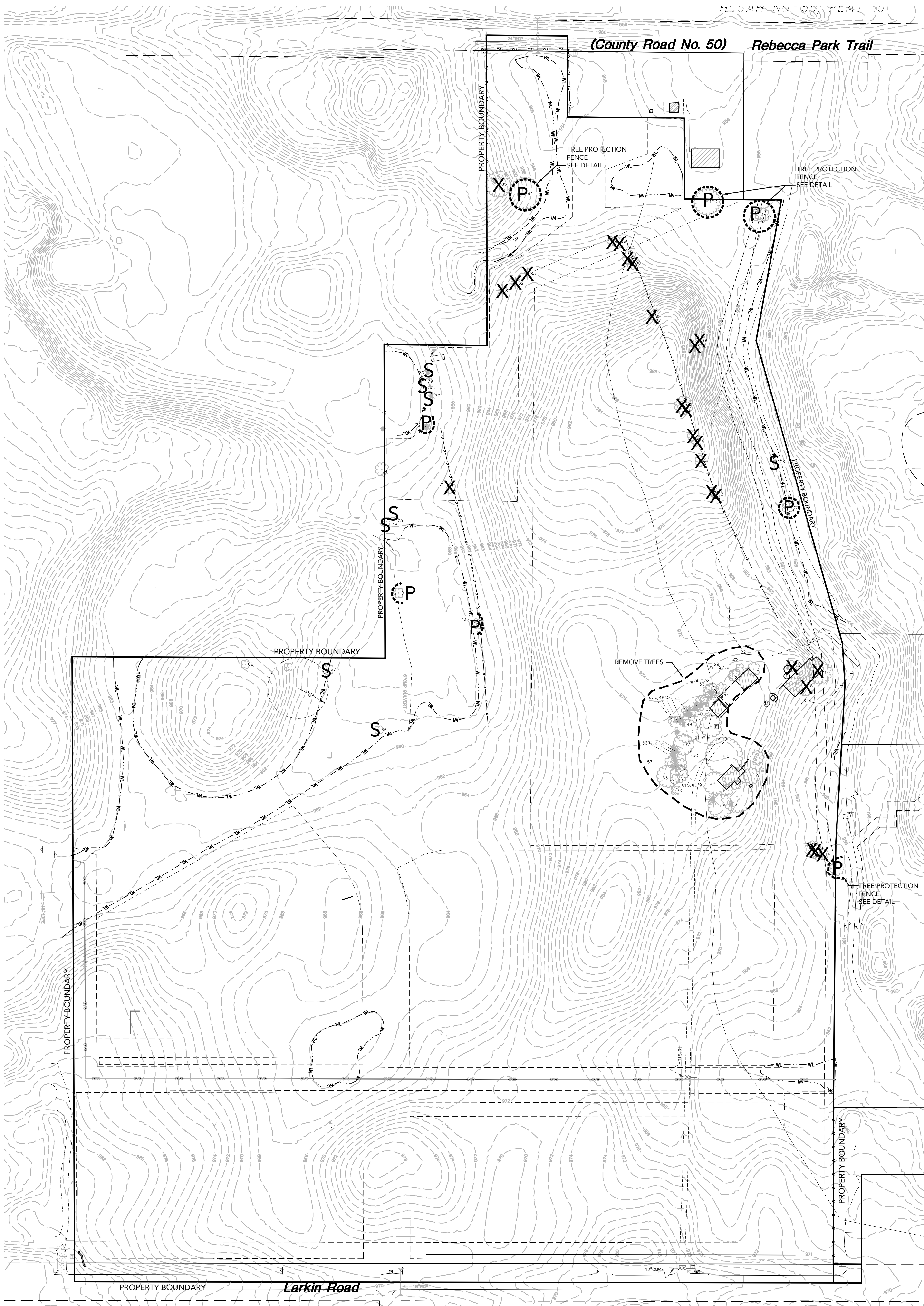
*Larkin Road*

NOTES:  
REFER TO SHEET L2-1 FOR  
PLANT SCHEDULE,  
GROUND COVER LEGEND  
AND LANDSCAPE NOTES

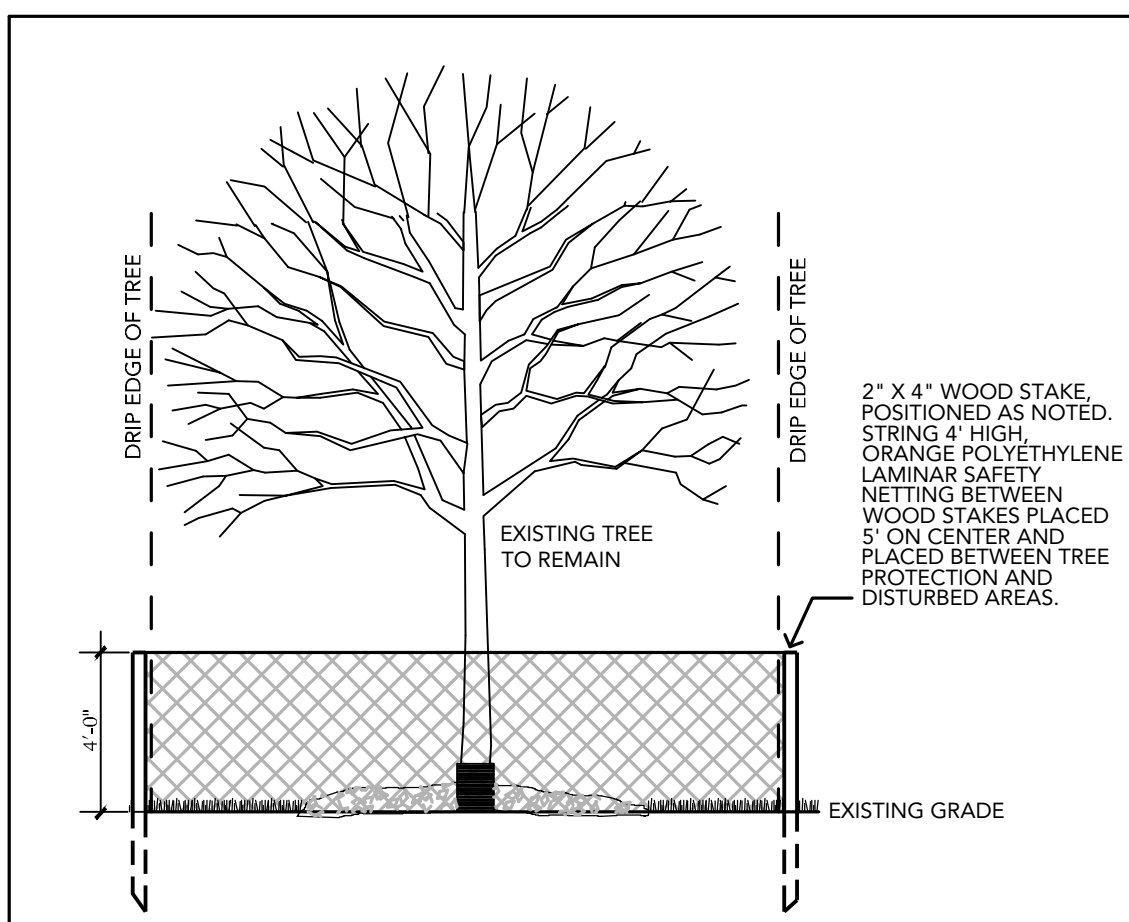


GROUND COVERS	CODE	QTY	COMMON NAME
[Pattern]	SEED 1	529,480 sf	NATIVE SEED MIX - MESIC PRAIRIE BWSR 35-241 - 36.5 LBS PER ACRE
[Pattern]	SEED 2	35,918 sf	NATIVE SEED MIX - STORMWATER BWSR 33-261 - 35 LBS PER ACRE
[Pattern]	RM1	13,871 sf	ROCK MULCH GREY TRAP ROCK 1" TO 1-1/2" - 4" DEPTH OVER GEOTEXTILE FABRIC
[Pattern]	SOD	157,977 sf	TURF SOD





TREE INVENTORY PLAN



**TREE PROTECTION NOTE**  
 INSTALL SNOW FENCE AROUND EACH TREE TO BE PROTECTED PRIOR TO GRADING. FENCE SHALL BE PLACED AT THE DRIP EDGE OR CRITICAL ROOT ZONES OF THE TREES. FENCING SHALL BE NO CLOSER THAN 6" TO THE TRUNK OF ANY TREE TO BE PROTECTED. THE PERIMETERS FOR TREES BEING PROTECTED SHALL BE DESIGNATED AT ALL TIMES DURING CONSTRUCTION ACTIVITY AND SIGNAGE SHALL BE INSTALLED AT ALL TREE PROTECTION AREAS THAT INSTRUCTS WORKERS TO STAY OUT. CONTRACTOR SHALL AVOID ALL AREAS WITHIN TREE PROTECTION FENCE. SOIL SHOULD BE PROTECTED FROM EROSION AND CHANGES IN CHEMISTRY FROM CONCRETE OR TOXIC MATERIALS SUCH AS FUELS AND PAINTS.  
 THE CONTRACTOR SHALL HAVE "TREE PAINT" ON SITE AT ALL TIMES. IF AN OAK IS WOUNDED DURING CONSTRUCTION, THE CONTRACTOR MUST IMMEDIATELY APPLY PAINT TO THE WOUND IN ORDER TO PREVENT OAK WILT. ALL DAMAGE TO TREES TO BE PROTECTED SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND LANDSCAPE ARCHITECT.

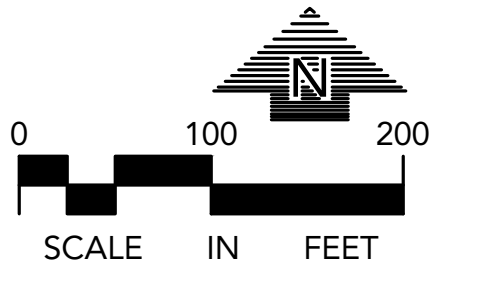
**1 TREE PROTECTION**  
 SCALE: 1/4" = 1'-0"  
 LOUCKS  
 Tree Protection.dwg

EXISTING TREE INVENTORY

TOTAL SIGNIFICANT TREES	104
TREES TO REMAIN	18
TREES TO BE REMOVED	86

LEGEND

- SIGNIFICANT TREE TO BE SAVED
- SIGNIFICANT TREE TO BE PROTECTED - SEE DETAIL
- SIGNIFICANT TREE TO BE REMOVED
- TREE PROTECTION FENCE SEE DETAIL



Tree #	Species	DBH	Condition	Stems	Disposition
1	Maple, silver	30.0	Fair	1	Removed
2	Maple, silver	54.0	Fair	1	Removed
3	Maple, silver	30.0	Fair	10	Removed
4	Spruce, white	21.5	Fair	1	Removed
5	Maple, silver	33.0	Fair	1	Removed
6	Spruce, white	11.0	Fair	1	Removed
7	Willow	45.0	Poor	6	Removed
8	Elm, American	8.5	Fair	1	Removed
9	Boxelder	9.0	Fair	2	Removed
10	Maple, silver	20.0	Fair	1	Removed
11	Maple, silver	8.0	Good	1	Removed
12	Crabapple	15.0	Fair	1	Removed
13	Maple, silver	17.0	Good	1	Off-Site
14	Maple, silver	11.5	Fair	1	Removed
15	Ash, green	12.0	Fair	1	Removed
16	Ash, green	15.0	Good	1	Removed
17	Ash, green	21.0	Good	1	Removed
18	Boxelder	26.0	Fair	1	Removed
19	Boxelder	30.0	Fair	3	Removed
20	Mountainash	12.0	Fair	1	Removed
21	Boxelder	15.0	Fair	1	Removed
22	Boxelder	8.0	Good	1	Removed
23	Maple, silver	8.5	Good	1	Removed
24	Elm, American	12.0	Good	1	Removed
25	Elm, American	14.0	Good	1	Removed
26	Boxelder	12.0	Good	1	Removed
27	Ash, green	18.0	Good	1	Removed
28	Boxelder	16.0	Fair	2	Removed
29	Spruce, white	15.5	Fair	1	Removed
30	Elm, American	9.5	Good	1	Removed
31	Elm, American	9.5	Good	1	Removed
32	Ash, green	9.5	Good	1	Removed
33	Ash, green	8.0	Good	1	Removed
34	Elm, American	16.0	Good	1	Removed
35	Spruce, white	10.0	Poor	1	Removed
36	Ash, green	9.5	Good	1	Removed
37	Boxelder	14.0	Good	1	Removed
38	Pine, red	11.5	Fair	1	Removed
39	Spruce, white	12.5	Poor	1	Removed
40	Spruce, white	13.5	Poor	1	Removed
41	Pine, red	17.5	Fair	2	Removed
42	Pine, red	15.0	Good	1	Removed
43	Ash, green	10.0	Fair	1	Removed
44	Spruce, white	9.5	Poor	1	Removed
45	Pine, red	14.0	Good	1	Removed
46	Ash, green	8.5	Good	1	Removed
47	Ash, green	11.0	Fair	1	Removed
48	Pine, red	13.0	Good	1	Removed
49	Spruce, white	8.5	Poor	1	Removed
50	Oak, bur	32.0	Good	1	Removed
51	Spruce, white	8.5	Poor	1	Removed
52	Maple, silver	27.0	Poor	1	Removed
53	Pine, red	14.5	Good	1	Removed
54	Pine, red	10.5	Good	1	Removed
55	Spruce, white	14.5	Fair	1	Removed
56	Spruce, white	15.0	Fair	1	Removed
57	Ash, green	12.0	Fair	1	Removed
58	Spruce, white	17.0	Poor	1	Removed
59	Maple, silver	13.5	Fair	2	Removed
60	Maple, silver	9.0	Good	1	Removed
61	Maple, silver	23.0	Fair	2	Removed
62	Ash, green	10.0	Good	1	Removed
63	Boxelder	29.5	Fair	2	Removed
64	Ash, green	8.5	Fair	1	Removed
65	Hackberry	9.0	Good	1	Removed
66	Boxelder	8.0	Good	1	Removed
67	Elm, American	12.0	Good	1	Removed
68	Elm, American	8.0	Good	1	Saved
69	Elm, American	8.5	Good	1	Saved
70	Crabapple	11.0	Fair	1	Saved
71	Elm, American	10.0	Fair	1	Removed
72	Spruce, blue	12.0	Good	1	Saved
73	Spruce, white	8.0	Fair	1	Off-Site
74	Ash, green	16.0	Good	1	Off-Site
75	Boxelder	8.5	Good	1	Saved
76	Boxelder	9.0	Good	1	Saved
77	Pine, Scots	10.0	Good	1	Saved
78	Spruce, white	10.0	Fair	1	Saved
79	Spruce, blue	10.0	Fair	1	Saved
80	Spruce, blue	11.0	Good	1	Saved
81	Pine, white	18.0	Good	1	Removed
82	Pine, white	17.0	Good	1	Removed
83	Pine, white	16.0	Good	1	Removed
84	Oak, bur	45.0	Good	1	Saved
85	Oak, bur	35.5	Good	1	Removed
86	Spruce, white	8.0	Good	1	Removed
87	Ash, green	9.5	Good	1	Removed
88	Elm, American	12.5	Poor	1	Removed
89	Ash, green	16.0	Good	1	Removed
90	Elm, American	15.0	Good	1	Removed
91	Ash, green	11.0	Fair	1	Saved
92	Ash, green	10.0	Fair	1	Removed
93	Elm, American	8.0	Good	1	Removed
94	Elm, American	12.0	Good	1	Removed
95	Ash, green	9.5	Good	1	Removed
96	Elm, American	13.5	Good	1	Removed
97	Cherry, black	14.5	Good	1	Removed
98	Elm, American	24.0	Good	2	Removed
99	Elm, American	8.5	Good	1	Removed
100	Willow	36.0	Good	1	Saved
101	Boxelder	13.0	Good	2	Saved
102	Boxelder	13.5	Fair	1	Saved
103	Boxelder	17.0	Fair	1	Saved
104	Elm, American	9.0	Good	1	Removed
105	Elm, American	8.5	Good	1	Removed
106	Redcedar	8.0	Good	1	Saved
107	Ash, green	12.0	Good	1	Saved

CORCORAN FARMS BUSINESS PARK  
 CORCORAN, MN

LEE & ASSOCIATES

5353 GAMBLE DRIVE, SUITE 106  
 MINNEAPOLIS, MN 55416

LOUCKS  
 PLANNING CIVIL ENGINEERING  
 LAND SURVEYING  
 LANDSCAPE ARCHITECTURE  
 ENVIRONMENTAL  
 7200 Hemlock Lane, Suite 300  
 Maple Grove, MN 55669  
 763.424.5505  
 www.loucksinc.com

CADD QUALIFICATION  
 I certify that the CADD files prepared by the Consultant for this project are in accordance with the CADD standards and specifications for this project. These CADD files shall not be used on other projects without the written approval of the Consultant. With the Consultant's approval, others may be permitted to obtain copies of the CADD drawing files for information and reference only. All intellectual or confidential information, additions, or deletions to these CADD files shall be made in the field of the project and not in the office. The Consultant shall not be held responsible and shall indemnify the Consultant from any and all responsibilities, claims, and liabilities.

SUBMITTAL/REVISIONS  
 07/19/22 PRELIM PLAT APPLICATION  
 08/30/22 PRELIM PLAT RESUBMITTAL

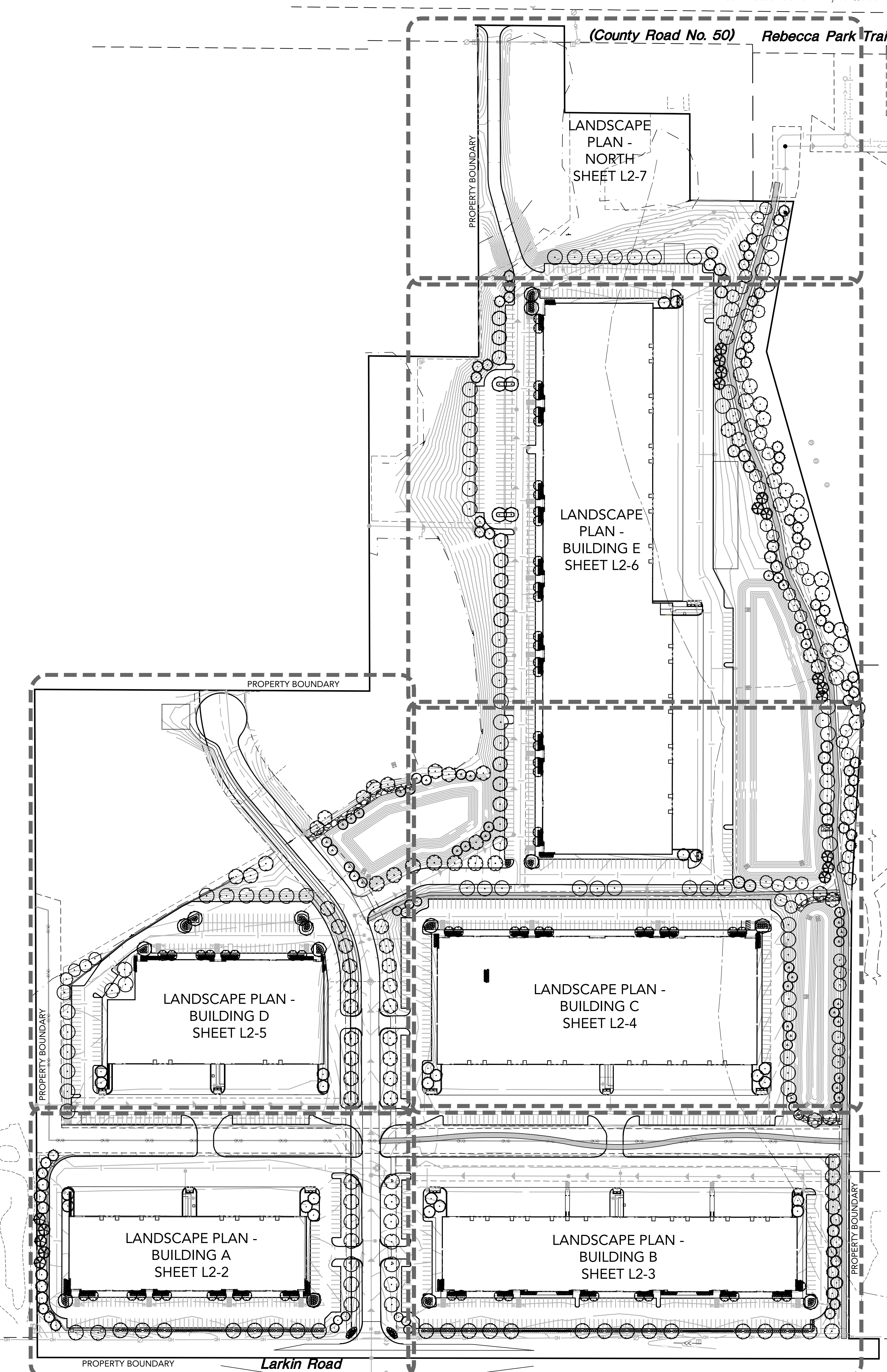
PROFESSIONAL SIGNATURE  
 I hereby certify that this plan, specification, report, or other document was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.  
 License No. LA 24610  
 Date 07/15/22  
 Project No. 21442  
 Project Lead JAS  
 Drawn By GAJ  
 Checked By JAS  
 Review Date 07/15/22

QUALITY CONTROL  
 SHEET INDEX  
 SEE TITLE SHEET

TREE INVENTORY PLAN  
 L1-1

Plotted: 08/20/2022 3:18 PM W:\2021\21442\CADD DATA\LANDSCAPE.dwg Sheet: Sheet File: L1-1 TREE INVENTORY





GENERAL NOTES:

CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID. HE SHALL INSPECT SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.

VERIFY LAYOUT AND ANY DIMENSIONS SHOWN AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT ANY DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN AND / OR INTENT OF THE PROJECT'S LAYOUT.

ASSURE COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK OR MATERIALS SUPPLIED.

CONTRACTOR SHALL PROTECT ALL EXISTING ROADS, CURBS / GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING PLANTING OPERATIONS. ANY DAMAGE TO SAME SHALL BE REPAIRED AT NO COST TO THE OWNER.

CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF ALL UNDERGROUND AND ABOVE GRADE UTILITIES. CONTRACTOR TO PROVIDE THE NECESSARY PROTECTION FOR THE UTILITIES BEFORE CONSTRUCTION / MATERIAL INSTALLATION BEGINS. CONTRACTOR TO NOTIFY GENERAL CONTRACTOR OF ANY CONCERNS PRIOR TO INSTALLATION OF PLANTINGS.

EXISTING CONTOURS, TRAILS, VEGETATION, CURB / GUTTER AND OTHER EXISTING ELEMENTS BASED UPON INFORMATION SUPPLIED TO LANDSCAPE ARCHITECT BY OTHERS. CONTRACTOR SHALL VERIFY ANY AND ALL DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.

THE ALIGNMENT AND GRADES OF THE PROPOSED WALKS, TRAILS AND / OR ROADWAYS ARE SUBJECT TO FIELD ADJUSTMENT REQUIRED TO CONFORM TO LOCALIZED TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREE REMOVAL AND GRADING. ANY CHANGE IN ALIGNMENT MUST BE APPROVED BY LANDSCAPE ARCHITECT.

IRRIGATION NOTES:

CONFIRM COMPLETE LIMITS OF IRRIGATION PRIOR TO SUPPLYING SHOP DRAWINGS.

LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN IRRIGATION LAYOUT PLAN AND SPECIFICATION AS A PART OF THE SCOPE OF WORK WHEN BIDDING. THESE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ORDER AND / OR INSTALLATION. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL SODDED / SEEDED AND PLANTED AREAS ARE IRRIGATED PROPERLY, INCLUDING THOSE AREAS DIRECTLY AROUND AND ABUTTING BUILDING FOUNDATION.

THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN IRRIGATION SCHEDULE APPROPRIATE TO THE PROJECT SITE CONDITIONS AND TO PLANT MATERIAL GROWTH REQUIREMENTS.

IRRIGATION SYSTEM IS NOT TO SPRINKLE ACROSS PAVEMENT NOR SHALL THE SYSTEM SPRINKLE THE BUILDING.

THE SYSTEM SHALL INCORPORATE A RAIN SENSOR INTO IRRIGATION SYSTEM.

PLANTINGS OUTSIDE THE LIMITS OF IRRIGATION ARE TO BE WATERED REGULARLY UNTIL PLANTING / SOD / SEED HAS BEEN ESTABLISHED.

LANDSCAPE INSTALLATION:

GENERAL NOTES:

COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.

NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.

ALL PLANTS TO BE INSTALLED AS PER PLANTING DETAILS. REMOVE ALL FLAGGING AND LABELS FROM PLANTS.

IF THE LANDSCAPE CONTRACTOR IS CONCERNED OR PERCEIVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS OR ANY OTHER SITE CONDITION WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR GUARANTEE, HE MUST BRING THESE DEFICIENCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT AND / OR INSTALLATION.

PROTECT ALL EXISTING TREES ON SITE SCHEDULED TO REMAIN. IF EXISTING TREES ARE DAMAGED IN ANY MANNER, ABOVE OR BELOW GRADING IN THE ROOT SYSTEM, AN ASPHALTIC TREE PRUNING PAINT SHOULD BE APPLIED IMMEDIATELY AFTER WOUNDING.

SOIL & GROUND COVER:

ALL PLANTING AREAS RECEIVING GROUND COVER, PERENNIALS, ANNUALS, AND / OR VINES SHALL RECEIVE A MINIMUM OF 12" DEPTH OF PLANTING SOIL CONSISTING OF AT LEAST 45 PARTS TOPSOIL, 45 PARTS PEAT OR MANURE AND 10 PARTS SAND.

WHERE SOD / SEED ABUTS PAVED SURFACES, FINISHED GRADE OF SOD / SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.

SEED ALL AREAS DISTURBED DUE TO GRADING OTHER THAN THOSE AREAS NOTED TO RECEIVE SOD. SEED SHALL BE INSTALLED AND MULCHED AS PER MNDOT SPECS.

SOD ALL DESIGNATED AREAS DISTURBED DUE TO GRADING. SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, THE SOD SHALL BE STAKED TO THE GROUND.

LANDSCAPE CONTRACTOR SHALL VERIFY THAT SOIL AND COMPACTION CONDITIONS ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AT AND AROUND THE BUILDING SITE.

PLANTINGS INFO:

ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN. UNLESS NOTED OTHERWISE, ALL SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED MINIMUM SHRUB HEIGHT OR WIDTH. ORNAMENTAL TREES SHALL HAVE NO V CROTCHES AND SHALL BEGIN BRANCHING NO LOWER THAN 3' ABOVE ROOT BALL. STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 5' ABOVE FINISHED GRADE.

ANY CONIFEROUS TREE PREVIOUSLY PRUNED FOR CHRISTMAS TREE SALES SHALL NOT BE USED. ALL CONIFEROUS TREES SHALL BE FULL FORM, NATURAL TO THE SPECIES, WITHOUT PRUNING.

PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR / ROOT FLAIR IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR / ROOT FLAIR. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR / ROOT FLAIR SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.

ALL PROPOSED PLANTS SHALL BE LOCATED AND STAKED AS SHOWN ON PLAN. ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. SHOULD AN ADJUSTMENT BE ADVISED, THE LANDSCAPE ARCHITECT MUST BE NOTIFIED.

PLAN TAKES PRECEDENCE OVER PLANT SCHEDULE IF DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS TAKE PRECEDENCE OVER NOTES.

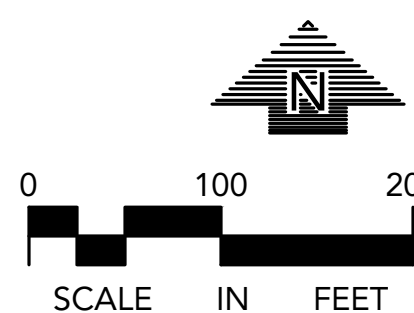
NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR PRIOR TO THE SUBMISSION OF A BID AND / OR QUOTATION.

PLANT SCHEDULE

DECIDUOUS TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	SIZE	
AB	41	AUTUMN BLAZE MAPLE	Acer freemanii 'Autumn Blaze'	B & B	2.5" Cal		
BL	27	BOULEVARD LINDEN	Tilia americana 'Boulevard'	B & B	2.5" Cal		
BO	8	BURR OAK	Quercus macrocarpa	B & B	2.5" Cal		
CH	10	COMMON HACKBERRY	Celtis occidentalis	B & B	2.5" Cal		
GL	7	GREENSPIRE LINDEN	Tilia cordata 'Greenspire'	B & B	2.5" Cal		
IH	32	IMPERIAL HONEYLOCUST	Gleditsia triacanthos 'Impole'	B & B	2.5" Cal		
NP	22	NORTHERN PIN OAK	Quercus ellipsoidalis	B & B	2.5" Cal		
QA	48	QUAKING ASPEN	Populus tremuloides	25 gal			
RB	47	RIVER BIRCH CLUMP	Betula nigra	B & B		8' HGT	
SGM	64	SIENNA GLEN MAPLE	Acer freemanii 'Sienna Glen'	B & B	2.5" Cal		
QB	18	SWAMP WHITE OAK	Quercus bicolor	B & B	2.5" Cal		
EVERGREEN TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	SIZE	
AP	54	AUSTRIAN PINE FULL FORM	Pinus nigra	B & B		6' HGT	
BS	55	BLACK HILLS SPRUCE FULL FORM	Picea glauca 'Densata'	B & B		6' HGT	
CSP	18	COLORADO SPRUCE	Picea pungens	B & B		6' HGT	
MTP	12	MUGO TANNENBAUM PINE FULL FORM	Pinus mugo 'Tannenbaum'	15 gal			
ORNAMENTAL TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	SIZE	
PRC	78	PRAIRIE ROSE CRABAPPLE	Malus x 'Prairie Rose'	B & B	1.5" Cal		
SSC	11	SPRING SNOW CRABAPPLE	Malus x 'Spring Snow'	B & B	1.5" Cal		
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	MIN CONT	MIN SIZE	FIELD3	SPACING
BLS	475	BIRCHLEAF SPIREA	Spiraea x betulifolia 'Tor'	5 gal	24" HGT		36" o.c.
GF	194	GRO-LOW FRAGRANT SUMAC	Rhus aromatica 'Gro-Low'	5 gal	24" SPRD		60" o.c.
LPS	331	LITTLE PRINCESS SPIREA	Spiraea japonica 'Little Princess'	5 gal			36" o.c.
RGD	211	RED GNOME DOGWOOD	Cornus alba sibirica 'Red Gnome'	5 gal	24" HGT		48" o.c.
GRASSES	QTY	COMMON NAME	BOTANICAL NAME	MIN CONT	MIN SIZE	FIELD3	SPACING
FG	426	FEATHER REED GRASS	Calamagrostis x acutiflora 'Karl Foerster'	1 gal			24" o.c.
CONIFEROUS SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	MIN CONT	MIN SIZE	FIELD3	SPACING
SJ	431	SCANDIA JUNIPER	Juniperus sabina 'Scandia'	5 gal	18" SPRD		48" o.c.
SG	74	SEA GREEN JUNIPER	Juniperus chinensis 'Sea Green'	5 gal			48" o.c.
PERENNIALS	QTY	COMMON NAME	BOTANICAL NAME	MIN CONT	MIN SIZE	FIELD3	SPACING
PHO	156	PATRIOT HOSTA	Hosta x 'Patriot'	1 gal			24" o.c.
SSD	336	STELLA SUPREME DAYLILY	Hemerocallis x 'Stella Supreme'	1 gal			24" o.c.
GROUND COVERS	CODE	QTY	COMMON NAME	BOTANICAL NAME			
	SEED 1	439,501 sf	NATIVE SEED MIX - MESIC PRAIRIE BWSR 35-241 - 36 LBS PER ACRE				
	SEED 2	42,284 sf	NATIVE SEED MIX - STORMWATER BWSR 33-261 - 35 LBS PER ACRE				
	RM1	18,067 sf	ROCK MULCH GREY TRAP ROCK 1" TO 1-1/2" - 4" DEPTH OVER GEOTEXTILE FABRIC				
	SOD	170,155 sf	TURF SOD				

PLANT REQUIREMENTS / QUANTITIES

REQUIRED OVERSTORY TREES: 1 TREE / 1,000 SF OF FLOOR AREA 696,613 / 1,000	697
TOTAL PROPOSED OVERSTORY TREES	324
TOTAL PROPOSED CONIFEROUS TREES	139
TOTAL PROPOSED ORNAMENTAL TREES	87
REQUIRED SHRUBS 1 SHRUB PER 1,000 SF OF FLOOR AREA 696,613 / 300	2,322
TOTAL SHRUBS	1,716



CADD QUALIFICATION

CADD files generated by the Consultant for this project are prepared by the Consultant professional services for use solely with respect to this project. These CADD files shall not be used on other projects, for additions to this project, or for reproduction of this project for other than written approval by the Consultant, with the Consultant's approval, others may be permitted to obtain copies of the CADD drawing files for information and reference only. All reserved or unreserved revisions, additions, or deletions to these CADD files shall be made in accordance with the project's revision control procedures and the user shall hold harmless and indemnify the Consultant from any & all responsibilities, claims, and liabilities.

SUBMITTAL REVISIONS

07/19/22 PRELIM PLAT APPLICATION  
08/30/22 PRELIM PLAT RESUBMITTAL

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer of the State of Minnesota.

License No. LA 24610  
Date 07/15/22

QUALITY CONTROL

Process Project No. 21442  
Project Lead JAS  
Drawn By GAJ  
Checked By JAS  
Review Date 07/15/22

SHEET INDEX

SEE TITLE SHEET



WARNING:  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.  
THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.



**CADD QUALIFICATION**  
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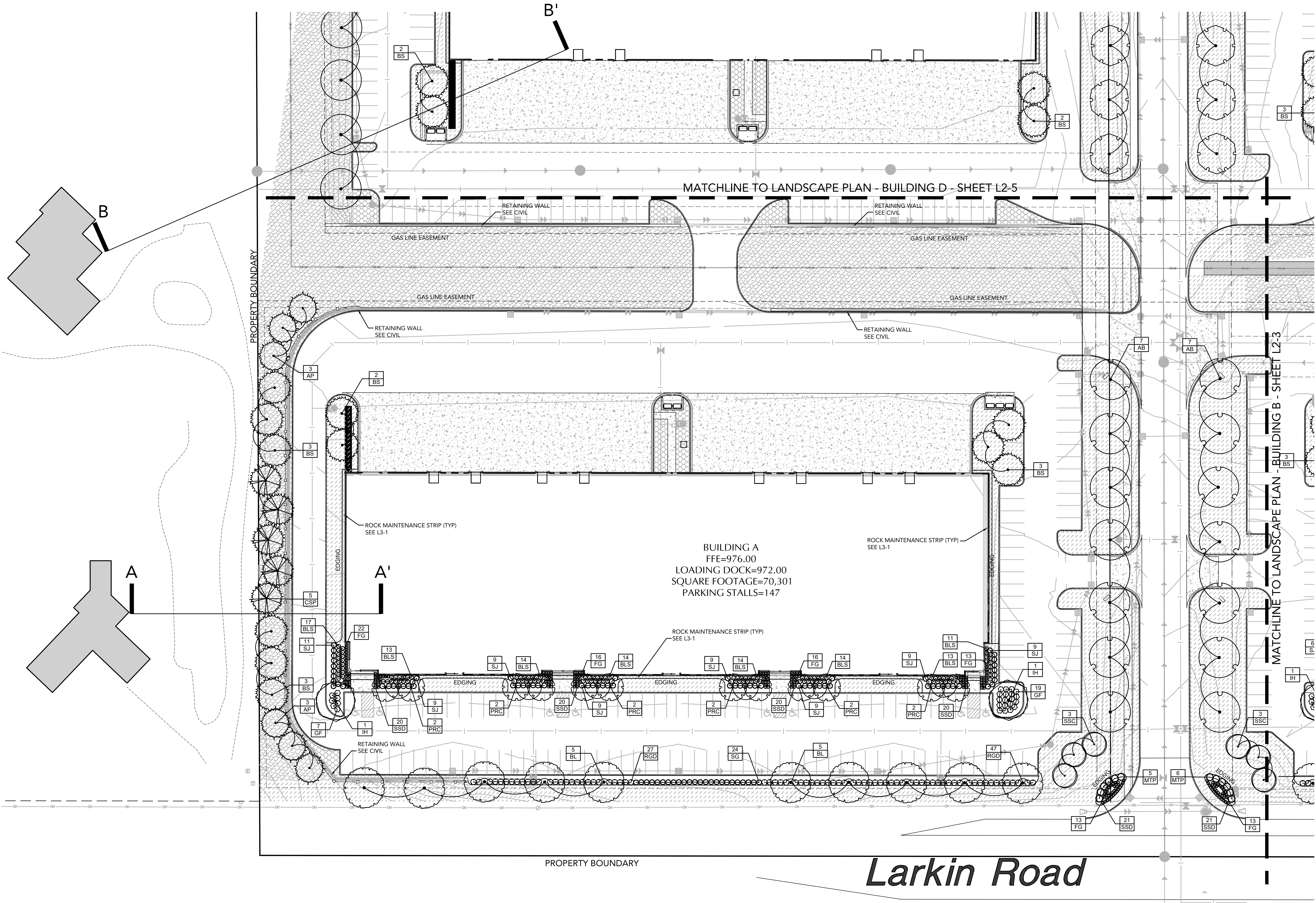
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08/30/22 PRELIM PLAT RESUBMITTAL

**PROFESSIONAL SIGNATURE**  
I hereby certify that this plan, specification, or report prepared by me or under my direct supervision and seal is a study prepared by me or under my direct supervision and seal of the State of Minnesota.

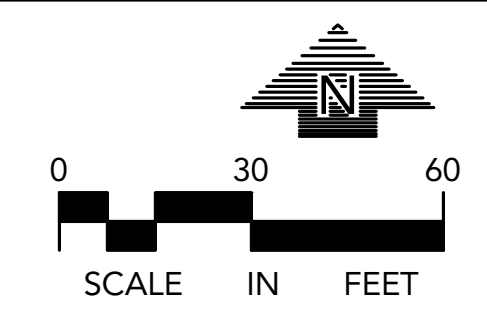
License No. LA 24610  
Date 07/15/22

**QUALITY CONTROL**  
Process Project No. 21442  
Project Lead JAS  
Drawn By GAJ  
Checked By JAS  
Review Date 07/15/22

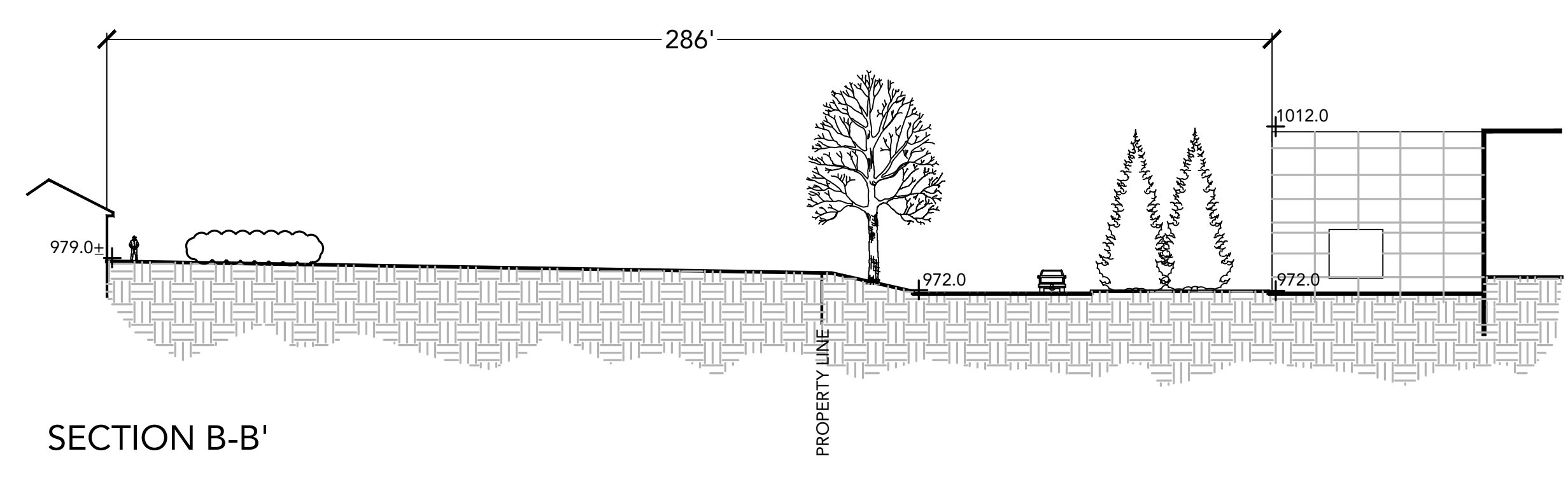
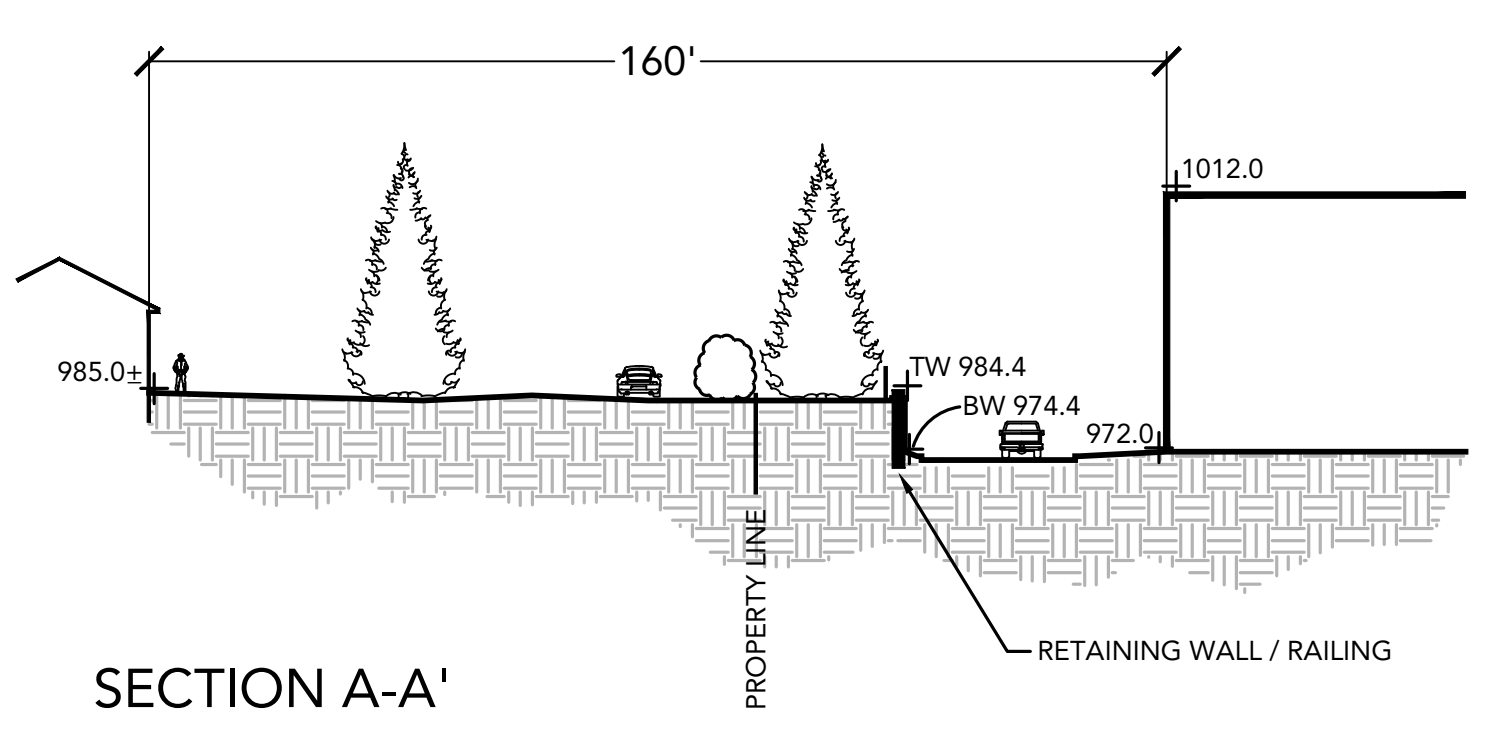
**SHEET INDEX**  
SEE TITLE SHEET



*Larkin Road*

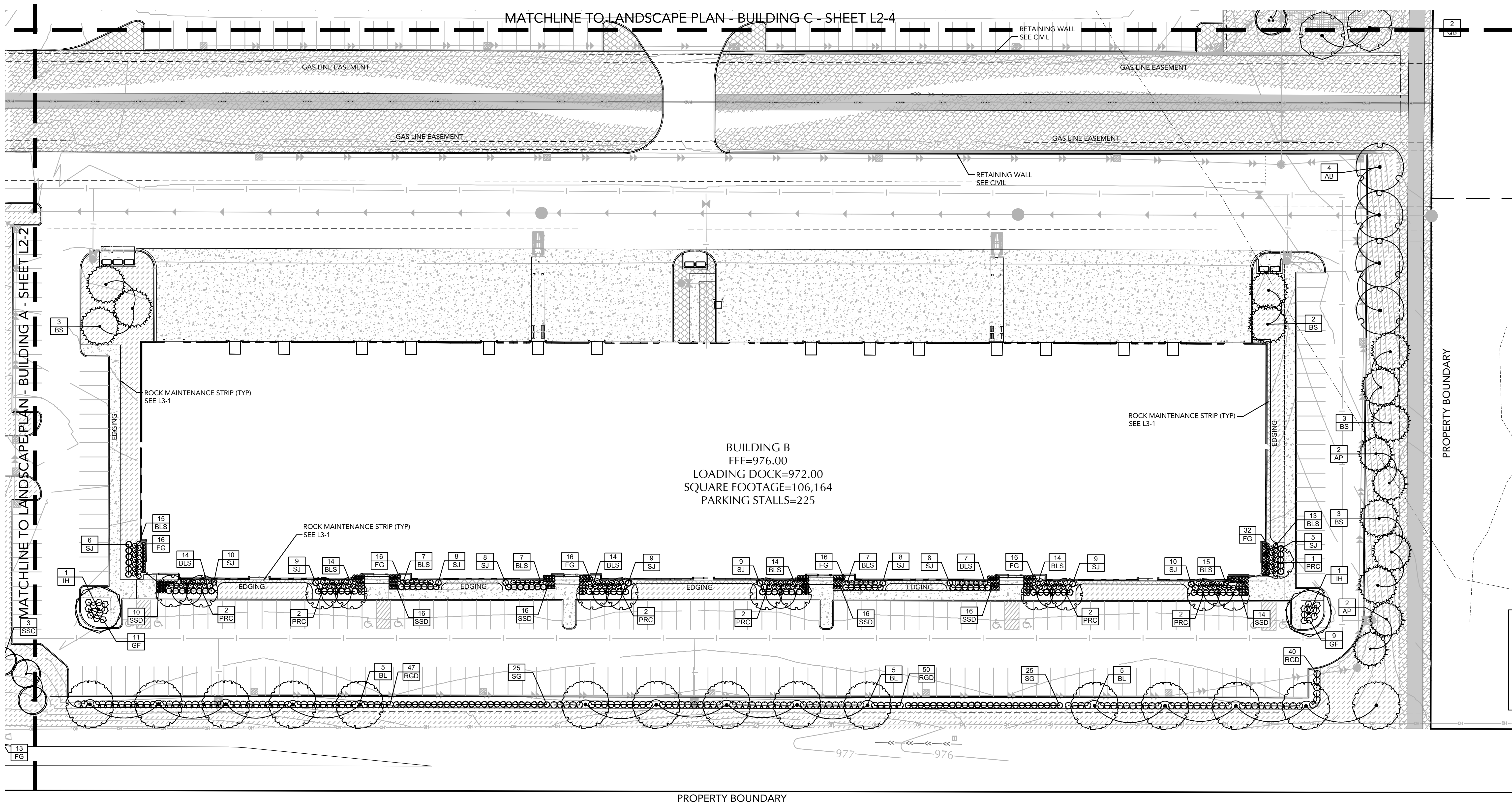


GROUND COVERS	CODE	QTY	COMMON NAME
	SEED 1	529,480 sf	NATIVE SEED MIX - MESIC PRAIRIE BWSR 35-241 - 36.5 LBS PER ACRE
	SEED 2	35,918 sf	NATIVE SEED MIX - STORMWATER BWSR 33-261 35 LBS PER ACRE
	RM1	13,871 sf	ROCK MULCH GREY TRAP ROCK 1" TO 1-1/2" - 4" DEPTH OVER GEOTEXTILE FABRIC
	SOD	157,977 sf	TURF SOD



Plotted: 08/20/2022 3:22 PM W:\2021\21442\CADD DATA\LANDSCAPE\Landscape\Sheet Files\L2-1 LANDSCAPE PLAN





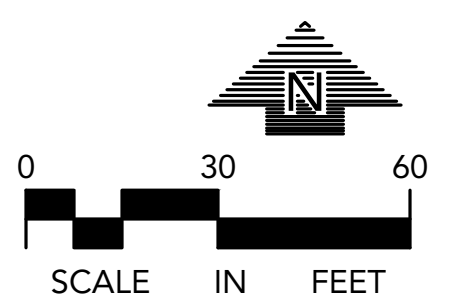
**NOTES:**  
REFER TO SHEET L2-1 FOR PLANT  
SCHEDULE, GROUND COVER  
LEGEND AND LANDSCAPE NOTES

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**SUBMITTAL/REVISIONS**

07/19/22 PRELIM PLAT APPLICATION  
08/30/22 PRELIM PLAT RESUBMITTAL



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License No. 24610  
Date: 07/15/22

**QUALITY CONTROL**

Looucks Project No. 21442  
Project Lead JAS  
Drawn By GAJ  
Checked By JAS  
Review Date 07/15/22

**SHEET INDEX**

SEE TITLE SHEET

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	SEED 2	35,918 sf	NATIVE SEED MIX - STORMWATER BWSR 33-261 - 35 LBS PER ACRE
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	SOD	157,977 sf	TURF SOD



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**SUBMITTAL/REVISIONS**

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08/30/22 PRELIM PLAT RESUBMITTAL

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License No. LA 24610  
Date 07/15/22

**QUALITY CONTROL**

Project No. 21442  
Project Lead JAS  
Drawn By GAJ  
Checked By JAS  
Review Date 07/15/22

**SHEET INDEX**

SEE TITLE SHEET

**NOT FOR CONSTRUCTION**

MATCHLINE TO LANDSCAPE PLAN - BUILDING E - SHEET L2-6

NWL - 959.0  
HWL - 961.5

POND 1  
HWL=963.30  
NWL=958.00  
BOTTOM=952.00

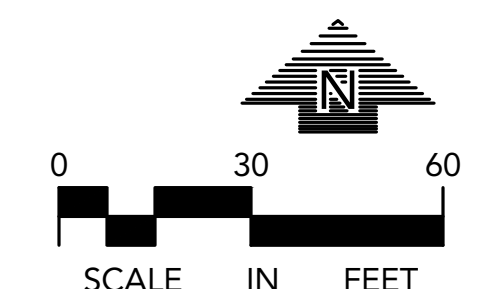
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NWL=960.00

POND 2  
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NWL=960.00

BUILDING C  
FFE=976.00  
LOADING DOCK=972.00  
SQUARE FOOTAGE=164,390  
PARKING STALLS=298

GROUND COVERS	CODE	QTY	COMMON NAME
	SEED 1	439,501 sf	NATIVE SEED MIX - MESIC PRAIRIE BWSR 35-241 - 35.5 LBS PER ACRE
	SEED 2	42,284 sf	NATIVE SEED MIX - STORMWATER BWSR 33-201 - 35 LBS PER ACRE
	RM1	18,067 sf	ROCK MULCH GREY TRAP ROCK 1" TO 1-1/2" - 4" DEPTH OVER GEOTEXTILE/FABRIC
	SOD	170,155 sf	TURF SOD

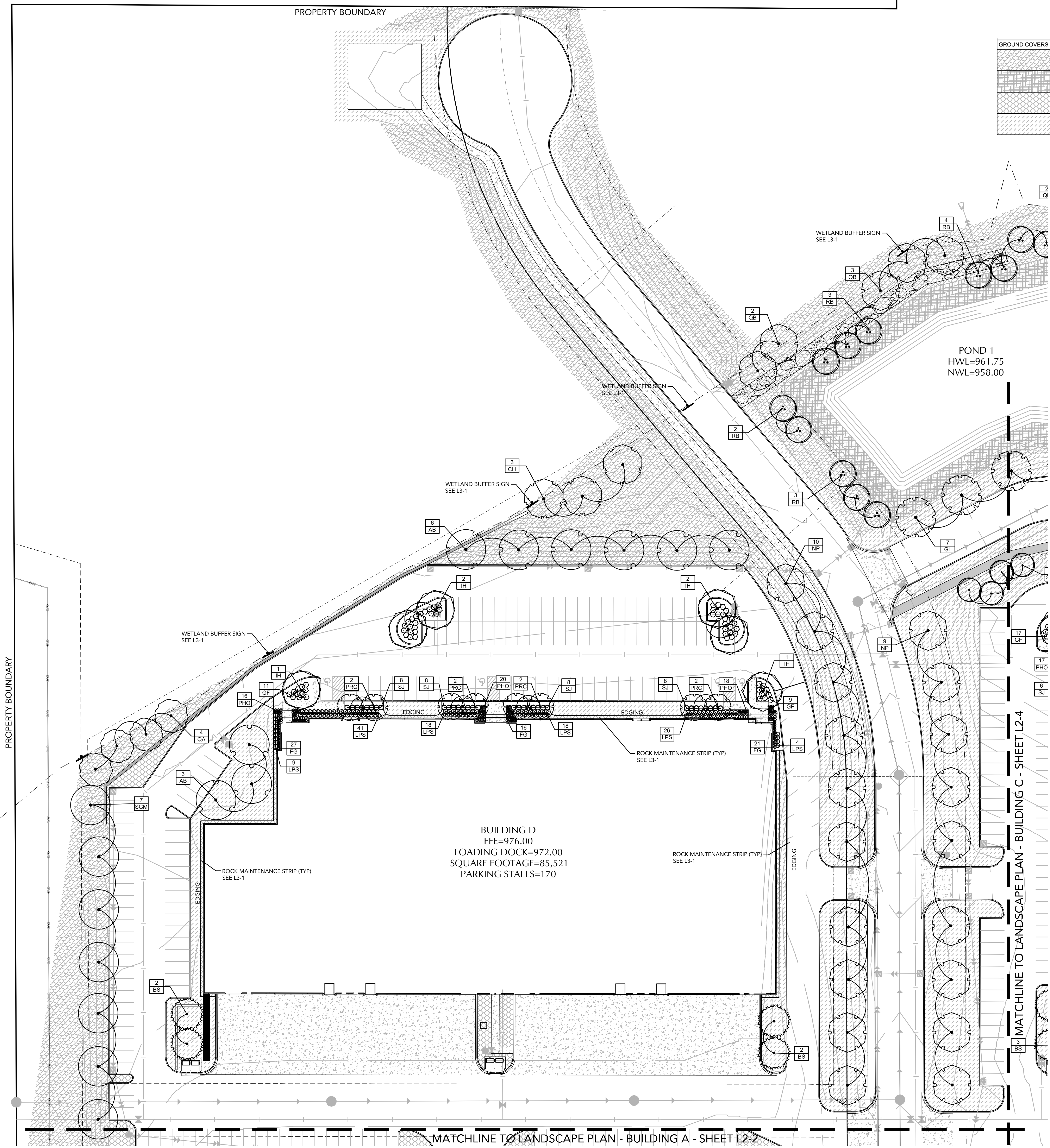
NOTES:  
REFER TO SHEET L2-1 FOR PLANT  
SCHEDULE, GROUND COVER  
LEGEND AND LANDSCAPE NOTES



MATCHLINE TO LANDSCAPE PLAN - BUILDING B - SHEET L2-3



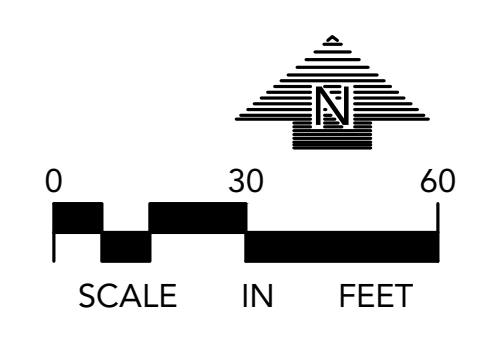
GROUND COVERS	CODE	QTY	COMMON NAME
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	RM1	13,871 sf	ROCK MULCH GREY TRAP ROCK 1" TO 1-1/2" - 4" DEPTH OVER GEOTEXTILE FABRIC
	SOD	157,977 sf	TURF SOD



POND 1  
HWL=961.75  
NWL=958.00

BUILDING D  
FFE=976.00  
LOADING DOCK=972.00  
SQUARE FOOTAGE=85,521  
PARKING STALLS=170

NOTES:  
REFER TO SHEET L2-1 FOR PLANT  
SCHEDULE, GROUND COVER  
LEGEND AND LANDSCAPE NOTES



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**SUBMITTAL/REVISIONS**

07/19/22 PRELIM PLAT APPLICATION  
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License No. LA 24610  
Date 07/15/22

**QUALITY CONTROL**

Project No. 21442  
Project Lead JAS  
Drawn By GAJ  
Checked By JAS  
Review Date 07/15/22

**SHEET INDEX**

SEE TITLE SHEET

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08/30/22 PRELIM PLAT RESUBMITTAL

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License No. LA 24610  
Date 07/15/22

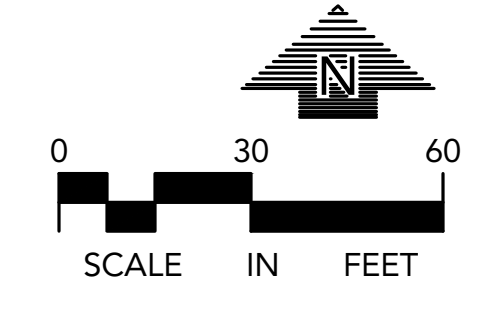
**QUALITY CONTROL**  
Project No. 21442  
Project Lead JAS  
Drawn By GAJ  
Checked By JAS  
Review Date 07/15/22

**SHEET INDEX**  
SEE TITLE SHEET

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	SOD	170,155 sf	TURF SOD

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REFER TO SHEET L2-1 FOR PLANT  
SCHEDULE, GROUND COVER  
LEGEND AND LANDSCAPE NOTES

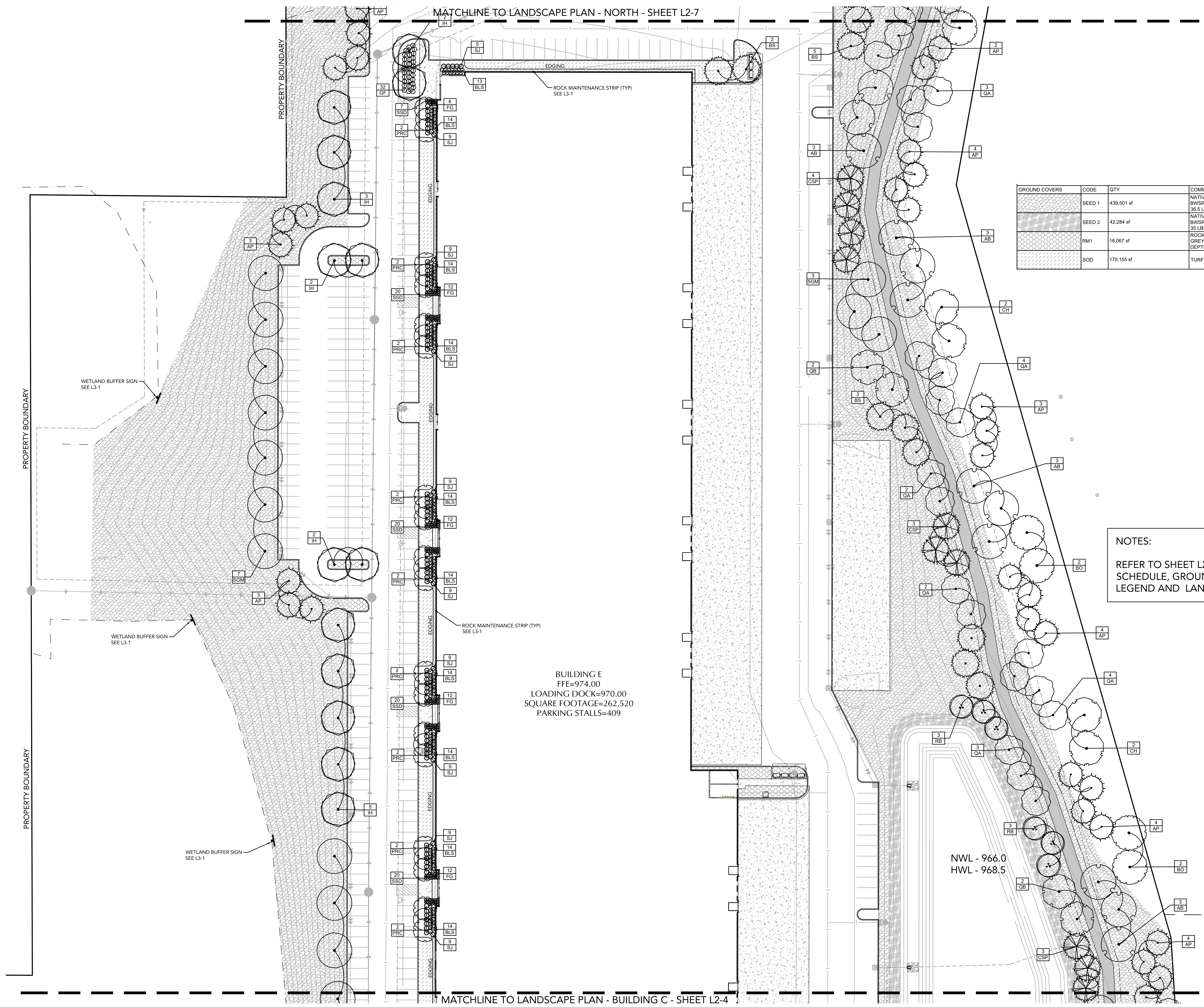
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HWL - 968.5



MATCHLINE TO LANDSCAPE PLAN - NORTH - SHEET L2-7

MATCHLINE TO LANDSCAPE PLAN - BUILDING C - SHEET L2-4

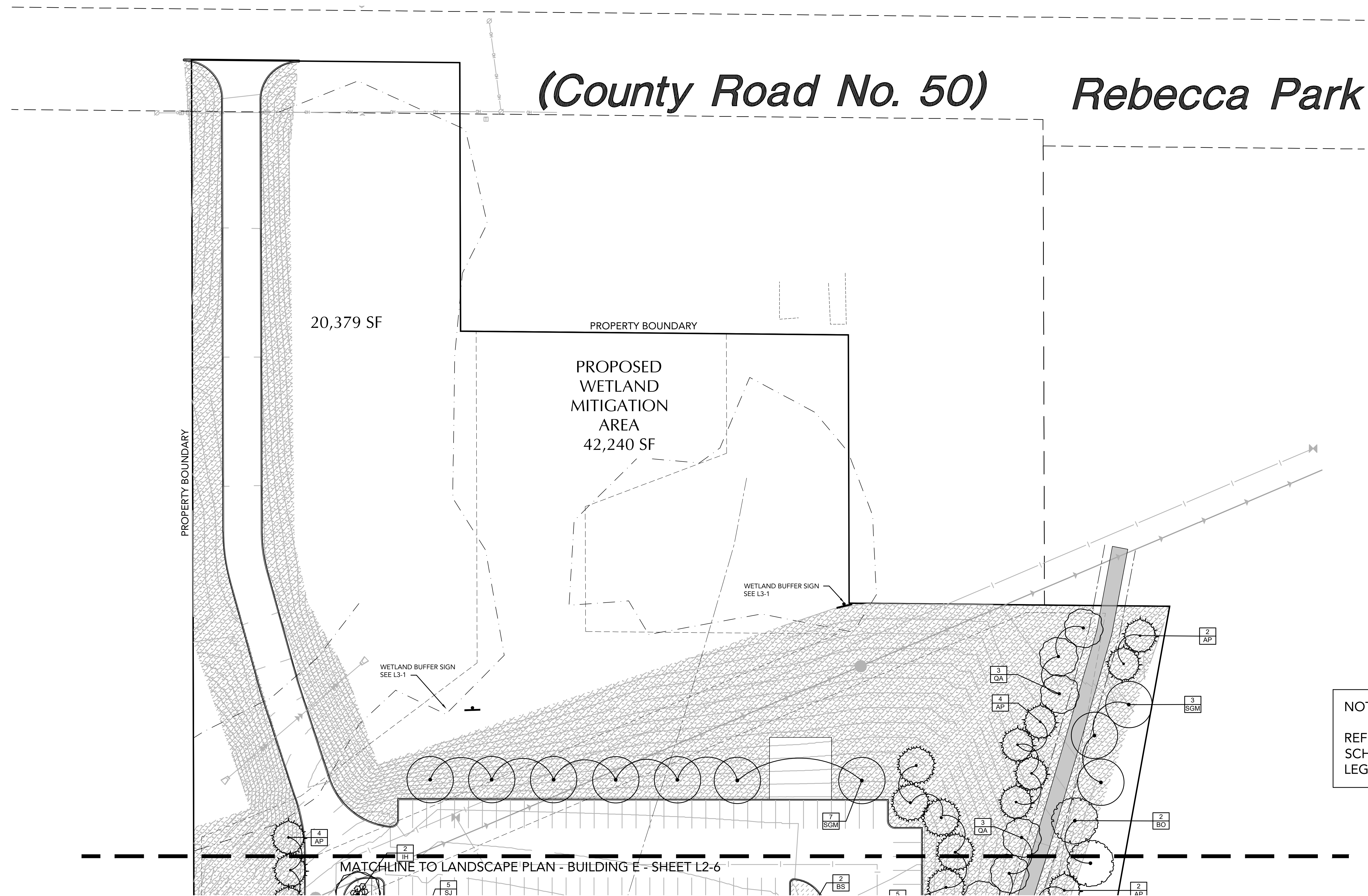
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PARKING STALLS=409



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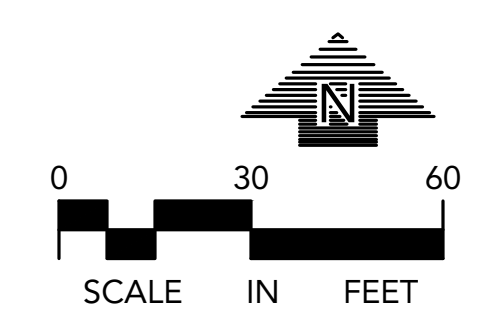


HCSAH NO. 50, PL



**NOTES:**

REFER TO SHEET L2-1 FOR PLANT SCHEDULE, GROUND COVER LEGEND AND LANDSCAPE NOTES



GROUND COVERS	CODE	QTY	COMMON NAME
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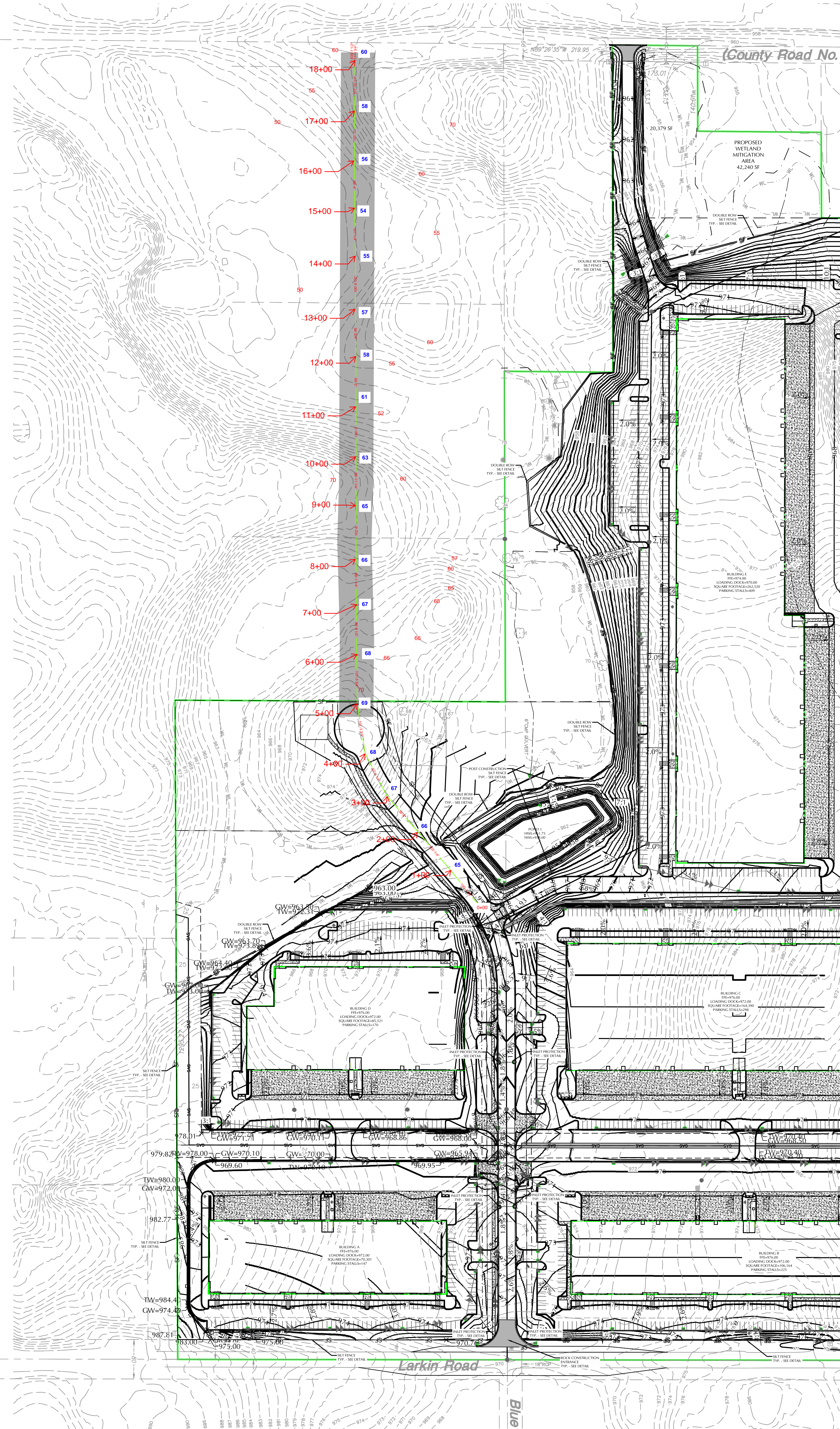
Process Project No. 21442  
Project Lead JAS  
Drawn By GAJ  
Checked By JAS  
Review Date 07/15/22

**SHEET INDEX**

SEE TITLE SHEET

**NOT FOR CONSTRUCTION**





**SWPPP LEGEND**

	SILT FENCE
	INLET PROTECTION
	ROCK CONSTRUCTION ENTRANCE

**CIVIL LEGEND**

EXISTING	PROPOSED
	SANITARY MANHOLE
	STORM MANHOLE
	CATCH BASIN
	CULVERT
	HYDRANT
	GATE VALVE
	POST INDICATOR VALVE
	LIGHT POLE
	POWER POLE
	SIGN
	BENCHMARK
	SOIL BORINGS
	WATER MANHOLE
	TELEPHONE MANHOLE
	UTILITY MANHOLE
	ELECTRIC MANHOLE
	WATER SERVICE
	SANITARY SERVICE
	HANDICAP PARKING
	DIRECTION OF FLOW
	SPOT ELEVATION
	CONTOURS
	SANITARY SEWER
	STORM SEWER
	WATERMAIN
	FOREMAN
	DRAIN TILE
	SILT FENCE
	CURB & GUTTER
	RETAINING WALL
	TRELLIS
	EASEMENT LINE
	SETBACK LINE
	FENCE LINE
	UNDERGROUND TELE
	UNDERGROUND GAS
	OVERHEAD UTILITY
	UNDERGROUND FIBER OPTIC
	UNDERGROUND ELECTRIC
	UNDERGROUND CABLE TV
	PROPERTY LINE
	CONIFEROUS TREE
	DECIDUOUS TREE
	PARKING COUNTS

**CORCORAN FARMS BUSINESS PARK**  
CORCORAN, MN

LEE & ASSOCIATES  
5353 GAMBLE DRIVE, SUITE 106  
MINNEAPOLIS, MN 55416

**LOUCKS**  
PLANNING  
CIVIL ENGINEERING  
LAND SURVEYING  
LANDSCAPE ARCHITECTURE  
ENVIRONMENTAL  
7200 Hemlock Lane, Suite 300  
Maple Grove, MN 55369  
763.424.5505  
www.loucksc.com

**GRADING, DRAINAGE & EROSION CONTROL SPECIFICATIONS**

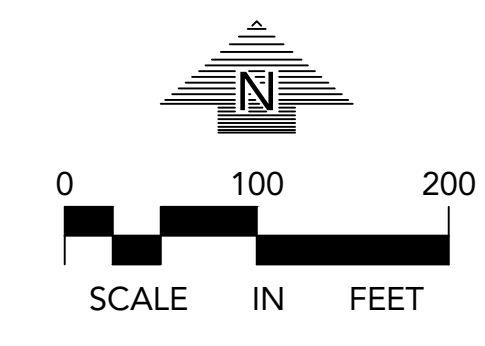
- SPOT ELEVATIONS REPRESENT FINISHED SURFACE GRADES, GUTTER/FLOW LINE, FACE OF BUILDING, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE MINIMUM OF 4 INCHES OF PREMIUM TOP SOIL AND SEED/MULCH OR SOD. THESE AREAS SHALL BE WATERED/MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION IS ESTABLISHED. VERIFY WITH LANDSCAPE PLAN.
- SEE SITE PLAN FOR CURB AND BITUMINOUS TAPER LOCATIONS.
- THE CONTRACTOR ALONG WITH THE OWNER SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM GOVERNING AUTHORITIES, INCLUDING ANY CITY PERMITS AND THE NPDES PERMIT FROM THE MPCA.
- INSTALL EROSION CONTROL AND TREE PROTECTION MEASURES BEFORE BEGINNING SITE GRADING ACTIVITIES. MAINTAIN EROSION CONTROLS THROUGHOUT THE GRADING PROCESS AND REMOVE WHEN TURF HAS BEEN ESTABLISHED.
- GRADES SHOWN ARE FINISHED GRADES.
- FINAL GRADING TOLERANCES ARE +/-0.1 FEET TO FINISH GRADES.
- STREETS MUST BE CLEANED AND SWEEPED WHENEVER TRACKING OF SEDIMENTS OCCURS AND BEFORE SITES ARE LEFT IDLE FOR WEEKENDS AND HOLIDAYS. A REGULAR SWEEPING SCHEDULE MUST BE ESTABLISHED.
- DUST MUST BE ADEQUATELY CONTROLLED.
- PER NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM/STATE DISPOSAL SYSTEM (NPDES/SDS) REQUIREMENTS, THE WASHOUT AND CLEANOUT OF STUCCO, PAINT, CONCRETE, FORM RELEASE OILS, CURING COMPOUNDS, AND OTHER CONSTRUCTION MATERIALS SHALL BE PROPERLY CONTAINED AND DISPOSED OF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND USING APPROVED METHODS OF CONTAINMENT SUCH AS PRE-FABRICATED WASHOUT CONTAINERS, CONCRETE WASHOUT TOTE, READY MIX TRUCKS WITH SELF CONTAINED CHUTE CLEANOUT, ETC.
- ALL ACCESSIBLE ROUTES SHALL BE CONSTRUCTED WITH A CROSS SLOPE NOT EXCEEDING 2% AND A RUNNING SLOPE NOT EXCEEDING 5%.
- AT TURNING POINTS ALONG THE ACCESSIBLE ROUTE THE PAVEMENT SHALL NOT EXCEED 2% IN ANY DIRECTION FOR AN AREA 60" IN DIAMETER.

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**SUBMITTALS/REVISIONS**  
07/19/22 - PRELIM PLAT APPLICATION

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License No. 19624  
Date 8/30/22  
**QUALITY CONTROL**  
Project No. 21442  
Project Lead JAS  
Drawn By JOK  
Checked By JAS  
Review Date 8/30/22

**SHEET INDEX**  
SEE TITLE SHEET



**BLUE BONNET CONCEPT EXTENSION TO COUNTY ROAD 50**



September 15, 2022

Jessica Christensen Buck  
City of Corcoran Recreation Supervisor  
8200 County Rd 116  
Corcoran, MN 55340

RE: Corcoran Farms Business Park preliminary plat review comments

Jessica,

Thank you for the opportunity to review the preliminary plat for the Corcoran Farms Business Park development.

A 20' wide easement for the future Diamond Lake Regional Trail corridor is noted along the eastern boundary of the site. Many tree plantings are also noted along the trail corridor. The trail corridor width is sufficient for the future trail development and the plantings along the sides of the trail corridor will enhance the trail user experience and add a buffer to the surrounding industrial site.

The following are a few questions and comments regarding the proposed plat:

1. At the north end of the trail corridor, it appears that the trail will cross another adjacent property before reaching the CR 50 right-of-way and cross highway into the Corcoran Community Park. What is the status of this adjacent property, what is the likelihood of an easement through the western portion of the parcel?
2. At the south end of the trail corridor, the trail ends at the road ditch of Larkin Road. Across the road are a number of single family homes. The Diamond Lake Master Plan route is intended to cross Larkin Road further west near the development entrance or a point further west. In order to keep the trail corridor on the approved route, Three Rivers would like to see the trail corridor easement extend to the development entrance drive on Larkin Road, or a point further west of the entrance. The existing and proposed grades and infrastructure along the Larkin Road right-of-way, and planned improvements along the southern parking lot, do not look conducive for a trail without some other changes. Though not preferred, Three Rivers would consider a route partially through the middle of the development.
3. Maintain a maximum 5% running slope and minimum 100' horizontal radius along the trail corridor.

Please let me know if you have any questions or would like to discuss these comments in person.

Thank you again for the opportunity and your continued cooperation and partnership regarding regional trails in Corcoran.

Sincerely,



Stephen Shurson, Landscape Architect

To: City of Corcoran – Staff, Planning Commission, & City Council & Residence of the City of Corcoran.

My name is Tom Feehan, my address is 20410 Larkin Road, located next door to the Schutte property. My wife Diane and I have lived at this address for about 15 years. Prior to that we lived on County Road 50 for about 15 years so, we have been Corcoran residents for about 30 years. We are also blessed to live on part of the original 50 acres my great grandparents John & Ellen Feehan homesteaded in the 1850s. My brother Dave, the family historian, believes my great grandparents found their way to what is now Corcoran because of a letter written by his sister (my great aunt) Ann Feehan Corcoran, wife of Patrick B. Corcoran, my great uncle.

Professionally, I am a licensed builder and home designer of 45 years.

I am here tonight primarily for personal reasons but also because of my family’s history and interest in how Corcoran is developed specifically around my family’s original homestead.



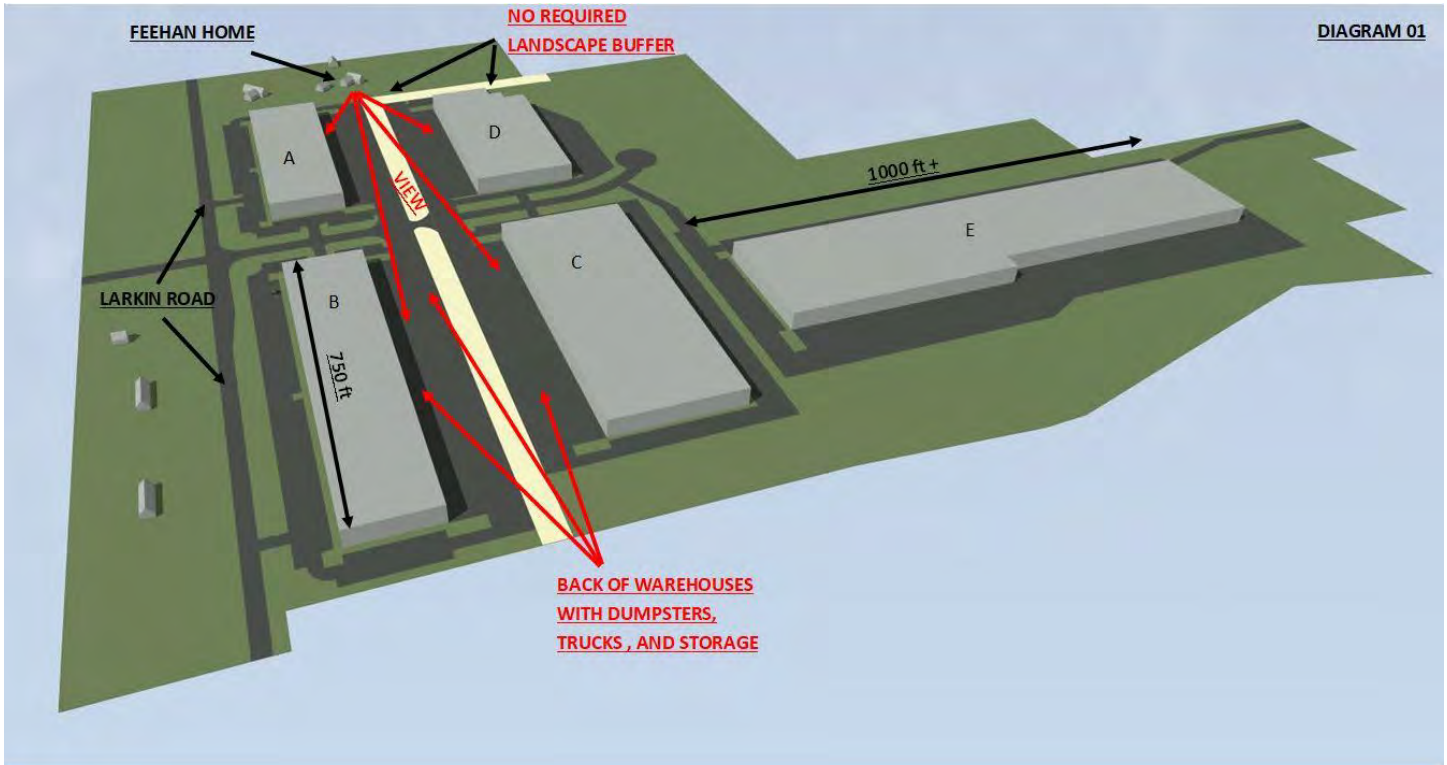
JOHN & ELLEN FEEHAN – FARMHOUSE – CTY RD 50

Regarding my personal interest:

I am not happy with this massive warehouse proposal for the Schutte property. For several years I have gone online to check the cities development plan, every time I checked, the Schutte property was listed as residential. However, recently a neighbor said he learned it had been re-zoned light industrial.

After speaking with the city and a member of the Schutte family, I learned this was being “guided” light industrial . . . and discussions between “the city” and the developer have been taking place for many months. As a resident and neighbor to the Schutte property it seems unfair that a major rezoning (re-guiding) of a large piece of property along with the co-planning of this development can occur without having to notify residents until just a few days ago. That however, isn’t to say I am necessarily opposed to the new classification. What I am opposed to is 5 massive concrete boxes as a transition between the existing downtown and the residentially zoned land to the west and south.

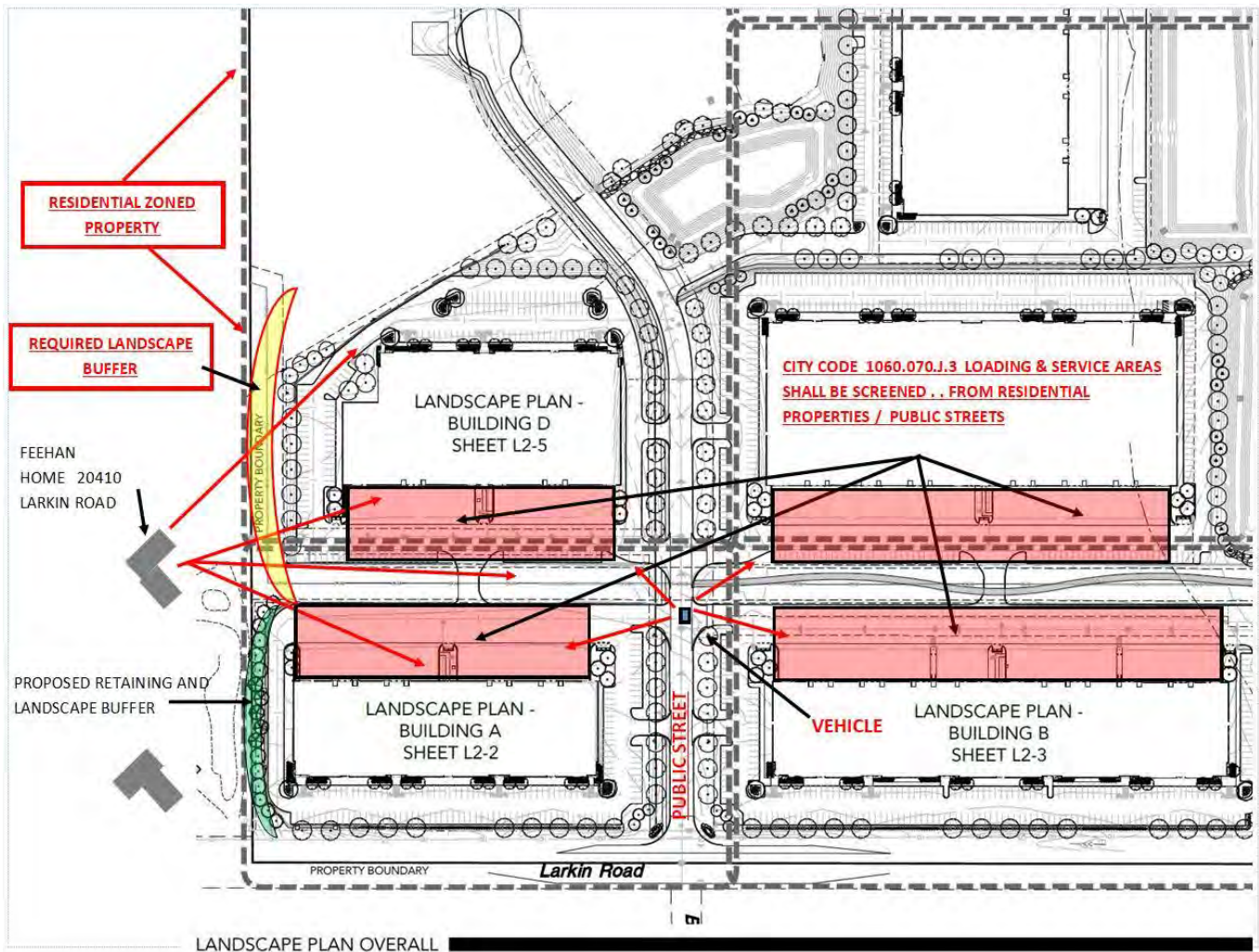
Regarding my personal home and property, please see diagrams 01 & 02 below showing a perspective and overhead of the proposed development along with my home and my neighbor's home. Please note just how small our homes look in comparison to these huge structures.



PERSPECTIVE VIEW— SCHUTTE PROPERTY  
EAST TO WEST

The proposed layout is flawed and results in my home looking down the “backside” of the warehouses where you typically see dumpsters, trucks, and storage.





Given the gas line and the fact that building labeled "D" is maxed out in size, (The entire proposed development is maxed out in size to the entire benefit of the developer) the developer is not allowing for any required landscape buffer to shield our home & residentially zoned property from this unsightly view. City Code 1060.070 J. 3. (attached) requires that all loading and service areas are to be screened from residential property and public streets. I'm not sure why there is a distinction between gravel surfaces and bituminous, but if surfaces were gravel, screening of 100 % opacity would be required. In my case, there are sections of my view where there is zero percent opacity. If this development proceeds in any form, this must be addressed.

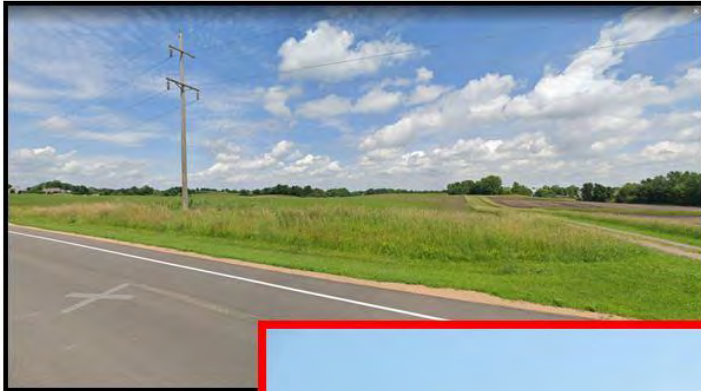


**BACKSIDE OF MAPLE GROVE WAREHOUSE**

This development “as proposed” will clearly hurt my property value as well as my neighbors –

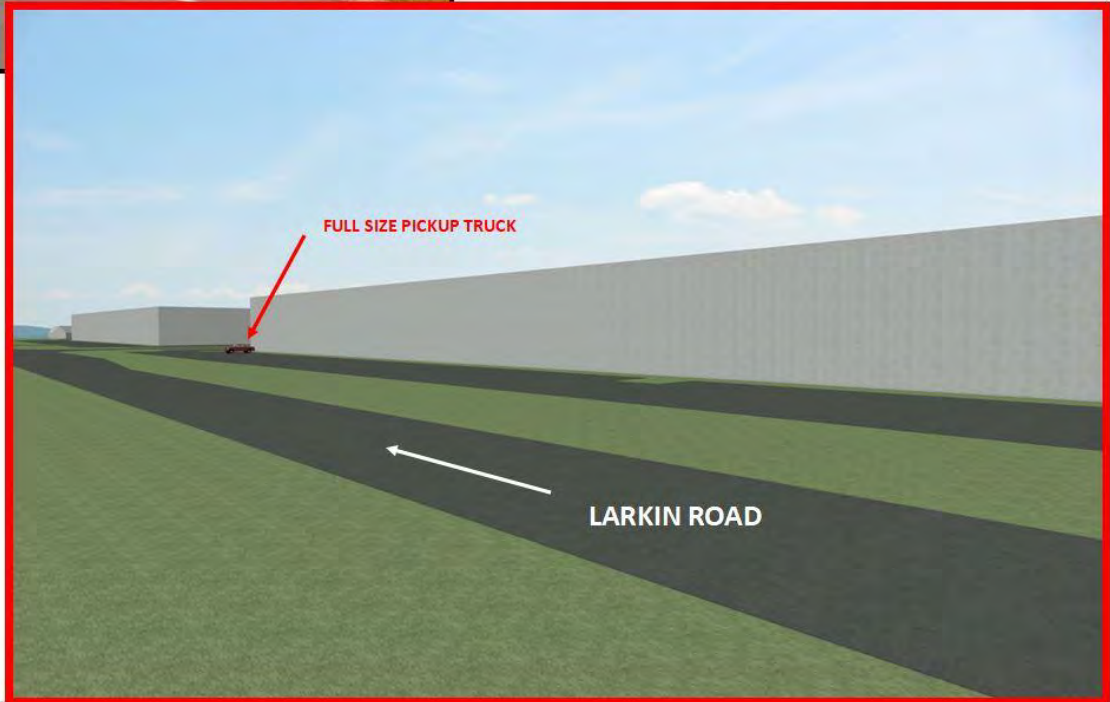
Regarding my neighbors: Please see Diagram the below.

Imagine having the view in the top left for 45 years and having that change to the view in the lower right. There must be a better answer. The view on the lower right was created to help understand the scale of these buildings.



VIEW FROM LARKIN ROAD LOOKING NORTHWEST

DIAGRAM 02

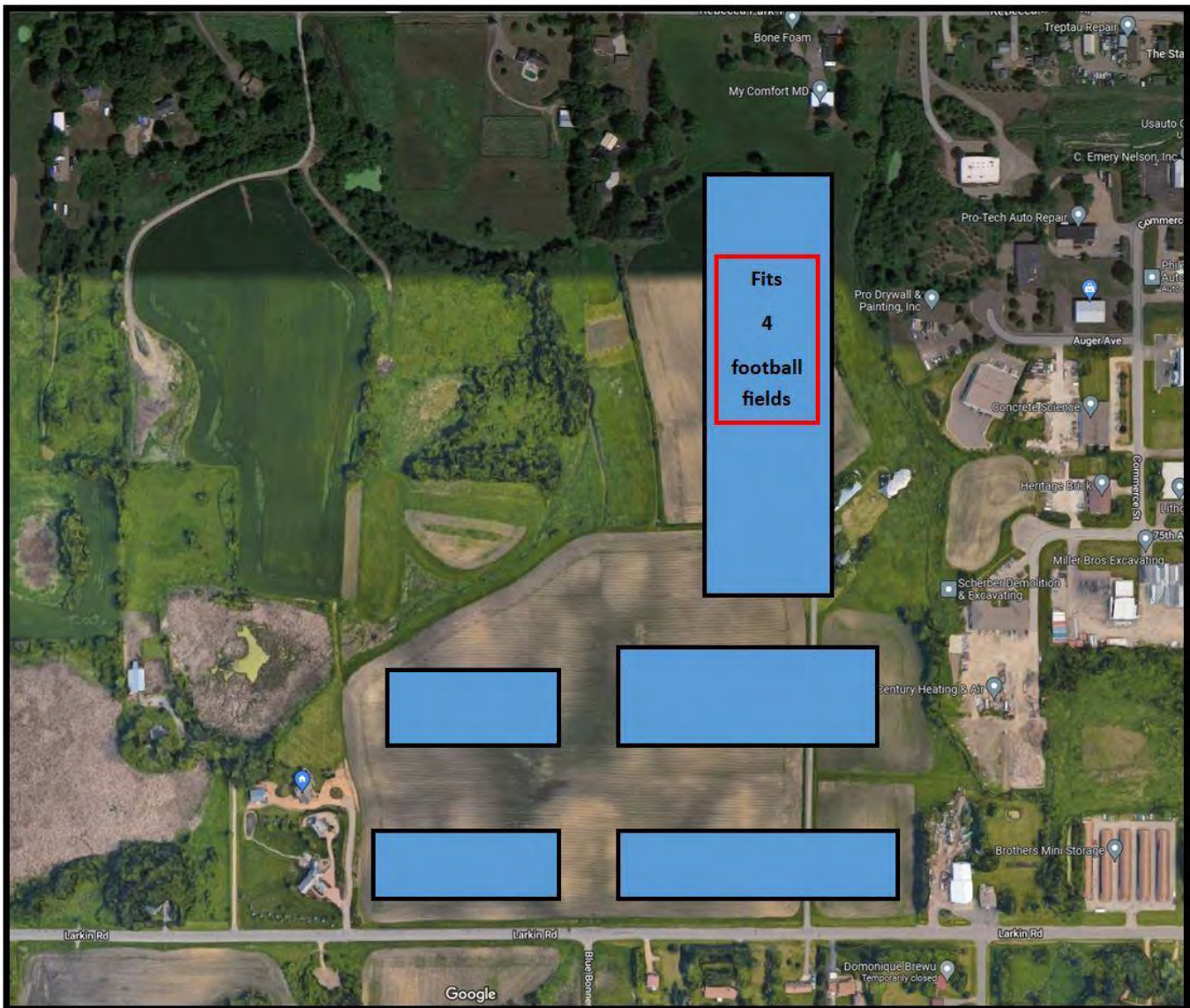




As for my general critiques:

Setting aside the Architects nice pictures for a moment, I'd like to help everyone get a better idea of the massive size and scale of these buildings.

The diagram below hopefully illustrates the huge differences between the existing buildings surrounding this site and what is being proposed. The largest proposed building could fit 4 football fields inside it . . .



**OVERHEAD VIEW**

NO SCALE

The largest building, as you know, is over 1000 feet long. Below is what 1000 feet looks like in real life. This is a building currently located just north in Rogers – also about 1000 feet long. How would you like this next to “your” home?



**OFFICE / WAREHOUSE LOCATED AT INTERSECTION OF  
BROCKTON LANE & SOUTH DIAMOND LAKE ROAD  
ROGERS MINNESOTA**

It is important to note that the Rogers warehouse shown above as well as the other warehouse buildings around it are accessible from new 4 lane roads unlike the JMMK proposal which uses Larkin Road, an existing 2 lane residential road. To be clear, the proposed extension of Blue Bonnet which is also a 2 lane public road will only serve the proposed development, most likely for the next 15 years, based on the 2040 Comp plan. Meaning for the next decade or more, Larkin Road serves as the approach road, not Blue Bonnet.

With Larkin Road essentially acting as the main access road for all intent and purposes, it will direct all future traffic including large trucks directly past existing homes with children who use school buses twice a day. As city staff noted, there is a potential access from 75th which currently comes through the existing commercial district. I believe this would be a far better option and it would also take the pressure off the intersection of Larkin and 116 – known to be a dangerous, even deadly intersection. Lastly, in reference to Larkin Road and in light of what I’ve already mentioned, it seems terribly unwise to be considering relaxing setback standards on the Larkin Road side of this development. This seems to only add insult to injury to the existing homes on the south side of Larkin Road.



Regarding the esthetics of these buildings:

There are many other options other than huge concrete boxes. Below are some suggestions:



Maple Grove office / warehouse 01



Plymouth office / warehouse 01



Maple Grove office / warehouse 02 front



Maple Grove office / warehouse 02 overhead / back

I believe these suggestions show how office / warehouse buildings can have a comparatively low profile and aesthetically offer a much better blend and transition between the existing Corcoran commercial district (downtown) and the residential areas to the south and west.

In Summary and final thoughts/questions:

- City Code requires residential properties and public streets to be screened from loading and service areas. My personal home has a clear view of the loading and services areas of the proposed development. And, as Blue Bonnet is a public street, passing cars will look directly at the “backsides” / loading & service areas of these buildings. It is not the responsibility of the city or me to determine how to accomplish full screening, it is the developers.
- Regardless of city code, setbacks, heights of buildings, etc., it seems wrong to allow these huge concrete structures to be built directly across Larkin Road from existing homes that have been there for over 40 years. There are much better options if this site is to be rezoned to light industrial.
- The general design of this development seems to max out every advantage for the developer. Specifically . . .
  - The building design is completely utilitarian – giant rectangular boxes which are oversized for the property not allowing for proper setbacks and required landscaping.
  - The utilitarian design is intended to maximize the number of warehouse companies rather than companies needing offices. This is accomplished by means of the giant box design and it’s important to recognize that 100 percent of the façade facing Larkin Road could be straight up warehouse with no office as depicted in the Architects rendering.
  - Regardless of initial city analysis of street access, this development proposes the easiest and cheapest solution directing potential large and numerous trucks down a residential road when access makes much more sense coming through the existing commercial district where no school buses travel.
  - Increased heavy traffic on Larkin Road will accelerate wear and tear likely leaving the cost of future upgrades of the road to taxpayers, not the developer. And, who pays for a new traffic light at the intersection of Larkin and 116 if that happens later. (hopefully not following a tragic accident)
  - As this proposed development is essentially a commercial HOA with the developer moving on following all sales, the cost to police this development will be left to taxpayers if/when owners don’t maintain buildings, landscaping, trash & litter, etc.?
- Question. Has the developer address all the concerns in the initial staff analysis report, e.g. reduced building size to account for required easements . . . .
- While the developer suggests that the lower grade elevation on the west side of the development will help shield the view of these huge buildings, this is only the case for the first 200 feet or so. In the case of my personal home, as proposed, I am simply being given a wide open perch from which to look down on the loading and service areas.
- Where does all the snow go?

Lastly, I understand that everyone is doing their best. Developers want to develop, and they do their best to offer presentations that depict their proposal in the best light possible. The City of Corcoran has a wide range of duties and responsibilities, not the least of which is developing a good tax base making projects like JMMK's likely seem very desirable. Of course, this is usually juxtaposed to cares and concerns of existing property owners and I believe the staff and elected officials care deeply about that as well. But, none of this should overshadow the serious deficiencies in this proposal in terms of what we all should want and hope for in regards to Corcoran's future. I believe we are all counting on our city staff and elected officials to hold to the highest standards and demand "nothing but the best" for residents of Corcoran.

My hope is that this packet will be helpful and allow everyone to see a complete picture of what is being proposed . . .

. . . . and . . . please don't make me this guy in the process . . .

Mr. Fredrickson from the movie - UP





- I. Landscape Guarantee. All new plants shall be guaranteed for 2 full years from the time planting has been completed. All plants shall be alive and in satisfactory growth at the end of the guarantee period or be replaced per the approved plan. Security in the form of letter of credit or cash shall be provided to guarantee the installation per the approved plan.
- J. Required Screening and Buffering.
  - 1. Screening with the use of landscaping, fencing and walls should be accomplished with the existing topography where possible. When the existing topography prohibits effective screening, berming may be used.
    - a. Planting screens are the preferred method of screening. The planting screen shall consist of hardy trees that will provide a minimum of 80 percent opacity year-round. Planting screens shall contain a mix of overstory and understory plantings and a mix of deciduous and coniferous materials.
    - b. Fences or walls may be used in conjunction with landscaping to provide screening. When required for screening, minimum of 80 percent opacity shall be provided. No landscaping or screening shall interfere with driver or pedestrian visibility for vehicles entering or exiting the premises.
    - c. Earth berms may be used for screening when topography requires the earth berm to adequately screen the property. Berms shall not exceed 3:1 slope.
  - 2. Parking areas with 4 or more stalls shall be screened from properties guided or zoned residential and from public streets. Screening to a height of at least 3 feet shall be provided to screen vehicle headlights.
  - 3. Loading and service areas shall be screened from properties guided or zoned residential and from public streets.
- K. Building Setback Flexibility through Additional Landscaping. A reduction in the required front setback adjacent to arterial streets may be approved by the City Council if the applicant provides landscaping beyond the minimum requirements or preserves significant landscaping in this area. The required setback may be reduced up to 40 percent if the applicant provides a minimum of one overstory deciduous tree, one overstory coniferous tree, 2 ornamental trees and 10 understory shrubs per 100 feet of the length of the property line where the flexibility is requested, or preserves the equivalent amount of existing trees and shrubs. These



entire parking lot and shall be surfaced with asphalt, concrete, or other surface as approved by the City Engineer. Such areas shall be graded and drained to dispose of all surface water without damage to adjoining property. These requirements shall also apply to open sales lots.

- B. Gravel Parking Lots. Gravel parking lots shall be prohibited in all areas of the City except in the Rural Commercial (CR) zoning district. Gravel parking lots may be provided in the CR district, if all of the following standards are met:
1. The City Engineer has reviewed the grading plan and finds that surface water is managed in compliance with City and State requirements.
  2. A dust control program is provided by the landowner and approved by the City Council.
  3. Handicapped accessible routes are provided on site in compliance with State and Federal requirements.
  4. The gravel parking areas are fully screened to a height of 3 feet from the public streets and adjoining properties.
  5. The commercial development requiring the parking is seasonal in nature (operates 9 months or less per calendar year).
  6. Landscaped areas equal to 10 percent of the lot area shall be provided in parking lots that contain space for 50 or more cars.
  7. When an existing business expands its structure by 10 percent or more or a change in use creates the need for additional parking spaces, the entire parking area shall be upgraded to meet the provisions contained within this subdivision.
  8. Areas designed for storage purposes only, which are fenced and properly screened, may be permitted to utilize other durable and dustless surface materials subject to the approval of the City Council.
  9. Off-Street Loading Areas. Loading areas established after March 23, 2004 shall be prohibited within 300 feet of residentially zoned or guided property unless completely screened by an intervening building. Loading areas not requiring screening by an intervening building shall be screened from adjacent residentially zoned or guided property by the use of berms, fences, or walls to provide 100 percent opacity to a height of at least 10 feet. The height of the screening shall be measured from the grade of the loading areas.

# STAFF REPORT

# Agenda Item 6b.

<b>Planning Commission Meeting:</b> October 6, 2022	<b>Prepared By:</b> Natalie Davis McKeown
<b>Topic:</b> Slabaugh Variance (City File 22-054) 9925 Ebert Road (PID 10-119-23-21-0014)	<b>Action Required:</b> Recommendation

**Review Deadline:** December 14, 2022

## 1. Application Request

Gideon and Heather Slabaugh, the applicants, requests a variance to expand the footprint of two nonconforming decks to allow for an upgraded, wraparound covered porch at 9925 Ebert Rd.

## 2. Background

The original home on the property was built in 1943 before the existing zoning regulations were adopted. Therefore, there are a few areas where the house was considered a legal nonconformity. The house did not meet the 25' side setback requirement applicable to the north property line or the 50' front setback from the property line to the east (along Ebert Rd). The original home had a wooden deck of roughly 12'x12' that was also legal nonconforming as it was roughly 12' from the eastern property line where a 50' front setback is required for front porches more than 120 square feet. Furthermore, there was a similar wooden deck on the south side of the house that was also located within the 50' required front setback from the east property line.



In December of 2021, a tree fell on the original home, and this led to a house fire requiring extensive repairs. As a nonconforming structure, the exact footprint of the structure is “grandfathered” in as a legal nonconformity, and the building permit to rebuild the house was issued earlier this summer. The applicants are attempting to make the best of the unfortunate circumstances by upgrading their home. Due to the nonconforming nature of their property, some of the proposed upgrades to enhance the amount of livable space on their property conflicts with the Zoning Ordinance. This will be discussed further in the analysis section of this report.

It is important to provide that the City updated the nonconformities section last year to include the following definition of “Expansion, Enlargement, or Intensification”:

*Any increase in a dimension, size, area, volume, or height; any increase in the area of use; any placement of a structure or part thereof where none existed before; any addition of a site feature such as a deck, patio, fence, driveway, parking area, or swimming pool; any improvement that would allow the land to be more intensely developed; any move of operations to a new location on the property; any increase in intensity of use based on a review of the original nature, function, or purpose of the nonconforming use, such as the hours of operation, traffic, parking, noise, exterior storage, signs, exterior lighting, types of operations, types of goods or services offered, odors, area of operation, number of employees, and other factors deemed relevant by the City.*

## **2. Context**

### *Level of City Discretion in Decision-Making*

The City's discretion in approving or denying a variance is based on whether the proposed project meets the standards for a variance in the Zoning Ordinance. The City has a relatively higher level of discretion with a variance request because the burden of proof is on the applicant to show that the variance standards are met.

### *Zoning and Land Use*

The property is zoned Rural Residential (RR), and the Comprehensive Plan designates the property as Rural/Ag Residential. The property is located outside of the Metropolitan Urban Service Area (MUSA). The present land use of the site includes a single-family residential home with a chicken coop.

### *Surrounding Properties*

All surrounding properties are zoned RR, guided for Existing Residential, and located outside of the MUSA. Most of the surrounding properties are used as single-family residences, but the property to the east is a non-homesteaded farm.

### *Natural Characteristics of the Site*

The Comprehensive Plan Natural Resource Inventory (NRI) map identifies a disturbed woodland along the northern property line. This area is not identified as a "High Quality Natural Community." A wetland delineation was not required for this request or building permit since the proposed house footprint was identical to the previous home. The Hennepin County Natural Resources Map (shown right) indicates probable (light blue) and potential (yellow) wetlands on the southern end of the site. The expected impact to any



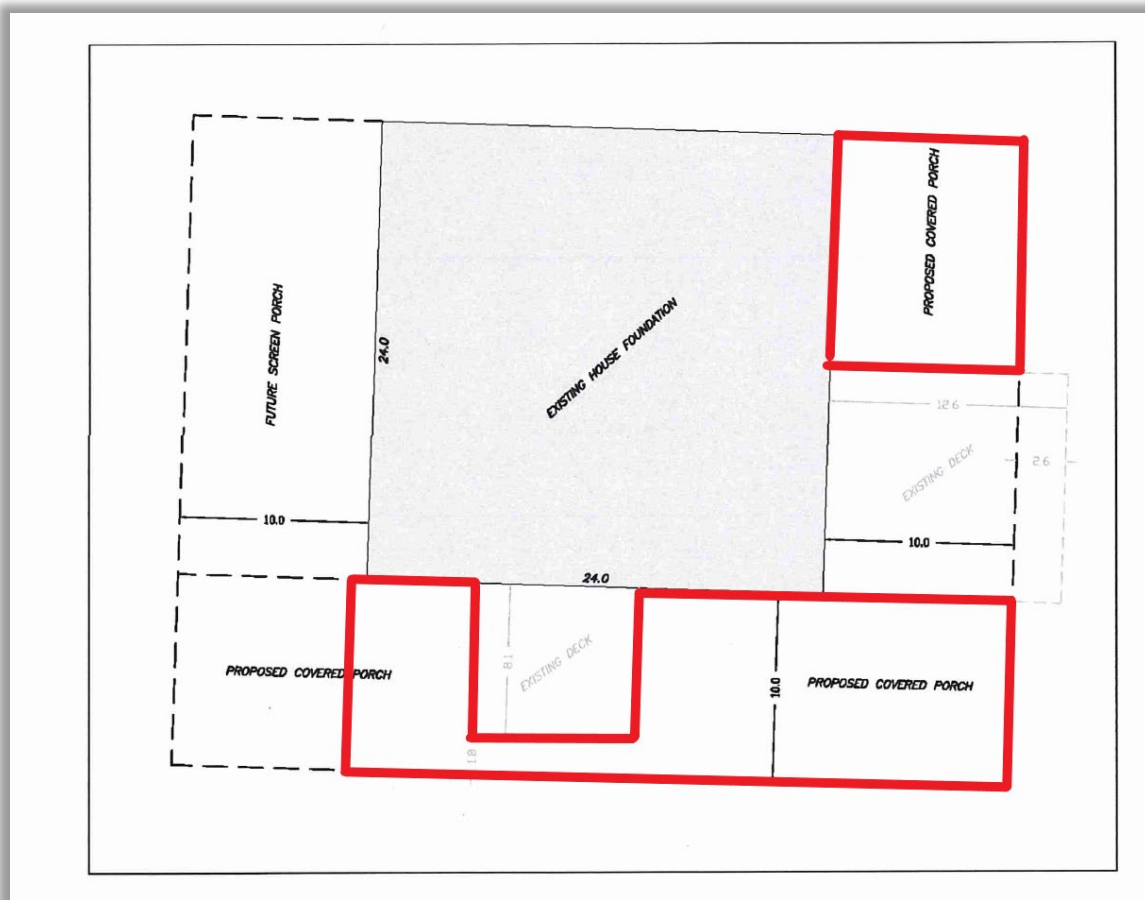


possible wetlands is minimal considering the house is located in the far northeast corner of the property.

### 3. Analysis

#### Variance

The applicants' desire to upgrade the wooden decks to a covered porch that wraps around the east, west, and south facades of the home. The newly added porch area on the western façade meets the required setbacks per the property survey submitted by the applicant. However, there are portions of the proposed porch along the eastern and southern facades that would meet the above definition of "expansion, enlargement, or intensification" as indicated in the red boxes on the image below.



Section 1030.010, Subd. 3(D) allows for the following administrative approval processes for the expansion of nonconforming single-family residential structures:

#### 1. Administrative Approvals

*The Zoning Administrator may approve the following expansions of legal nonconforming buildings and structures after a determination that the building*

*expansion will have no external negative impacts upon adjacent properties or public rights-of-way, and subject to the provision of Corcoran City Code Section 1070.060, Subd 3.:*

- a. *Expansion of buildings found to be nonconforming only by reason of height, yard setback, or lot coverage area may be permitted provided the structural nonconformity is not increased and the expansion complies with the performance standards of the Zoning Ordinance.*

The upgrade from a wooden deck to a covered porch would be approvable through the administrative process if the footprint of the porch was identical to the previous deck. However, the expansion of the deck's footprint to the north, south, and west does not meet the requirement for an administrative approval as the structural nonconformity is arguably increased. Prior to the added definition of "expansion, enlargement, or intensification," the interpretation of this same clause would have allowed a nonconforming structure to expand as long as it did not get any closer to the property line. For example, a front porch with a setback of 15' from the east property line, could be expanded to the north and south as long as the expansion was no closer than 15' to the property line. A porch expanded to be 13' away from the property line would not have been allowed, administratively or otherwise. However, with the newly added definition, the prior interpretation does not seem to apply since "*any placement of a structure or part thereof where none existed before*" is considered an expansion or increase of the nonconformity.

The applicants submitted a variance request in the hopes that the interpretation previously applied to similarly situated properties will be applied to their own home. The burden of proof is on the applicant to show that the following variance standards from Section 1070.040, Subd. 2(B) are met with their request:

1. *That there are practical difficulties in complying with the Zoning Ordinance.*

The League of MN Cities defines the following three-factor test for the term "practical difficulties":

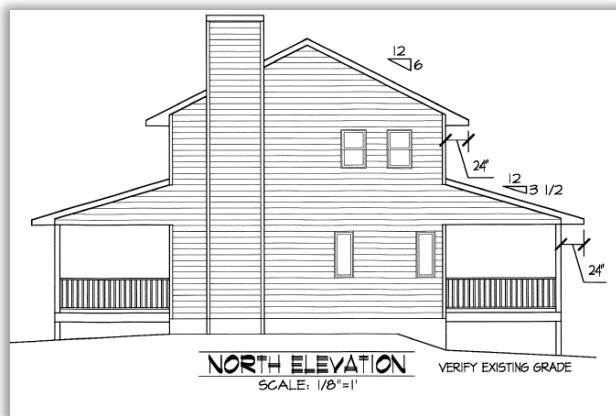
- a. The property owner proposes to use the property in a reasonable manner not otherwise allowed by the zoning ordinance;
- b. The plight of the landowner is due to circumstances unique to the property and not created by the landowner; and
- c. The variance will not alter the essential character of the locality.

Section 1070.040, Subd. 2(B) of the Zoning Ordinance specifies the last two factors as an individual standard. Therefore, staff utilizes the first standard to focus on evaluating the "reasonableness" of the request.

## **Favorable Arguments**

The Planning Commission could find that there are practical difficulties and the variance request is reasonable based on the following findings:

- A covered, wraparound porch is a reasonable residential use and is foreseeable in residential areas.
- The proposed porch is a reasonable way for the applicants to increase their usable living space.
- The proposed porch is open on the sides so that it has a similar impact as the previous wooden deck as opposed to an expansion of the house.
- The proposed covered porch is reasonable as it would not be located closer to Ebert Rd than the existing deck. In fact, the proposed plans show the covered porch will encroach 2' less than the wooden deck.



- The proposed covered porch would not be located closer to the northern property line than the existing northern façade of the house. The structure is reasonable as it will align with the façade of the house (see left).

- The proposed covered porch expansion is reasonable as it appears to be primarily motivated by a desire to upgrade their home and expand their usable space rather than economic considerations.

### Counterarguments

On the other hand, the Commission could determine that there are no practical difficulties and the variance request is unreasonable based on the following findings of fact:

- The expanded areas of the porch will increase the nonconformity with some portions of the porch being as close as 15' to the front property line along Ebert Rd, which is not even half the required setback for a porch of this size.
- The applicants could reasonably comply with the Zoning Ordinance by expanding their living space to the west.

2. *That the conditions upon which a petition for a variation is based are unique to the parcel of land for which the variance is sought and were not created by the landowner.*

### **Favorable Arguments**

The Planning Commission could conclude the variance is based on unique conditions of that site that were not created by the landowner based on the following findings:

- The placement of the house in relation to the lot lines far predates the setbacks required in the current Zoning Ordinance. The landowners did not create the nonconformity that limits their ability to reasonably expand their livable space.
- Due to the unique design and placement of the house, a covered wraparound porch is the most aesthetically pleasing option to add usable space to their small house with a foundation footprint of just 576 square feet.
- The applicants did not choose the original location of the house and had to rebuild in the same location in order to meet timelines set by their insurance company.
- If the Zoning Ordinance had not been updated to define “expansion, enlargement, or intensification,” then their upgraded porch would have been approved administratively. The update to the nonconformity section of the Code was finalized just one month prior to a fire that damaged their home extensively, neither of these events were foreseeable to nor caused by the property owners.

### **Counterarguments**

The Commission could find there are no unique conditions of the site and that there are circumstances created by the landowners based on the following findings:

- The size constraint caused by the nonconforming location of the home is not unique since there are other nonconforming structures in the City that do not meet required setbacks due to their construction prior to the establishment of the current Zoning Ordinance. In fact, the adjacent property to the north also contains a nonconforming structure due to setbacks.
- The original placement of the house is a site condition that is the result of a decision made by a previous landowner.
- The property owners could have chosen to rebuild their home in a location that allowed for a covered wraparound porch that complies with setbacks.
- The home and/or porch could be expanded for more usable space on the western side of the house while complying with the setbacks.

3. *That the granting of the variation will not alter the essential character of the locality.*



## Favorable Arguments

The Planning Commission could determine that granting the variance will not alter the essential character of the locality based on the following findings:

- The proposed porch would not be out of scale, out of place, or otherwise inconsistent with the surrounding neighborhood.
- There is minimal traffic on Ebert Rd, so few are likely to be impacted by or notice an expanded porch.
- The proposed porch will improve the aesthetic of the house from Ebert Rd.
- Inviting front porches and/or wraparound porches are consistent with characteristics of rural architecture, such as the Farmhouse style and Agrarian Rural style discussed as a strategy to promote the rural character of Corcoran within Appendix B of the Zoning Ordinance.



- Nonconforming structures are part of the essential character within the applicants' immediate neighborhood. The adjacent property, also served by Ebert Rd, was constructed in 1900 and is legally nonconforming due to its placement within the required front and side setbacks. Therefore, a reasonable expansion of a nonconforming porch that is within the established setback line for the original structure is unlikely to impact the essential character of the locale.
- The proposed porch is unlikely to impact the essential character of the locale because the porch will actually be placed 2' further back from the roadway as compared to the setback line of the original front deck.

- There are no nearby buildings on the property to the east across Ebert Rd, so this property is unlikely to be impacted by an expansion of the nonconforming porch.
- The house is in the far northeast corner of the lot and is not visible from Oakdale Drive (see the image below), which is a far busier road than Ebert Rd. Expansion of the porch will minimally impact the generous green space the property provides along Oakdale Dr, and therefore the rural character of the locality is unlikely to be negatively impacted.



### **Counterarguments**

The Planning Commission could conclude that granting the variance will alter the essential character of the locality based on the following arguments:

- While the porch itself is not out of scale, the porch is unusually close to Ebert Rd. The nonconforming front setback is out of scale with the majority of lots within the Rural Residential district. The expansion of the porch will increase the inconsistency.
- The expansion of the nonconforming porch within the required 50' front setback conflicts with establishing a greenway corridor along Ebert Rd, which is a strategy to preserve the rural character of the locale.

4. *The proposed variance would be in harmony with the general purposes and intent of the Ordinance.*

In evaluating this standard, it is important to understand why the City has setbacks and limitations on the expansion of nonconformities within the Zoning Ordinance. There are several intentions behind the practice of setbacks. For example, setbacks are a way to maintain view corridors, ensure green space, protect the standard drainage and utility easements along property lines, and provide adequate separation of structures from other structures as well as streets. Large front yard setbacks is used as a strategy to protect the rural character of Corcoran defined by open space and greenway corridors. The intent of the limitations to expand nonconformities within the Zoning Ordinance is to encourage eventual compliance with the prevailing Ordinance as the site redevelops.

### **Favorable Arguments**

The Planning Commission could determine the variance is in harmony with the general purposes and intent of the Ordinance based on the following findings:

- The expanded porch is open on the sides which generally preserves the existing sight lines of the original wooden decks. The expansion will not reduce visibility in the immediate area.
- The expanded porch will move the porch 2' further away from Ebert Rd, which is a step towards compliance on the site.
- The recorded drainage and utility easements are not impacted by the location of the expanded porch.
- The view corridor along Oakdale Dr is maintained if the variance for an expanded porch is granted.
- The variance is in harmony with the Zoning Ordinance's general purpose to conserve the natural, scenic beauty, rural character, and attractiveness of the Corcoran countryside.

### **Counterarguments**

The Planning Commission could determine the variance is not in harmony with the general purposes and intent of the Ordinance based on the following findings:

- If the setback's degree of nonconformity were to be expanded, this may conflict with the City's intention to require sufficient structure separation from the roadway and the neighboring property's structures. In this case, the structure will be unusually close to the neighboring property's house to the north which is also closer than normal to the shared property line.
- Further expanding the porch will reduce the amount of green space along Ebert Rd.
- Granting the variance for expansion of a nonconforming setback will grant perpetual protections to the nonconformity. This conflicts with the City's intention

to encourage compliance with the prevailing Zoning Ordinance as a site redevelops.

*5. The variance is consistent with the Comprehensive Plan.*

**Favorable Arguments**

The Commission could determine the variance is consistent with the Comprehensive Plan based on the following findings:

- Wraparound porches are a known feature of rural architecture. The variance is consistent with the Comprehensive Plan's vision statement which stresses the importance of (and the desire to) protect the rural environment and rural character of Corcoran.
- The Rural/Ag Residential land use designation is partially defined by natural areas. This request to expand the porch will minimize the impact to natural areas as the change is similar to the existing footprint of the original structure concentrated in the northeast corner of the property; most of the site will be left in a natural state.
- By locating the porch 2' further away from Ebert Rd, there will be increased open space and green space in the front yard which is consistent with a guiding principle of the Comprehensive Plan.

**Counterarguments**

The Commission could determine that the variance is not consistent with a guiding principle of the Comprehensive Plan to provide protection of natural resources, open space, and rural character that define Corcoran's quality of life since there will be some impact to the previous green space along the southern and eastern façades of the house.

*6. The City may impose conditions on the variance to address the impact of the variance.*

The applicant is willingly proposing a porch that is setback 2' further from the property line along Ebert Rd than the original footprint of the wooden deck. The proposed structure is not within the City's drainage and utility easement, so there are no engineering or public works concerns to address. Additional landscaping seems unnecessary as there are several trees on the site already that screen the south and east façades of the house. Staff does not believe there are additional conditions to impose that will address the impact of granting the variance. The Commission could disagree with this finding and offer conditions that are in direct connection with the impact of granting the variance.

**4. Conclusion & Recommendation**

Staff finds that there are more arguments in favor of granting the variance than not. The request appears reasonable. The variance does not appear to be primarily motivated by economic considerations alone, but rather a desire to create desirable living space on their residential property as they work to make the best of an unfortunate situation. The property does have unique circumstances and physical conditions of the site that are beyond the applicants' control and create practical difficulties in complying with the Zoning Ordinance. It is unlikely that granting the variance will alter the essential character of the neighborhood. Generally, the variance appears consistent with the intentions of the Zoning Ordinance and Comprehensive Plan. This seems to be particularly true since similar expansions of nonconforming structures would have been approved administratively less than 1 year ago, and it was not the intent of staff to further restrict that approval process as an option for residential property owners intending to invest in their property for the foreseeable future. Therefore, staff recommends approval of the variance.

It is recognized that the Planning Commission could reach a different conclusion. Two resolutions are attached for this report for the Commission's consideration. The Planning Commission must determine if they believe the variance standards are satisfied.

- If the Planning Commission finds the variance standards are met, they should recommend Resolution 2022-A approving the variance.
  - o After selecting 2022-A, the Commission can recommend additional conditions to mitigate potential impacts of granting the variance. Proposed conditions must have a direct nexus with the impact of granting the variance.
- If the Planning Commission finds the variance standards are not met, they should recommend Resolution 2022-B.

### **Attachments:**

1. Draft Resolution 2022-A Approving the Variance
2. Draft Resolution 2022-B Denying the Variance
3. Applicant's Narrative
4. Property Survey
5. Proposed Plans with Covered Porch
6. Engineering Memo

**RESOLUTION NO. 2022-A**

**Motion By:**  
**Seconded By:**

**A RESOLUTION APPROVING A VARIANCE FOR A COVERED PORCH TO ENCROACH  
WITHIN THE SIDE AND FRONT YARD SETBACKS AT 9925 EBERT ROAD  
(PID 10-119-23-21-0014) (CITY FILE NO. 22-054)**

**WHEREAS**, Gideon and Heather Slabaugh (“the applicants”) requested approval of a variance to allow a covered porch to encroach within the required front and side yard setbacks on property described as follows:

*See Attachment A*

**WHEREAS**, the Planning Commission reviewed the variance request at a duly called public meeting and recommends approval of the variance, and;

**NOW, THEREFORE, BE IT RESOLVED** that the Corcoran City Council approves the request for a variance subject to the following findings and conditions:

1. The applicant requested a variance for a covered porch to encroach up to 35 ft. of the front yard setback along Ebert Rd and up to 1.6 ft. of the side yard setback along the northern property line as shown on the application materials received by the City on August 16, 2022.
2. The City Council finds the standards are met for the variance as requested, based on the following findings:
  - a. There are practical difficulties in complying with the Zoning Ordinance. Upgrading and expanding the previous conforming wooden decks to a wraparound, covered porch is reasonable. The proposed porch will result in a slightly larger setback from Ebert Rd, and the setback from the side property line will align with the northern façade of the house. A covered wraparound porch is a reasonable use of residential property as well as a reasonable strategy to increase the usable living space of a house footprint constrained by the structures legally nonconforming setbacks. The sides of the porch are designed to be open for a similar impact as compared to the previous wooden decks. It appears the request is primarily motivated in the applicants’ desire to upgrade their home and living space and is not primarily based on economic considerations.
  - b. The conditions upon which the variance is requested are unique to the parcel and are not caused by the landowner. The placement of the house in relation to the lot lines far predates the setbacks required in the Zoning Ordinance. The existing landowners did not create the nonconformities that limit their ability to reasonably expand their livable space. Due to the unique design and placement of the house, a covered wraparound porch is the most aesthetically pleasing option to add usable space to the applicants’ relatively small house with a footprint of 576 square feet. The applicants did not choose the original location of the house and rebuilt the house as-is after a fire caused extensive damages in

**RESOLUTION NO. 2022-A**

order to satisfy time constraints outside of their control. Prior to a code update in 2021 that included a new definition of “Expansion, Enlargement, and Intensification”, the applicants’ expansion request would have been approved administratively. The update to the nonconformity section of the Zoning Ordinance was finalized just one month prior to the house fire, neither of these conditions were foreseeable to nor caused by the property owners.

- c. Granting the variance will not alter the essential character of the locality. The proposed porch would not be out of scale, out of place, or otherwise inconsistent with the surrounding neighborhood. There is minimal traffic on Ebert Rd, so few are likely to be impacted by or notice an expansion of the nonconforming porch. The proposed porch is expected to improve the aesthetic of the house from Ebert Rd. Inviting front porches and wraparound porches are consistent with characteristics of rural architecture desirable throughout the City. The character of the immediate surroundings of the property can be argued to include nonconforming structures that long predate the Zoning Ordinance as the other residential home served by Ebert Rd was built in 1900 and also has nonconforming setbacks from the front and side property lines. There are no nearby buildings on the property to the east across Ebert Rd. Therefore, a reasonable expansion of the nonconforming porch as requested by the applicants is unlikely to impact the essential character of the area. Further, the proposed porch is unlikely to impact the essential character of the locale because the porch will have an additional 2 ft. setback from the front property line along Ebert Rd. Lastly, the house’s location in the far northeast corner of the property means the house is barely visible from Oakdale Dr, which accommodates far more traffic than Ebert Rd. The proposed expansion will result in minimal alterations to the open green space provided by the property along Oakdale Dr.
- d. The variance is in harmony with the general purposes and intent of the Ordinance. The expanded porch is open on the sides which will generally preserve the existing sight lines of the original house, and visibility in the immediate area is unlikely to be reduced. The expanded porch will be placed 2 ft. further from the property line along Ebert Road, which is an improvement to the site’s overall compliance with the Ordinance. The recorded drainage and utility easements are not impacted by the location of the expanded porch. The view corridor along Oakdale Dr will be maintained if the variance for an expanded porch is granted. The variance is in harmony with the Zoning Ordinance’s general purpose to conserve the natural, scenic beauty, rural character, and attractiveness of the Corcoran countryside.
- e. The variance to allow the covered porch is consistent with the Comprehensive Plan. Wraparound porches are a known feature of rural architecture, so granting the variance will be consistent with the Comprehensive Plan’s vision statement, which stresses the importance of protecting the rural environment and character of Corcoran. The Rural/Ag Residential land use designation is partially defined by natural areas. The applicants’ request to expand the porch will minimize the impact to natural areas as the expansion is closely tied to the existing footprint of the original structure and is concentrated within the northeast corner of the property. Most of the site will remain in a natural state. The additional 2 ft.



**RESOLUTION NO. 2022-A**

setback from Ebert Rd will provide increased open green space in the front yard, which is consistent with a guiding principle of the Comprehensive Plan.

3. The approving resolution must be filed at Hennepin County prior to release of the applicant's escrow account with the City.

**VOTING AYE**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

**VOTING NAY**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan, Jeremy
- Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this 27<sup>th</sup> day of October 2022.

\_\_\_\_\_  
Tom McKee - Mayor

**ATTEST:**

\_\_\_\_\_  
Jessica Beise – Administrative Services Director

*City Seal*

**RESOLUTION NO. 2022-A**

**ATTACHMENT A**

*LEGAL DESCRIPTION PER WARRANTY DEED, DATED May 22, 2018.  
(DOC NO. A10556082):*

*Lot Two (2), Block One (1), Ebert Addition,  
Hennepin County, Minnesota.*

**RESOLUTION NO. 2022-B**

**Motion By:**  
**Seconded By:**

**A RESOLUTION DENYING A VARIANCE FOR A COVERED PORCH TO ENCROACH  
WITHIN THE SIDE AND FRONT YARD SETBACKS AT 9925 EBERT ROAD  
(PID 10-119-23-21-0014) (CITY FILE NO. 22-054)**

**WHEREAS**, Gideon and Heather Slabaugh (“the applicants”) requested approval of a variance to allow a covered porch to encroach within the required front and side yard setbacks on property described as follows:

*See Attachment A*

**WHEREAS**, the Planning Commission reviewed the variance request at a duly called Public Meeting and recommends denial of the variance, and;

**NOW, THEREFORE, BE IT RESOLVED** that the Corcoran City Council denies the request for a variance subject to the following findings:

1. The applicant requested a variance for a covered porch to encroach up to 35 ft. of the front yard setback along Ebert Rd and up to 1.6 ft. of the side yard setback along the northern property line as shown on the application materials received by the City on August 16, 2022.
2. The City Council finds the variance standards are not satisfied for the variance as requested, based on the following findings:
  - a. There are no practical difficulties in complying with the Zoning Ordinance standards. The requested expansion is unreasonable as it increases the nonconformity with a setback as close as 15’ from the lot line along Ebert Rd, which is less than half the required front yard setback. The landowners could reasonably comply with the Zoning Ordinance by focusing the expansion of their living space along the west side of the home.
  - b. The conditions upon which the variance is requested are not unique to the parcel and were created by the previous landowners. The size constraint caused by the nonconforming location of the home is not unique since there are other nonconforming structures in the City that do not meet required setbacks due to their construction prior to the prevailing Zoning Ordinance. The original placement of the house is a site condition that is the result of a decision made by a previous landowner. The property owners could have chosen to rebuild their home in a location that allowed for a covered wraparound porch that complies with the setbacks. There are no physical constraints that prevent expansion of livable space along the western side of the house.
  - c. Granting the variation will alter the essential character of the locality. The expansion of the porch will increase the intensity of a structure that is already abnormally close to Ebert Road. The nonconforming setback is out of scale with

**RESOLUTION NO. 2022-B**

the majority of lots within the Rural Residential District, and the expansion of the porch will increase this inconsistency. The expansion of the nonconforming porch within the 50 ft. front setback conflicts with the establishment of a greenway corridor along Ebert Rd, which is a strategy to preserve the rural character of the locale.

- d. The variance would not be in harmony with the general purposes and intent of the Ordinance. If the setback's degree of nonconformity were to be expanded, this would conflict with the City's intent to require proper separation of the structure from the roadway and neighboring buildings. Further expanding the porch will reduce the amount of open green space along Ebert Road. Granting the variance for the expansion of a nonconforming setback will grant the property perpetual protections that conflict with the City's intention to encourage compliance with the prevailing Zoning Ordinance as a site redevelops.
- e. The variance to allow an expansion of a nonconforming porch is not consistent with the guiding principle of the 2040 Comprehensive Plan to provide protection of natural resources, open space, and rural character that define Corcoran's quality of life since there will be some impact to the previous green space along the southern and eastern façades of the house.

**VOTING AYE**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

**VOTING NAY**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan, Jeremy
- Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this 27<sup>th</sup> day of June 2022.

\_\_\_\_\_  
Tom McKee - Mayor

ATTEST:

\_\_\_\_\_  
Jessica Beise – Administrative Services Director

*City Seal*

**RESOLUTION NO. 2022-B**

**ATTACHMENT A**

*LEGAL DESCRIPTION PER WARRANTY DEED, DATED May 22, 2018.  
(DOC NO. A10556082):*

*Lot Two (2), Block One (1), Ebert Addition,  
Hennepin County, Minnesota.*

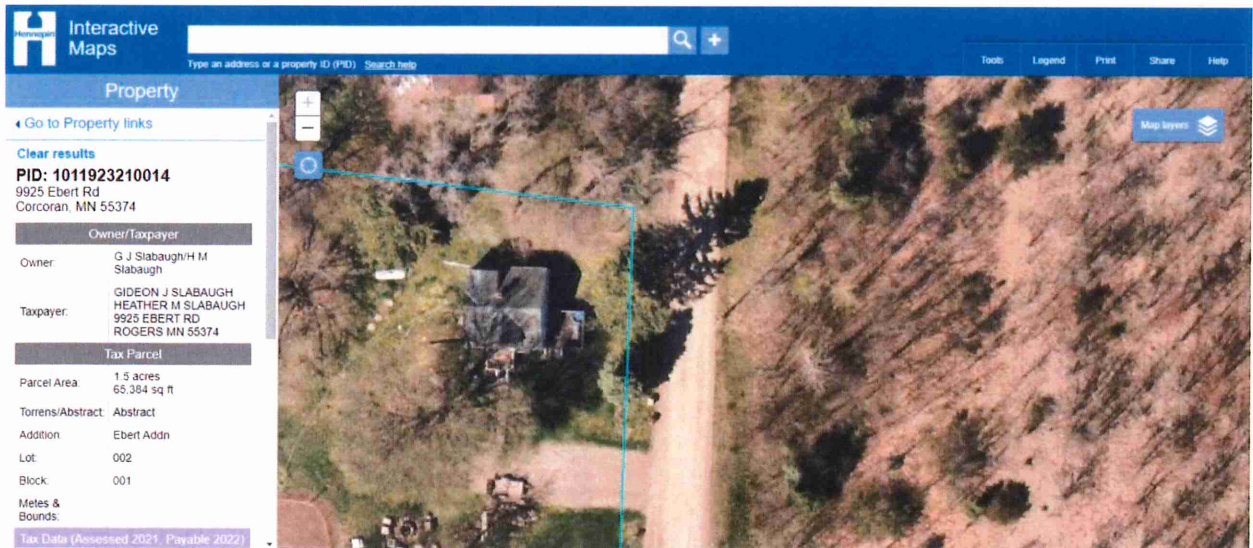
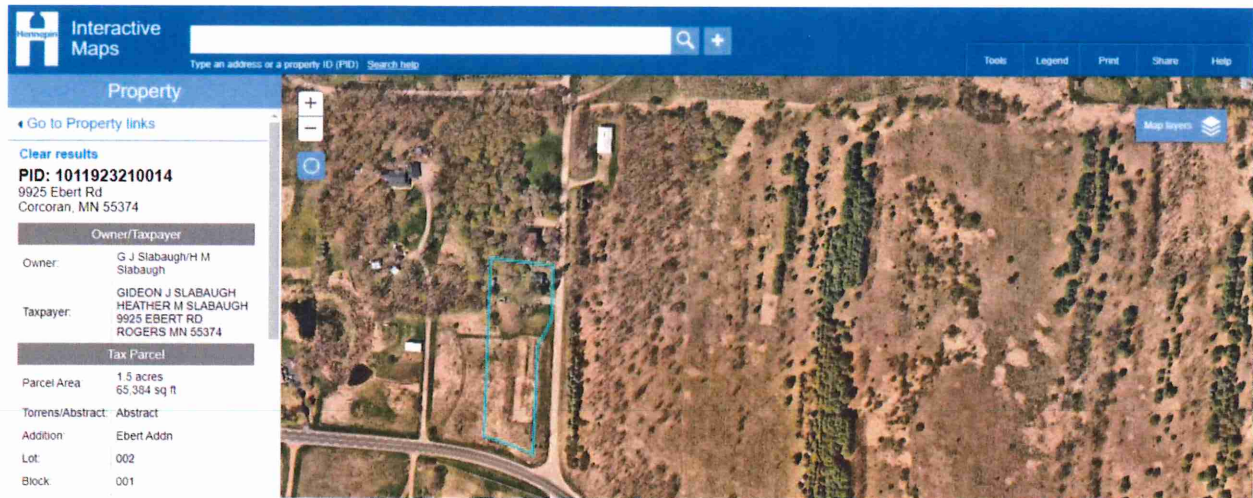
# VARIANCE APPLICATION EXHIBIT A

Property address: 9925 Ebert Road, Corcoran, MN 55374

## Description of Project

We own a one and one-half acre parcel that contains a small, 24 x 24 foot (approximately 1,000 finished square feet) house that was built in 1943. In December 2021, a tree fell in a storm and caused overhead electrical wires to start a house fire. We would like to use this opportunity to improve the interior and exterior of the home to make it more functional and aesthetically pleasing.

As shown in the following photo from Hennepin County GIS and in the enclosed construction plans, the house has an old 12 x 12 foot wooden deck on the east side. As part of the project, we would like to remove the old deck and install a new covered porch on the east, south, and west sides of the house.



### **Reason for Request**

Our house is a legal non-conforming use, because it is located within the 50-foot front yard setback and within the 25-foot side yard setback. We request a variance to allow improvement of the house by replacing the existing wooden deck on the east side of the house with a new covered porch on the east, south, and west sides of the house, to add usable area to the home. Adding the covered porch also will significantly improve the appearance of the house, as shown on the construction plans.

### **Compliance with Variance Criteria**

#### A. Practical difficulties

There are practical difficulties in complying with the setbacks in the Zoning Ordinance. Because our home is a legal non-conforming use, the setbacks prevent us from replacing the old deck with a new covered porch along the east, south, and west sides of the house to add usable area to the small house.

Due to the design of the house, adding a covered porch or similar addition is the only practical and aesthetically pleasing way to add usable area to the home.

#### B. Reasonableness

The proposed variance is reasonable, and it would be in harmony with the general purposes and intent of the Zoning Ordinance and consistent with the Comprehensive Plan. The proposed variance would facilitate the residential use of the property.

Because of the design of the house, a covered wrap-around porch on the front and sides of the house is the most aesthetically pleasing alternative to add usable space to the small house.

The proposed porch is open on the sides, generally preserving the existing sight lines.

The proposed covered porch would not be located closer to the road than the existing deck.

#### C. Uniqueness

Our property is unique because the house was constructed in the 1940's, before the current setbacks were established. We did not create these conditions.

The small house is located near the north and east boundaries of the large parcel. If the house was located closer to the center of the parcel, then no variance would be necessary.

The unique design of the house limits the alternatives for adding usable space to our small home.

#### D. Essential Character

The granting of the variance would not alter the essential character of the locality. The proposed porch would not be out of scale, out of place, or otherwise inconsistent with the surrounding area.

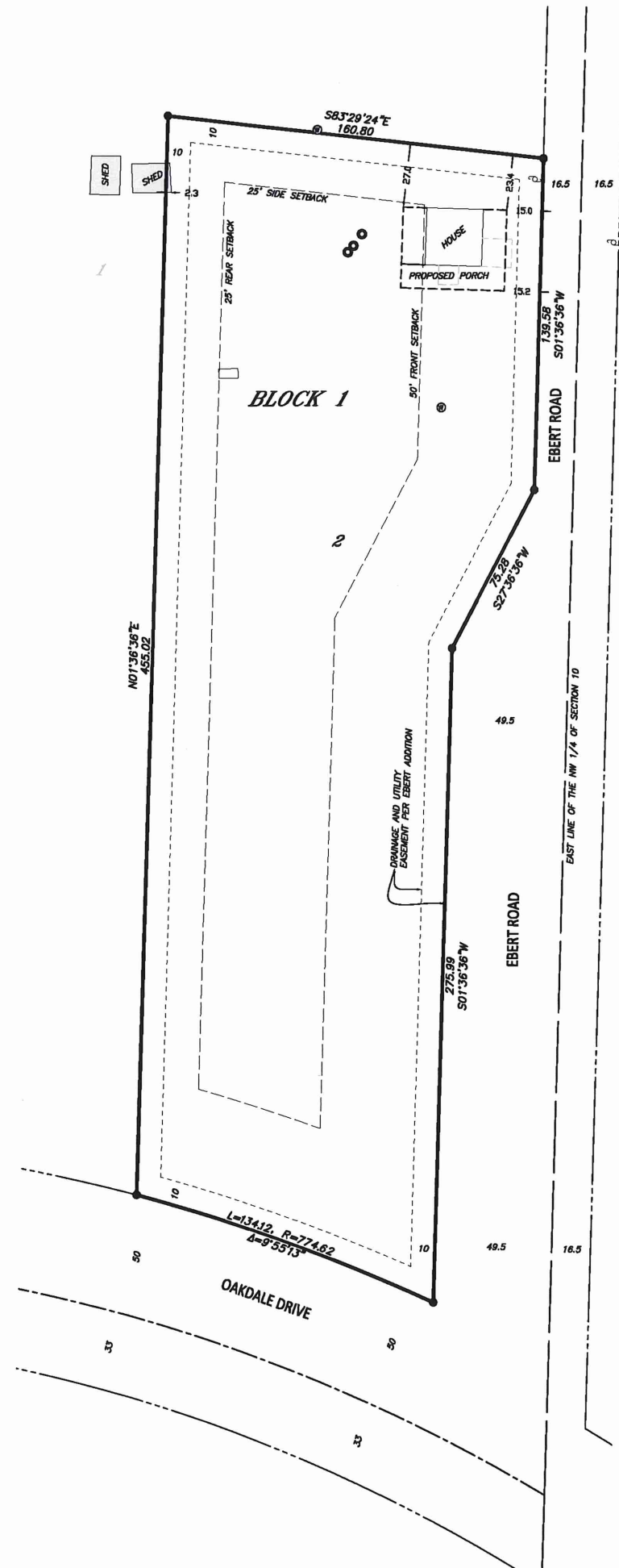
There is minimal traffic on the gravel road on the east side of the house, and the addition of the porch would improve the view of the house from the street.

As shown in the aerial photo above, there are no nearby buildings located across the street, and there are no uses across the street that would be affected by the addition of the porch.

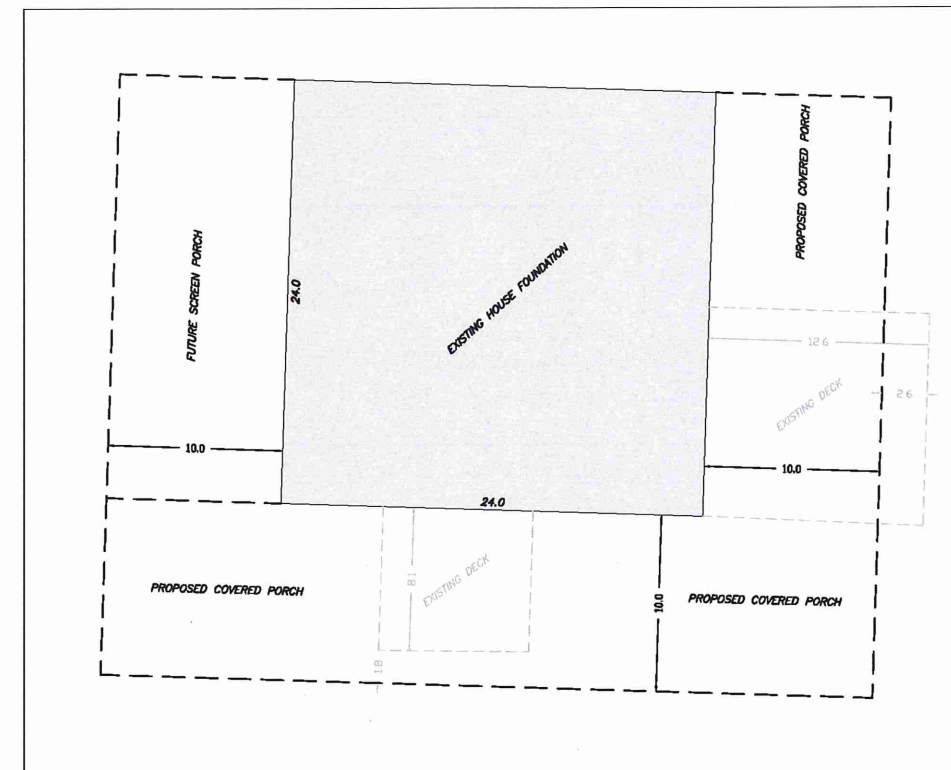


# CERTIFICATE OF SURVEY

SECTION 10, TOWNSHIP 119, RANGE 23  
HENNEPIN COUNTY, MINNESOTA

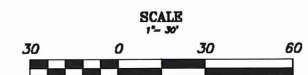


PROPOSED SITE PLAN  
SCALE=1:5



LEGAL DESCRIPTION PER WARRANTY DEED, DATED MAY 22, 2018.  
(DOC NO. A10556082):

Lot Two (2), Block One (1), Ebert Addition, Hennepin County, Minnesota.



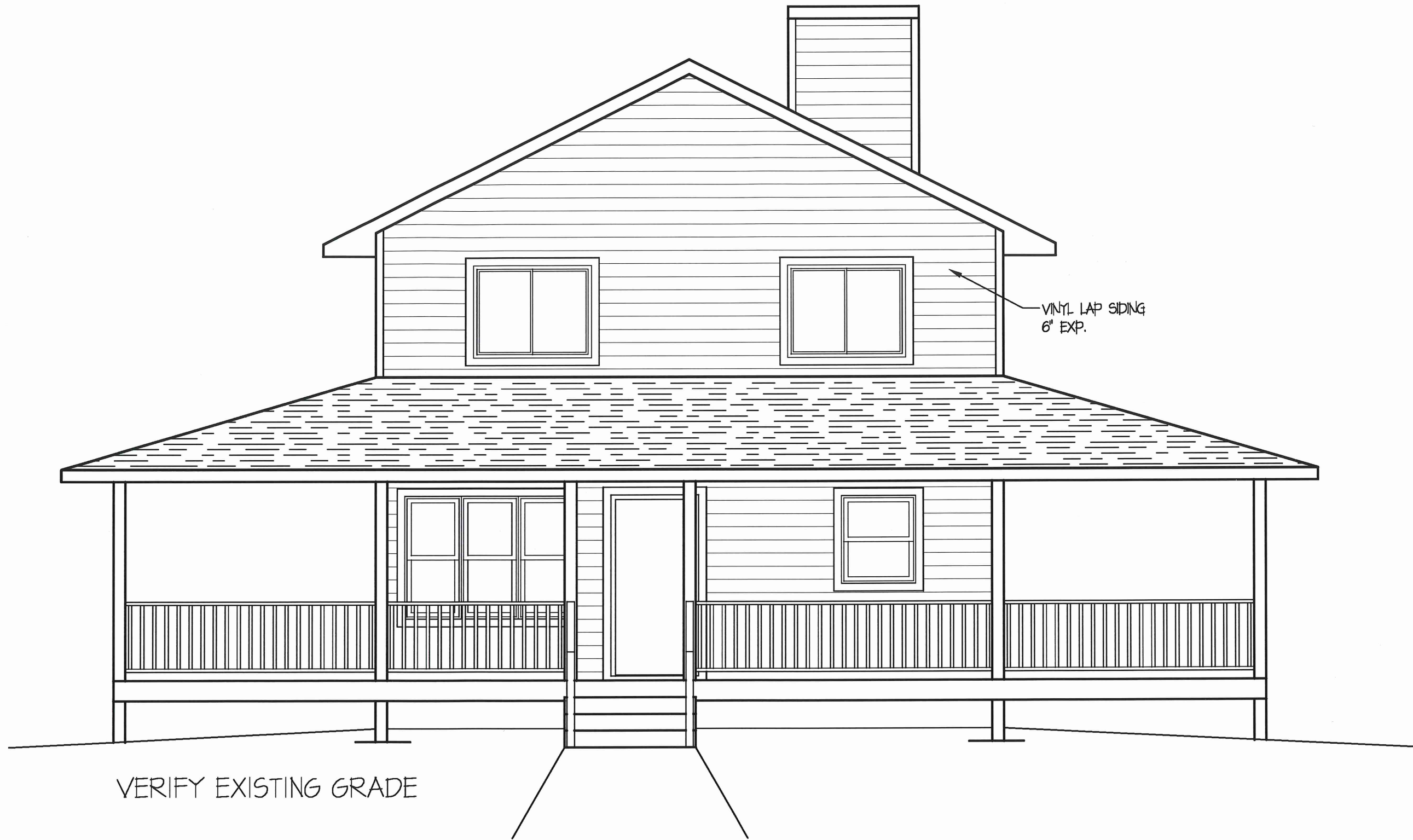
BEARINGS ARE BASED ON NAD83(2011)  
HENNEPIN COUNTY COORDINATE SYSTEM

- IRON MONUMENT FOUND
- SANITARY MANHOLE
- ⊙ WATER WELL
- ⊕ UTILITY POLE

Northwestern Surveying and Engineering, Inc. prepared this survey without the benefit of current title work. The property shown is based on a legal description provided by you the client or a general request of the appropriate County Recorder's office. Easements, site restrictions or adjoining deed conflicts may exist which affect subject property and are not shown by this survey. We reserve the right to revise the survey upon receipt of a current title commitment or title opinion.

	9925 EBERT RD. CORCORAN, MN 55374	JOB: 22053 DRAWN BY: JMK FILENAME: 22053_JMK TITLE: SURVEY PLAN DATE:	I HEREBY CERTIFY THAT THIS SURVEY, PLAN OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.
			KENNETH J. ANDERSON (L.S. NO. 8709) DATE: 8/11/22

ORIGINAL



VERIFY EXISTING GRADE

**SOUTH ELEVATION**

SCALE: 1/4"=1'

**STEVE'S DRAFTING  
& HOME DESIGN**

3100 Rhode Island Ave. S.  
St. Louis Park, MN 55426  
TEL (612) 221-5772  
FAX (952) 920-3722  
email: stevedrafting@gmail.com

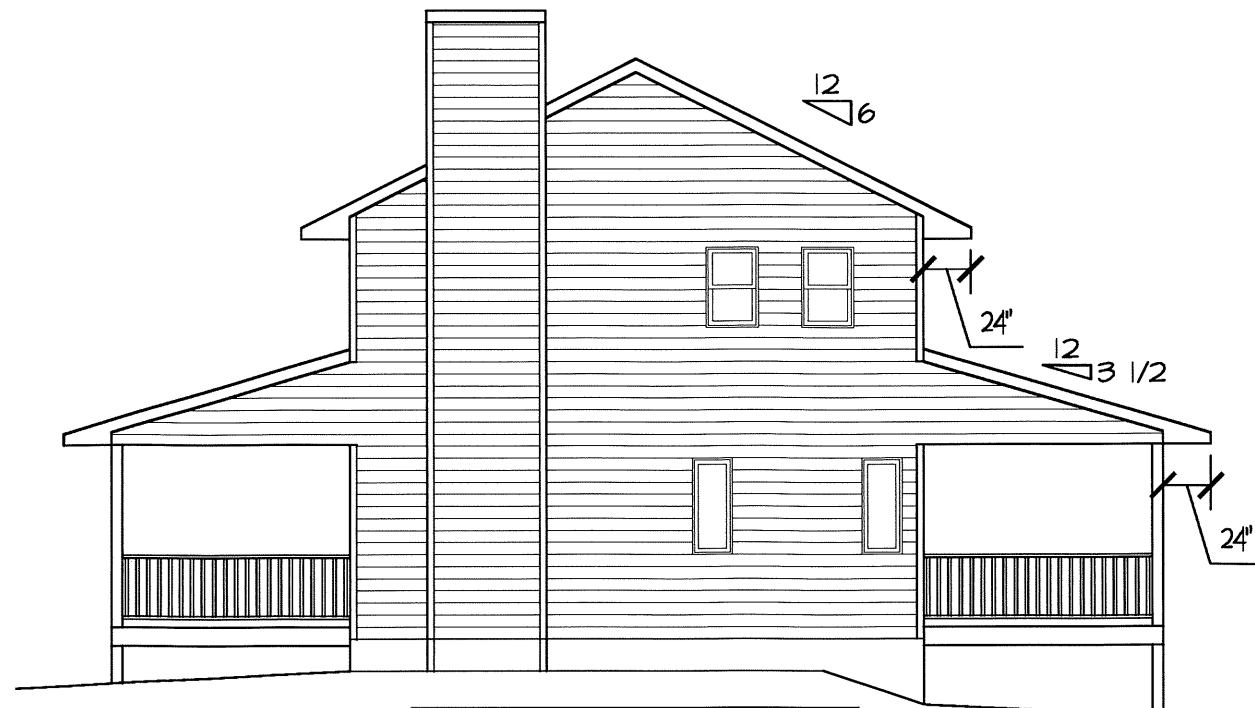
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6/15/22			1/4" = 1'		

REMODEL FOR:	GIDEON & HEATHER SLABAUGH	
LOT	BLOCK	COUNTY: HENNEPIN
DEVELOPMENT		
STREET ADDRESS		
9925 EBERT ROAD		
CITY, STATE		
CORCORAN, MN 55374		

STEVE'S DRAFTING & HOME DESIGN ASSUMES NO RESPONSIBILITY FOR STRUCTURAL OR DIMENSIONAL ERRORS OR OMISSIONS. THE CONTRACTOR AND/OR OWNER MUST VERIFY AND CHECK ALL NOTES, DETAILS, ELEVATIONS, SECTIONS AND FLOOR PLANS AND NOTIFY STEVE'S DRAFTING OF ANY ERRORS OR OMISSIONS FOR POSSIBLE CORRECTION PRIOR TO START OF CONSTRUCTION. NO WARRANTIES EXPRESS OR IMPLIED INCLUDING COMPLIANCE OF THIS PLAN WITH APPLICABLE BUILDING CODE REQUIREMENTS ARE MADE, EXCEPT THOSE IN WRITING SIGNED BY THE MAKER.

**CHRISTIANS, INC.**  
1480 PARK ROAD  
CHANDLER, MN 55311  
(952) 410-2001

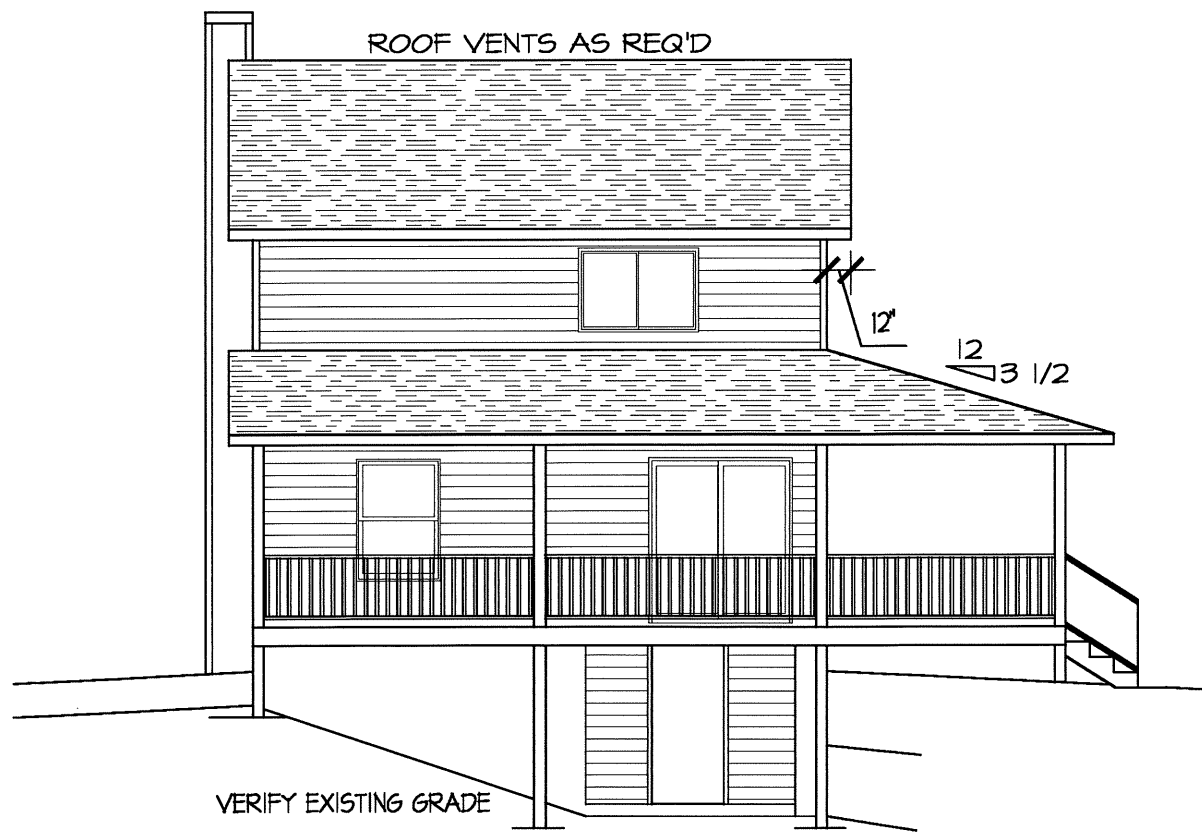
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		©2022
		STEVE'S DRAFTING & HOME DESIGN
	PLAN NUMBER	
	C202205	
	SHEET	
	1	
	OF	
	9	



**NORTH ELEVATION**

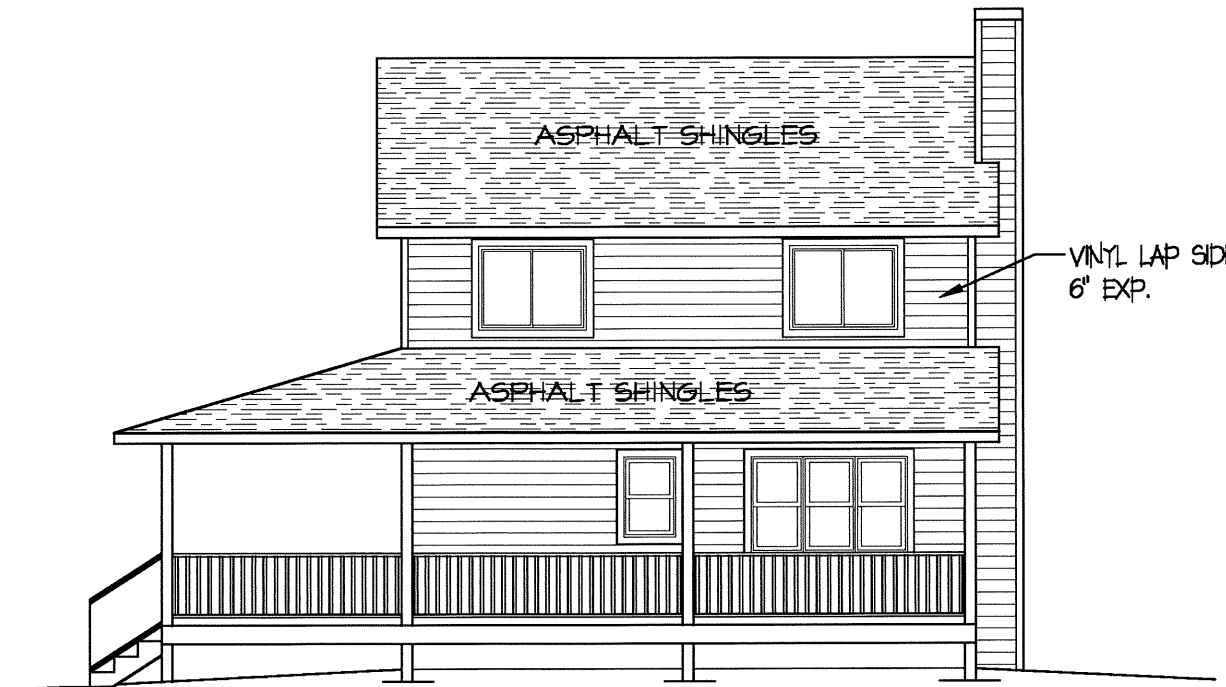
SCALE: 1/8"=1'

VERIFY EXISTING GRADE



**WEST ELEVATION**

SCALE: 1/8"=1'



**EAST ELEVATION**

SCALE: 1/8"=1'

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FAX (952) 920-3722  
email: stevedrafting@gmail.com

DATE	DRAWN BY	CHECKED
6/15/22		
SCALE	SQ. FT.	
1/4" = 1'		
REVISED		

REMODEL FOR:  
**GIDEON & HEATHER SLABAUGH**

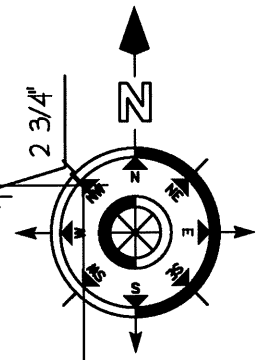
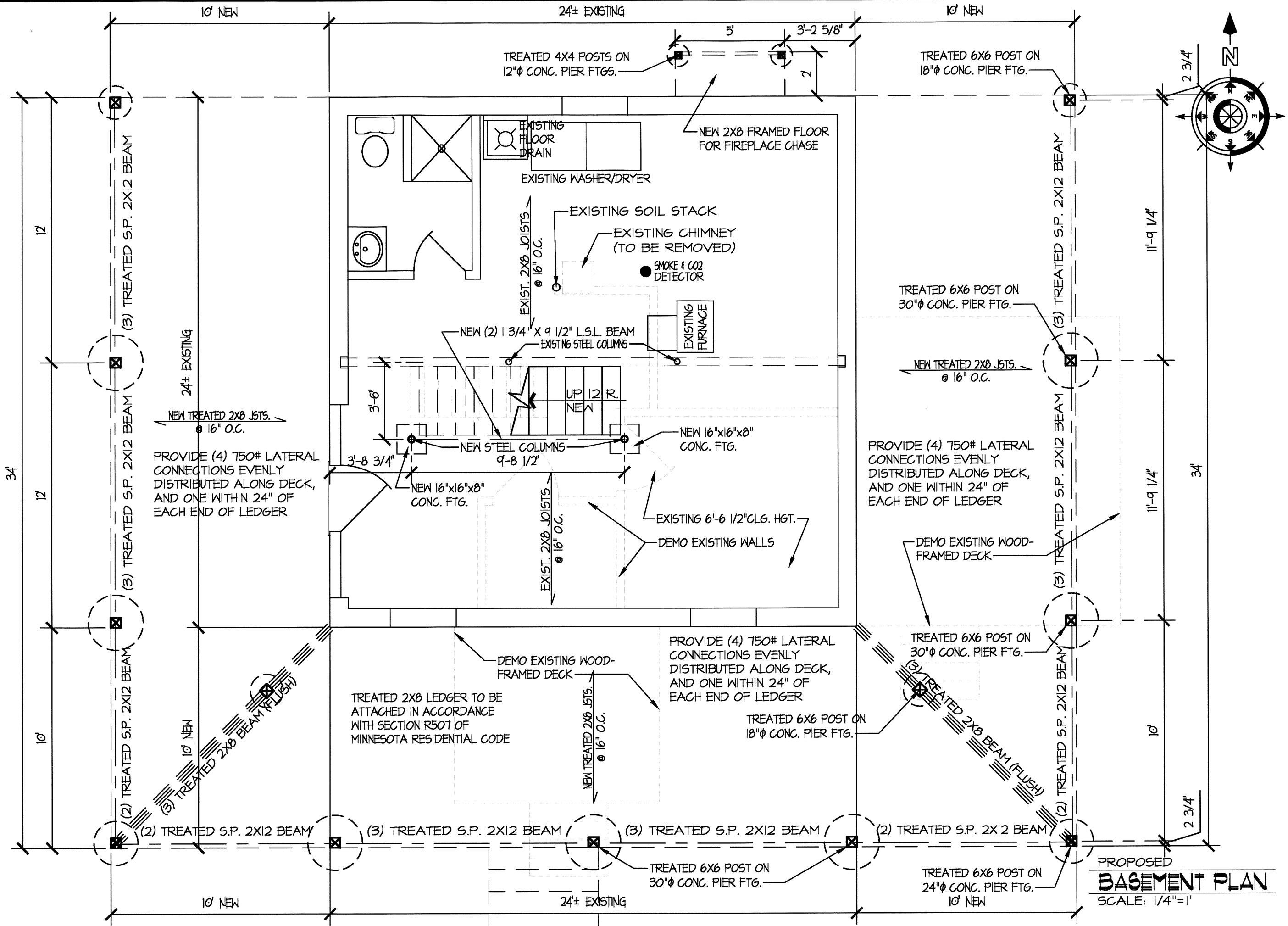
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DEVELOPMENT: \_\_\_\_\_

STREET ADDRESS:  
9925 EBERT ROAD  
CITY, STATE:  
CORCORAN, MN 55314

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SHEET DESCRIPTION <b>PROPOSED ELEVATIONS</b>	COPYRIGHT ©2022 STEVE'S DRAFTING & HOME DESIGN
	PLAN NUMBER C202205
	SHEET 2 OF



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email: stevedrafting@gmail.com

DATE	6/15/22
REVISION	
SCALE	1/4" = 1'
REVISION	

REMODEL FOR:  
**GIDEON & HEATHER SLABAUGH**  
LOT: [ ] BLOCK: [ ] COUNTY: HENNEPIN  
DEVELOPMENT:  
STREET ADDRESS: 5925 EBERT ROAD  
CITY, STATE: CORCORAN, MN 55314

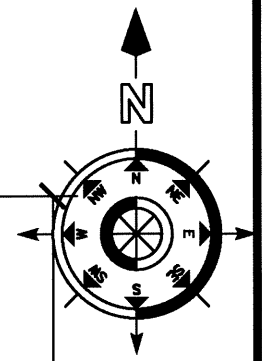
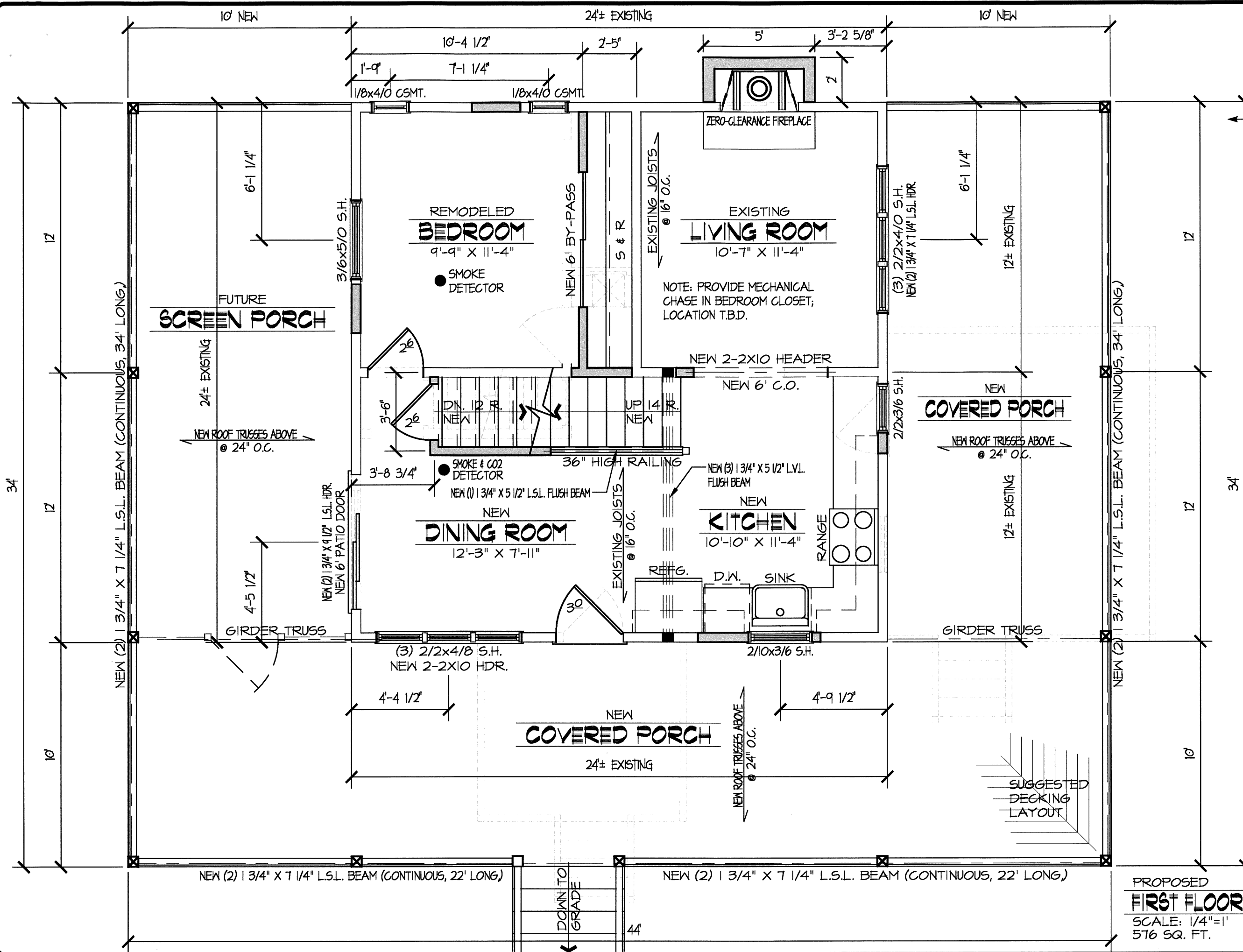
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(952) 470-2000

SHEET DESCRIPTION	<b>PROPOSED BASEMENT</b>
	9 SHEETS
COPYRIGHT	© 2022 STEVE'S DRAFTING & HOME DESIGN
PLAN NUMBER	C202205
DATE	6/15/22

PROPOSED  
**BASEMENT PLAN**  
SCALE: 1/4" = 1'





**STEVE'S DRAFTING & HOME DESIGN**

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St. Louis Park, MN 55426  
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FAX (952) 920-3722  
email: stevedrafting@gmail.com

DATE	6/15/22	DRAWN BY	STB
REVISIONS		SCALE	1/4" = 1'
		BQ. FT.	

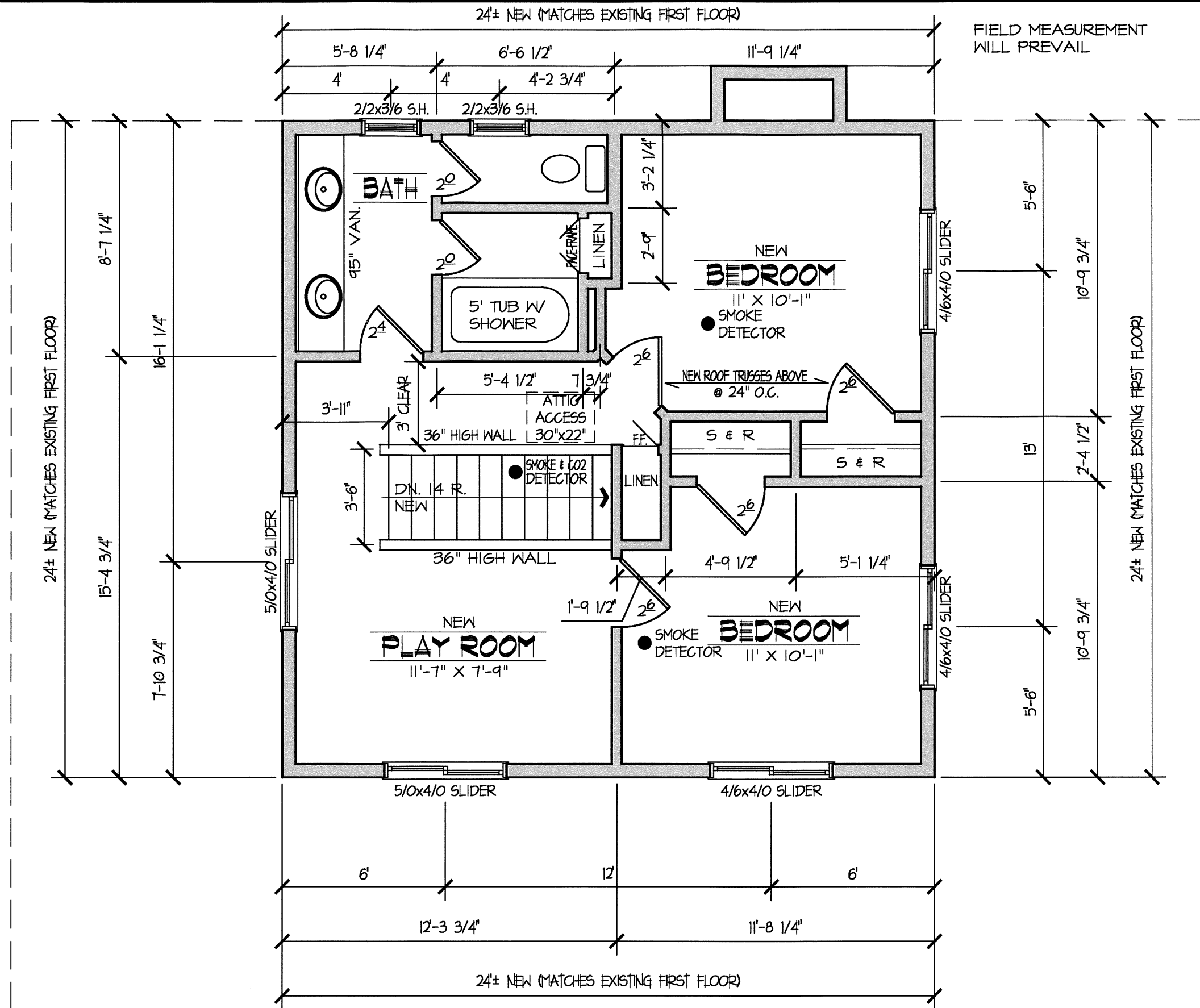
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LOT	BLOCK COUNTY: HENNEPIN
DEVELOPMENT	
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CITY, STATE	CORCORAN, MN 55314

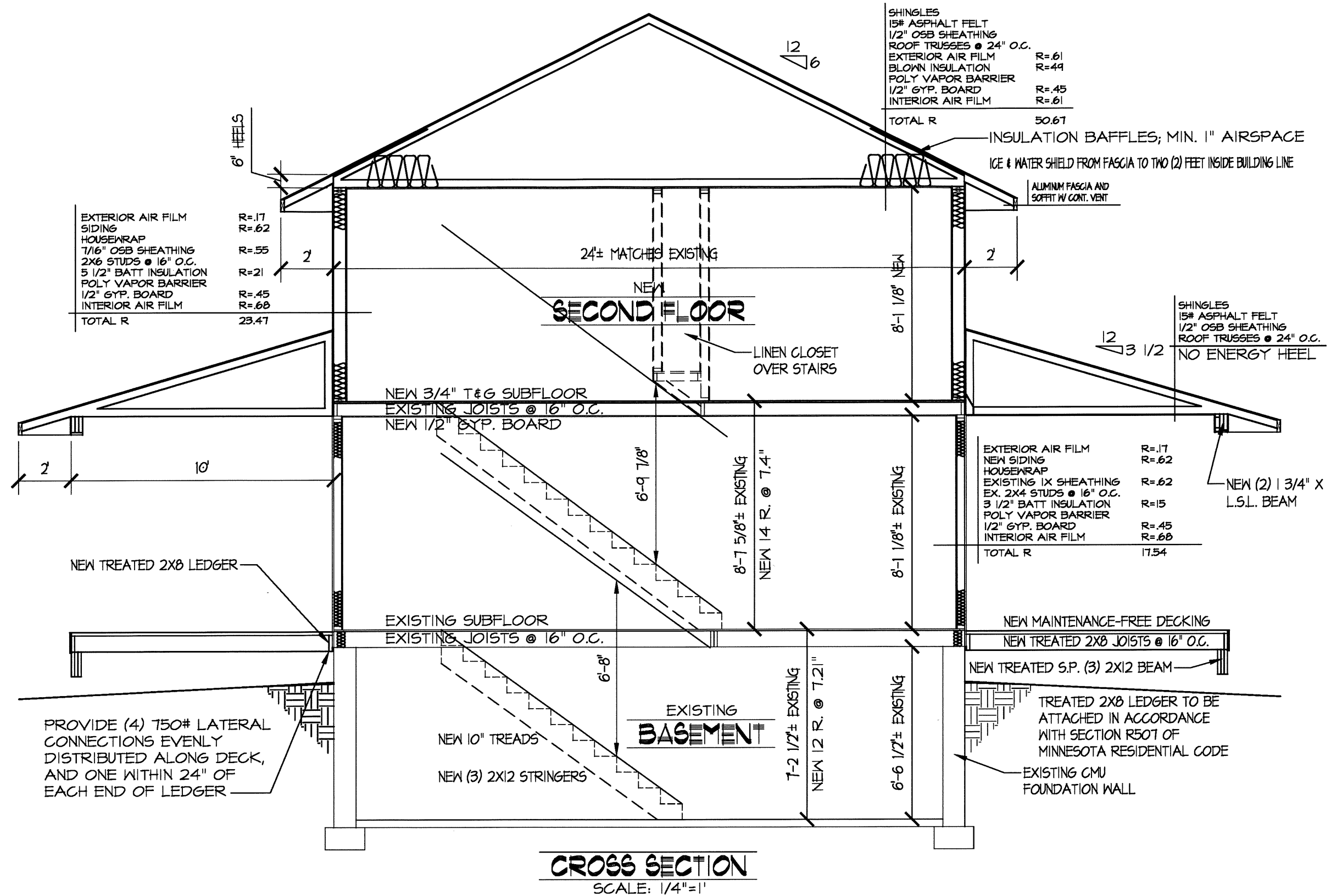
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**CHRISTIANS, INC.**  
1480 PARK ROAD  
CHANHASSEN, MN 55317  
(952) 470-2001

SHEET DESCRIPTION	<b>PROPOSED FIRST FLOOR</b>
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PLAN NUMBER	C202205
SHEET	4

PROPOSED  
**FIRST FLOOR PLAN**  
SCALE: 1/4"=1'  
576 SQ. FT.





DATE	6/15/22	REVISED
SCALE	1/4" = 1'	REVISED

REMODEL FOR:	GIDEON & HEATHER SLABAUGH		
LOT	BLOCK	COUNTY	HENNEPIN
DEVELOPMENT			
STREET ADDRESS	9925 EBERT ROAD		
CITY, STATE	CORCORAN, MN 55314		

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SHEET DESCRIPTION	<b>CROSS SECTION</b>
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	PLAN NUMBER C202205
SHEET	9



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To: Kevin Mattson, PE Public Works  
Director

From: Kent Torve, PE City Engineer

Project: Slabaugh Variance

Date: September 26, 2022

**Summary**

- The existing deck is outside the 10 foot easement and the proposed structure is further away (15 feet from the Ebert Road ROW). No public works or engineering items are affected.

# STAFF REPORT

# Agenda Item 6c.

<b>Planning Commission Meeting:</b> October 6, 2022	<b>Prepared By:</b> Natalie Davis McKeown
<b>Topic:</b> Tharp Accessory Structure CUP (City File 22-055) 20420 Duffney Circle (PID 11-119-23-31-0011)	<b>Action Required:</b> Recommendation

**Review Deadline:** November 12, 2022

## 1. Application Request

Shawn Tharp requests a conditional use permit (CUP) to allow an accessory structure of up to 7,530 square feet for personal use, such as storage of his motorhome, at 20420 Duffney Circle. Parcels of 10-acres or more within the Rural Residential District are allowed to request an accessory structure footprint that exceeds 3,969 square feet via a CUP. Additionally, all properties can request a CUP to exceed the sidewall height limit of 10' in the front yard. The applicant further requests flexibility to allow him to build the accessory structure in 2 phases over 5 years due to difficulties he is facing with securing labor and materials. The first phase of the building is anticipated to have a footprint of 60' x 90' in addition to a lean-to of roughly 330 square feet (5,730 square feet). The second phase would be to expand the building to a footprint of 60' x 120' in addition to the lean-to (7,530 square feet).

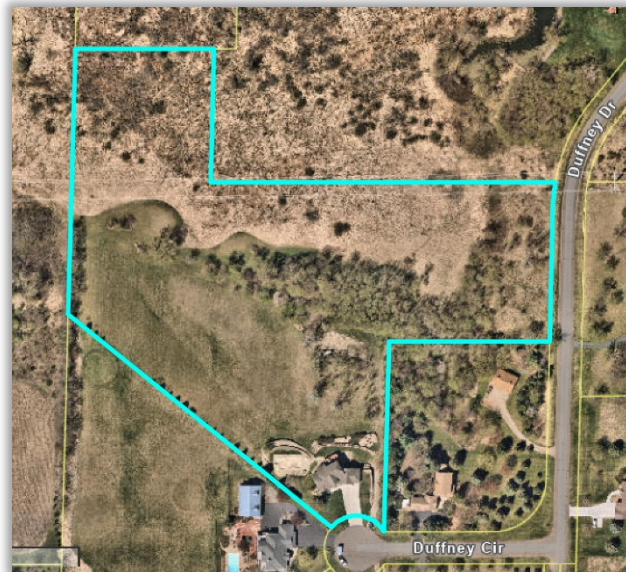
## 2. Context

### *Zoning and Land Use*

The property is zoned Rural Residential (RR), and the Comprehensive Plan designates the property as Rural/Ag Residential. The property is not located within the Metropolitan Urban Service Area (MUSA). The present land use of the site includes a single-family residential home with a pool but no detached structures.

### *Surrounding Properties*

The immediate surrounding properties are zoned RR, guided for Rural/Ag Residential, and located within the MUSA. This property is nearly adjacent the MUSA line and is



close to properties zoned as Urban Reserve with a Mixed Residential land use indicated on the 2040 Land Use Map.

### *Natural Characteristics of The Site*

The Comprehensive Plan Natural Resource Inventory (NRI) map indicates a Wet Prairie Community on the northern end of the property. This area is not highlighted as a High Quality Natural Community. The applicant had an uncertified wetland delineation completed that indicates there are low-quality wetlands along most of the northern end of the property. This is consistent with Hennepin County's Natural Resource Map (shown right) that indicates potential wetlands (dark and light blue) and probable wetlands (yellow). The proposed location of the accessory structure requires grading that goes directly up to the suspected wetland boundary indicated on the site plan.



## **3. Analysis**

Staff reviewed the application for consistency with the Comprehensive Plan, Zoning Ordinance, City Code requirements, as well as City policies. The City Engineer's comments are incorporated into this staff report, and the Engineering Memo is attached.

### A. Level of City Discretion in Decision-Making

The City's discretion in approving or denying a CUP is limited to whether the proposed plan is in substantial conformance with the standards outlined in the City Code. If it meets those standards, the City must approve the CUP.

### B. Consistency with Ordinance Standards

#### *Location*

Section 1030.020, Subd. 3 provides the location requirements for accessory structures. The proposed building will be in one of the property's two front yards, specifically the frontage along Duffney Drive. The plans show the structure meets the required 50' front setback and the 20' side setbacks. The building far exceeds the required building separation of 10' from the principal building and the rear setback of 15'. Since this

property was platted prior to the existing Zoning Ordinance, the property is not required to have wetland buffers, so there is no applicable setback from the wetland boundary.

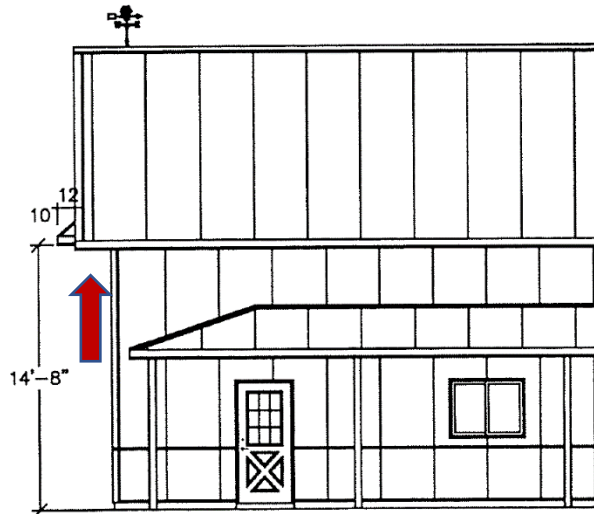
### *Size*

The submitted plans are consistent with size standards provided in Section 1030.020, Subd. 4 of the Zoning Ordinance. The property is 10.11 acres in size. Parcels of 10 acres or more are allowed an accessory structure footprint of 3,969 square feet by right. Additionally, parcels of this size can request to exceed this footprint through a CUP. This parcel currently does not have a detached structure. The applicant would like to move forward with the first phase of the expected building this November. This phase has an anticipated footprint of 5,730 square feet. However, the applicant is requesting the CUP be valid for a period of up to 5 years with a footprint of up to 7,530 square feet to account for the anticipated second phase of the structure. With no other structures on the property that count towards the footprint, this request would exceed the by-right footprint by 3,561 square feet. The CUP will be discussed in more detail later in this report.

### *Building Height*

The plans for the accessory structure reflect a sidewall height of 14'8" (as shown on the image below to the right). Accessory structures located in the front yard are allowed a sidewall height of up to 10' by right. However, all properties can request to exceed this height through a CUP, so the height of the building has been added as part of the CUP request.

Buildings with a sidewall height of more than 12' require a minimum eave of 12" and minimum overhang of 24". Unfortunately, the City Code does not specifically define eave or overhang, and often these terms are used interchangeably. Historically, staff interpreted eave to mean the underside, or soffit, of the roof along the side of the building. Overhangs have been interpreted to mean the edge of the roof overhanging the front and rear elevations. Under these interpretations, the plans show eaves of 24" but the overhang is not clearly dimensioned (shown right). The plans must be revised to clearly reflect an overhang of at least 24". This has been added as a condition of approval in the draft Resolution.



### *Architectural Standards*



The proposed materials comply with the standards for accessory structures outlined in Section 1030.020, Subd. 6 and Section 1060.050, Subd. 1(D). The architectural plans show the use of primarily hi-rib steel for the roof and siding as well as some hi-rib steel wainscot around the bottom of the building. Metal siding and roofing is allowed via a certificate of compliance if the materials meet the standards in the MN State Building Code and are treated with a factory applied color coating system to protect against fading. The applicant submitted color samples to show the metal will be coated with gray and black. The materials comply.

The building includes two overhead garage doors on the east façade of the building and an overhead garage door on the north and south façades as well. There are windows on each side of the building, and a single white door can be seen under the lean-to on the east façade that fronts Duffney Drive. The structure will be visible from Duffney Drive, but the lean-to provides a subtle aesthetic feature to help break up the mass of the structure on the side of the structure that will be most visible.



### *Landscaping*

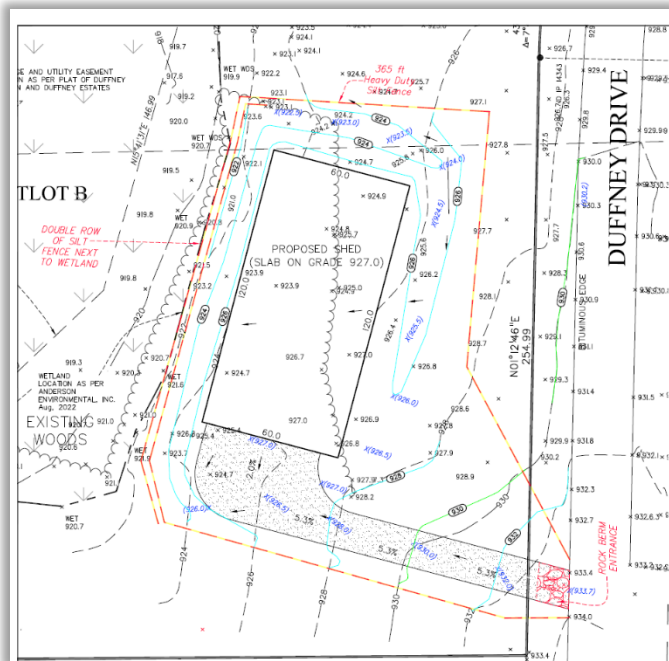
No landscape plan is required. There are existing trees in the vicinity of the proposed structure location (as indicated in the image at the top of p. 5) that will screen the structure from the adjacent properties to the north and south; although this screening appears to be mostly located on the neighbors' properties rather than the applicant's property. The applicant did not indicate how many trees or shrubs are anticipated to be removed from his property as a part of the project, but a tree preservation plan is not required for this type of request.



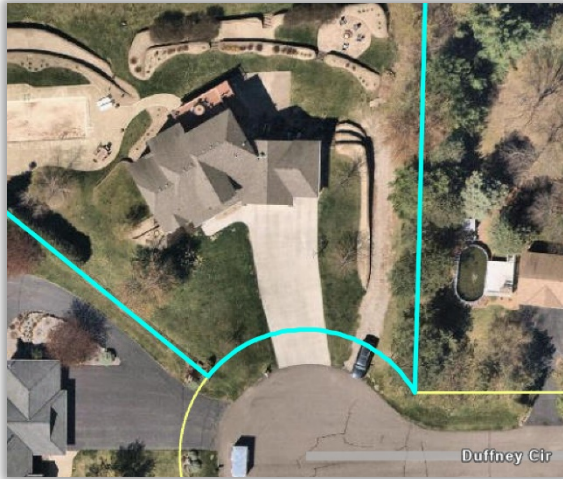
### Grading

The applicant submitted a grading plan within the site plan as part of the application (see the image to the right). The Engineering Memo provided the following feedback:

- A formal wetland delineation is required for the applicant to grade up to the wetland limits as shown on the site plan that reflects the anticipated size after phase two of the building is constructed.
- Alternatively, the formal wetland delineation can be avoided if the grading plan is modified to remain 2 vertical feet above the preliminary wetland elevation shown on the site plan.
- If the disturbed area is over an acre, a permit is required with the Watershed Management Organization (WMO).



This feedback has been incorporated as conditions of approval in the draft Resolution.



### *Driveway Access*

Section 1060.060, Subd., 4(C)(8) provides that properties with at least 400' of street frontage in the RR may be approved for a 2<sup>nd</sup> driveway access. This property does have over 400' of frontage between Duffney Circle and Duffney Drive, and there are few traffic concerns along Duffney Drive. The aerial view of this property (see left) confirms this property already has two driveway accesses on the frontage along Duffney Circle. The Engineering Memo states

that an access may be allowed directly onto Duffney Drive to serve the accessory structure as long as one access onto Duffney Circle is removed. This is also included as a condition of approval in the draft Resolution.

### Conditional Use Permit

Specific CUP standards are not provided to exceed the accessory structure footprint, but specific standards are provided in Section 1030.020, Subd. 5(D) to exceed the sidewall height limit. This more restrictive framework will be used in evaluating both components of the CUP request.

1. *The proposed use shall be in conformance with all City Regulations.*

Accessory structures are a permitted use in the RR district. As discussed previously in this report, the proposed plans significantly comply with the accessory structure standards provided in Section 1030.020 of the Zoning Ordinance. The outstanding concern regarding the size of the overhang can be addressed with a condition of approval that is included in the enclosed draft Resolution.

2. *A certificate of survey shall be required that identifies all existing structures on site, including buildings, septic sites, and wells. In addition, the survey shall include the proposed structure, flood plain, wetlands, and any recorded easements.*

The applicant submitted materials to start the formal wetland delineation process on September 14, 2022. A condition of approval is that either the formal wetland delineation is to be finalized to proceed as desired, or modified plans must be submitted to the City that show the grading stays above 2 vertical feet from the wetland elevation indicated in the informal wetland delineation submitted to the City.



A certificate of survey, last revised April 28, 2022, was provided to the City but did not include all existing structures on the site such as the house, septic site, and well. The survey did include what appears to be a previous rendition of the proposed structure, suspected wetlands, and any recorded easements. Staff believes enough information was submitted to evaluate the request with the zoomed in site plan since the existing structures are not in close proximity to the proposed accessory structure. However, the Planning Commission could recommend that the survey be revised to include existing structures and the currently proposed footprint of the accessory structure for phase 1 and phase 2 in order to satisfy this standard as written.

3. *Applicable criteria as outlined in Section 1070.020 (Conditional Use Permits) of the Corcoran Zoning Ordinance.*

A. *Compliance with and effect upon the Comprehensive Plan, including public facilities and capital improvement plans.*

The Future Land Use Map within the 2040 Comprehensive Plan designates this property as Rural/Ag Residential. This land use designation is defined by natural areas, planted fields, pastureland, hobby farms, and large residential lots. The proposed accessory structure is compatible with large residential lots anticipated in this area of the City by the Comprehensive Plan. There are no believed conflicts to public facilities or capital improvement plans.

B. *The establishment, maintenance or operation of the conditional use will promote and enhance the general public welfare and will not be detrimental to or endanger the public health, safety, morals, or comfort.*

The establishment of the conditional use will promote and enhance the general public welfare and will not be detrimental to or endanger the community. The excess size and height that will be approved with the CUP will allow the property owner to store their recreational vehicles within a contained space. The orderly organization of the applicant's recreational vehicles will promote and enhance the general public welfare.

C. *The conditional use will not be injurious to the use and enjoyment of the property in the immediate vicinity for the purposes already permitted, not substantially diminish and impact property values within the neighborhood.*

The conditional use will not be injurious to the use and enjoyment of nearby properties, nor substantially impact property values within the neighborhood. The existing vegetation bordering the property will provide screening to the

adjacent properties to the north and south. The accessory structure will provide a containable space for the applicant to store his motorhome and other recreational vehicles, which will minimize any injurious impacts to the use and enjoyment of the properties within the immediate area. It is unlikely that orderly storage of recreational vehicles within an accessory structure will diminish property values in the neighborhood.

- D. *The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding property uses permitted in the district.*

The establishment of the conditional use does not cause an impediment to development and improvement of surrounding properties for permitted uses within the RR.

- E. *Adequate public facilities and services are available or can be reasonably provided to accommodate the proposed use.*

Municipal sewer and water are not available to the site and are not required to accommodate the proposed use. The property is currently served by well and septic.

- F. *The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.*

The conditional use, in all other respects, conforms to the applicable regulations within the RR District.

- G. *The conditional use and site conform to the performance standards as specified by this Chapter.*

The conditional use and site conform to the performance standards as specified by the Zoning Ordinance. The draft Resolution includes the requirement to remove one of the driveway accesses along Duffney Circle in order to add a driveway access on to Duffney Drive. No other concerns with the performance standards were noted.

- H. *The building material standards required by this Section have been met.*

The building materials standards will be met with the issuance of a certificate of compliance which is included within the attached draft Resolution.

4. *The proposed building will be compatible with surrounding land uses.*

The proposed building is compatible with surrounding RR homes.



### Approval Time Limit

The applicant requested that approval of the CUP be valid for a period of up to 5 years. Section 1070.020, Subd. 7(A) provides the following clause regarding expiration of approval:

*Unless otherwise specified by the Zoning Administrator or City Council at time of approval, permit approval shall expire within one year of the date of approval unless the applicant commences the authorized use. Prior to the expiration, the applicant may apply for a time extension of up to one year.*

Staff believes it is reasonable to allow the applicant to complete the building in two phases over a period of 5 years knowing the many economic constraints such projects face at this time. To address the applicants request, the draft Resolution specifies that approval is valid for 5 years from the date of approval. The Planning Commission could choose to recommend a different time period for the expiration of approval if desired.

### **4. Conclusion**

Staff reviewed the plans with the applicable standards outlined in the Comprehensive Plan and Zoning Ordinance and finds that the standards for a CUP are satisfied. The proposed use is consistent with the type of use existing and anticipated within the RR. Any outstanding issues that must be addressed are included as a condition of approval in the attached draft Resolution.

### **5. Recommendation**

Staff recommends approval of the draft Resolution approving the CUP for an accessory building exceeding a 10' sidewall height with a footprint of up to 7,530 square feet on the property.

### **Attachments:**

1. Resolution 2022-
2. Survey
3. Site Plan
4. Building Dimensions and Elevations
5. Building Renderings
6. Engineering Memo

**RESOLUTION NO. 2022-**

**Motion By:**  
**Seconded By:**

**APPROVAL OF A CONDITIONAL USE PERMIT FOR THE PROPERTY LOCATED AT 20420  
DUFFNEY CIRCLE (PID 11-119-23-31-0011) (CITY FILE NO. 22-055)**

**WHEREAS**, Shawn Tharp requests approval of a conditional use permit to allow for the construction of an accessory building on property legal described as follows:

*SEE ATTACHMENT A*

**WHEREAS**, the Planning Commission reviewed the conditional use permit at a duly called public hearing; and

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA**, that it should and hereby does approve the request, subject to the following findings and conditions;

1. A conditional use permit is approved to allow for the construction of a building as shown on the application and plans dated August 23, 2022 and as amended in this Resolution.
2. The applicant must comply with the Engineering Memo dated September 26, 2022.
3. A certificate of compliance to allow metal siding and a metal roof on this accessory building is approved as part of the conditional use permit.
  - a. The building materials must comply with Section 1060.050, Subd. 1(D)(3) of the Zoning Ordinance.
4. A conditional use permit to allow an accessory building with a sidewall height of 14 ft. 8in. in the front yard is approved, subject to the followings findings that specific criteria as outlined in Section 1030.020, Subd. 5(D) are satisfied:
  - a. The proposed accessory structure is in conformance with all City Regulations. Accessory structures are a permitted use in the Rural Residential District, and the proposed plans significantly comply with standards for accessory structures as outlined in Section 1030.020 of the Zoning Ordinance.
  - b. The applicant submitted a certificate of survey and uncertified wetland delineation that provided the necessary information to evaluate his request.
  - c. The proposed accessory structure complies with applicable criteria as outlined in Section 1070.020 (Conditional use Permits) of the Zoning Ordinance, as further discussed in paragraph 5 of this Resolution.
  - d. The proposed building is compatible with surrounding Rural Residential homes.
5. A conditional use permit is approved to allow for an accessory structure footprint of 7,530 sq. ft. and a sidewall height of 14 ft. 8 in., subject to the findings that applicable

**RESOLUTION NO. 2022-**

criteria as outlined in Section 1070.020 (Conditional Use Permits) of the Corcoran Zoning Ordinance are satisfied. Specifically:

- a. The proposed use complies with the Comprehensive Plan. The project is consistent with the Rural/Ag Residential land use designation and maintains the desired rural character of the area.
  - b. The establishment of the conditional use will promote and enhance the general public welfare. Granting the conditional use permit for the new structure will allow for the orderly storage of the applicant's recreational vehicles.
  - c. The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity. Existing vegetation will provide screening to the adjacent north and south properties. Storage of accessory vehicles within an accessory structure is preferred to exterior storage of recreational vehicles, and the accessory structure is unlikely to lead to an injurious impact or diminish property values.
  - d. The establishment of the conditional use will not impede the normal and orderly development of surrounding property uses permitted in the district.
  - e. Municipal sewer and water are not available to the site and are not required to accommodate the proposed use. Well and septic systems are available on the property and are sufficient.
  - f. The conditional use conforms to the applicable regulations of the Rural Residential district.
  - g. Conditions in this resolution will ensure the conditional use and site conform to the accessory structure ordinance. Staff found that the building conforms to all other performance standards specified in the Zoning Ordinance and City Code as required by Chapter 1070.020.
6. The accessory structure cannot be used for commercial purposes unless a separate approval is requested and granted by the City.
  7. A building permit is required prior to beginning construction.
  8. FURTHER, that the following conditions must be met prior to issuance of building permits:
    - a. Revised plans must be submitted to satisfy the overhang minimum of 24 in.
    - b. A formal wetland delineation must be certified to grade up to the wetland limits as shown. An alternative to this requirement is for the applicant to modify the grading plan to remain at least 2 vertical feet above the shown preliminary wetland boundary.



**RESOLUTION NO. 2022-**

- c. If it is determined that the disturbed area is over an acre, the applicant must obtain a permit with the Watershed Management Organization.
  - d. Revised plans must be submitted that reflect removal of the driveway access on to Duffney Circle and the full extent of the intended driveway along the east façade of the structure.
  - e. The applicant/landowner must record the approving resolution at Hennepin County and provide proof of recording to the City.
9. Approval shall expire within five years of the date of approval unless the applicant commences the authorized use and the required improvements. If phase two of the building has not commenced as of the expiration date, then the total allowable footprint on the property will be limited to 5,730 square feet assuming phase one of the building has commenced. The applicant can apply for an additional time extension of up to one year as allowed by Section 1070.020, Subd.7(A) of the Zoning Ordinance.

**VOTING AYE**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

**VOTING NAY**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this 27<sup>th</sup> day of October 2022.

\_\_\_\_\_  
Tom McKee - Mayor

ATTEST:

\_\_\_\_\_  
Jessica Beise – Administrative Services Director

*City Seal*

**RESOLUTION NO. 2022-**

**Attachment A**

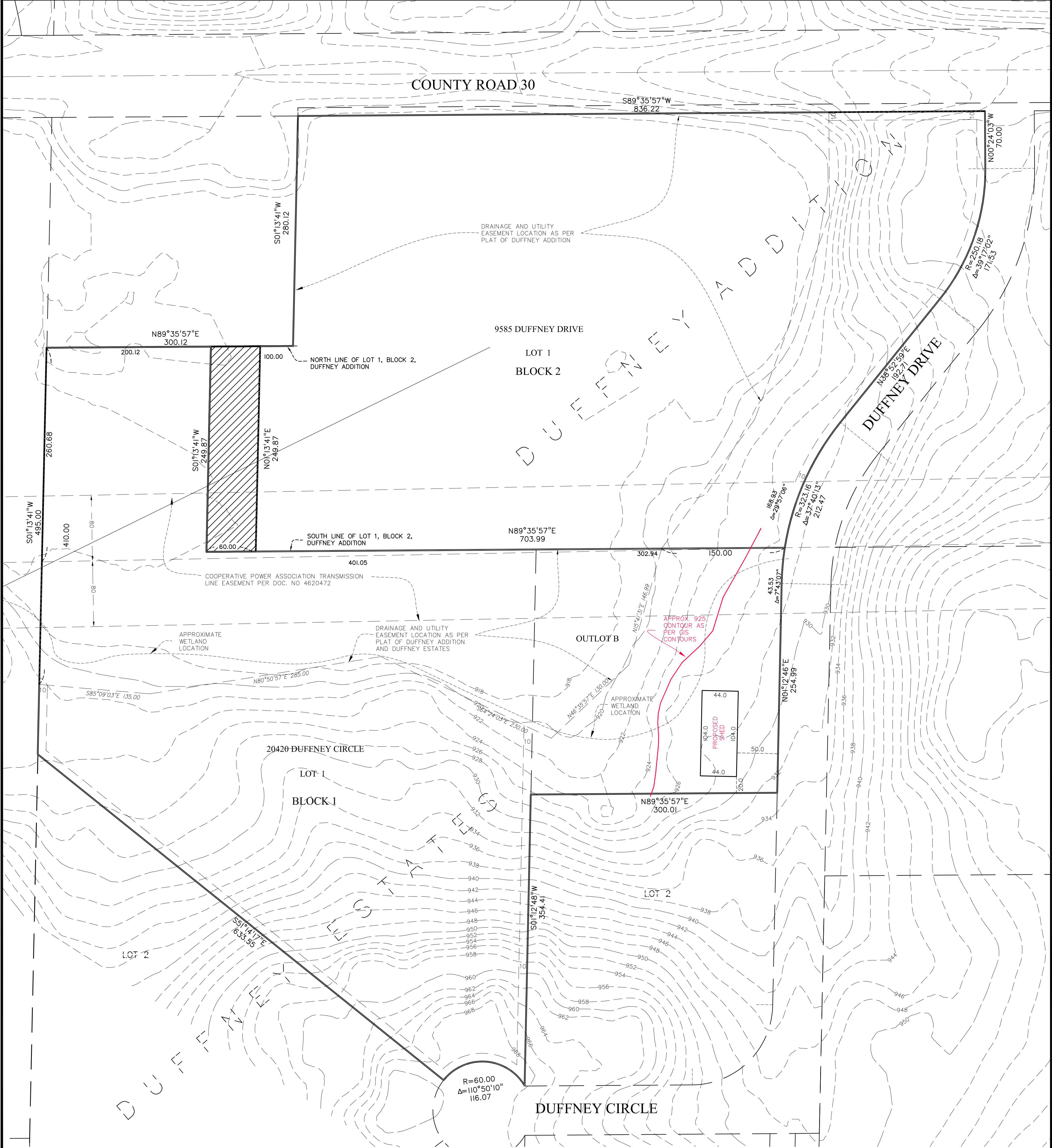
*Lot 1, Block 1, and Outlot B, DUFFNEY ESTATES  
according to the recorded plat thereof,  
Hennepin County, Minnesota.*

*And*

*The part of Lot 1, Block 2, DUFFNEY ADDITION,  
According to the recorded plat thereof,  
Hennepin County, Minnesota,  
lying west of the following described line:*

*Beginning at a point on the south line of said Lot 1, 60.00 feet east of the Southwest corner  
of said Lot 1 thence northerly, parallel and distant to the most southerly west line of said Lot  
1, a distance of 249.87 feet to the most southerly north line of said Lot 1 and there  
terminating.*

COUNTY ROAD 30



**DESCRIPTION OF PROPERTY SURVEYED**

**9585 DUFFNEY DRIVE - EXISTING LEGAL DESCRIPTION**  
 Lot 1, Block 2, DUFFNEY ADDITION, according to the recorded plat thereof, Hennepin County, MN.

**20420 Duffney Circle - EXISTING LEGAL DESCRIPTION**  
 Lot 1, Block 1, and Outlot B, DUFFNEY ESTATES, according to the recorded plat thereof, Hennepin County, MN.

**9585 DUFFNEY DRIVE - PROPOSED LEGAL DESCRIPTION**  
 Lot 1, Block 2, DUFFNEY ADDITION, according to the recorded plat thereof, Hennepin County, MN.  
 except

That part of said Lot 1, Block 2, DUFFNEY ADDITION, lying west of the following described line:  
 Beginning at a point on the south line of said Lot 1, 60.00 feet east of the Southwest corner of said Lot 1 thence northerly, parallel and distant to the most southerly west line of said Lot 1, a distance of 249.87 feet to the most southerly north line of said Lot 1 and there terminating.

**20420 Duffney Circle - PROPOSED LEGAL DESCRIPTION**  
 Lot 1, Block 1, and Outlot B, DUFFNEY ESTATES, according to the recorded plat thereof, Hennepin County, MN.  
 and

That part of Lot 1, Block 2, DUFFNEY ADDITION, according to the recorded plat thereof, Hennepin County, Mn., lying west of the following described line:  
 Beginning at a point on the south line of said Lot 1, 60.00 feet east of the Southwest corner of said Lot 1 thence northerly, parallel and distant to the most southerly west line of said Lot 1, a distance of 249.87 feet to the most southerly north line of said Lot 1 and there terminating.

**STANDARD NOTES**

- A title opinion was not furnished to the surveyor as part of this survey. Only easements per the recorded plat are shown unless otherwise denoted hereon.
- Parcel Area Information:**  
 Area to be Transferred: 14,986 s.f. - 0.34 acres  
 9585 Duffney Drive - Existing Gross Area: 417,973 s.f. - 9.59 acres  
 20420 Duffney Circle - Existing Gross Area: 425,389 s.f. - 9.76 acres  
 9585 Duffney Drive - Proposed Gross Area: 402,987 s.f. - 9.25 acres  
 20420 Duffney Circle - Proposed Gross Area: 440,375 s.f. - 10.10 acres
- Utilities:** Utilities have not been shown on this site.
- Wetland Delineation:** A wetland delineation was not performed on this site.
- No survey field work was done on this project.

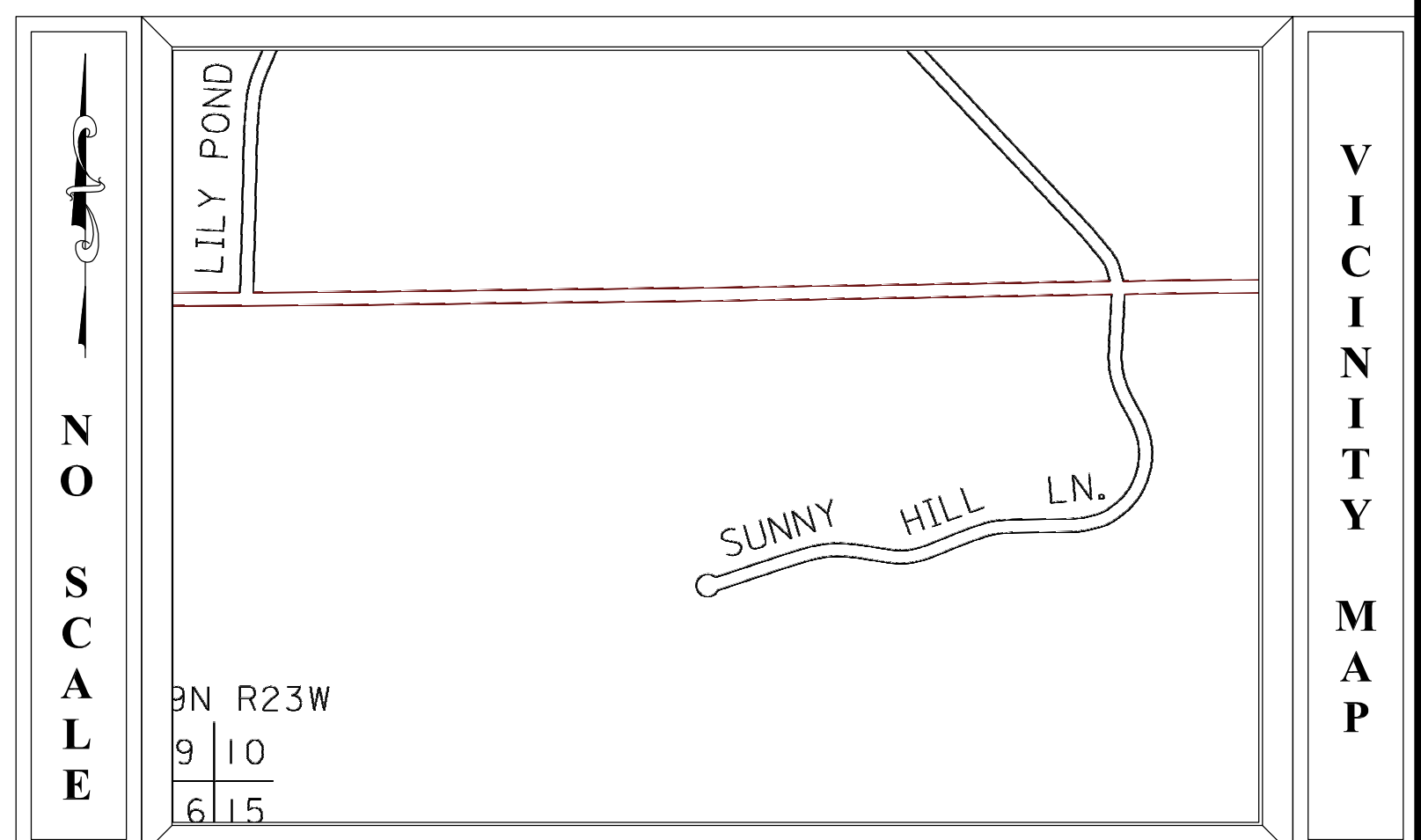
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 14 day of December, 2020.

*Daniel L. Schmidt*  
 Daniel L. Schmidt, PLS  
 schmidt@sathre.com Minnesota License No. 26147



Bearings are based on the Hennepin County Coordinate System (NAD 83 - 1986 adj.)



FIELD CREW	NO.	BY	DATE	REVISION
n/a	1	DLS	3/2/2021	ADDED EASEMENTS
DRAWN	2	DLS	4/28/2022	ADDED PROPOSED SHED AND CONTOURS
CHECKED				
CT				
DATE				
12/14/2020				

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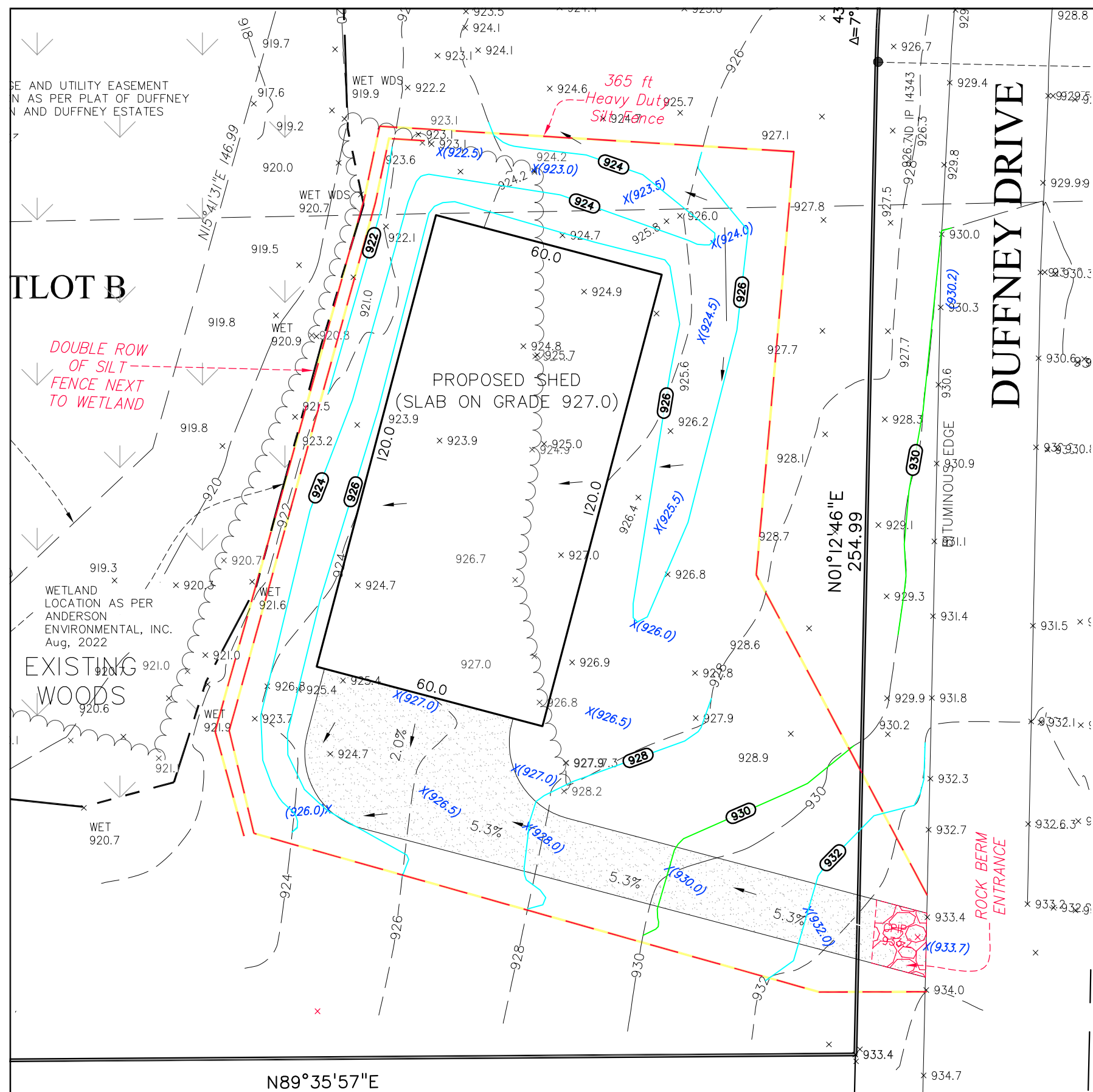
**SATHRE BERGQUIST INC.**  
 150 SOUTH BROADWAY  
 WAYZATA, MN. 55391  
 (952) 476-6000

TWP:119-RGE:23-SEC.11  
 Hennepin County  
**Corcoran, MINNESOTA**

**LOT SPLIT**  
 PREPARED FOR:  
**SHAWN THARP**

FILE NO.  
 89760-001  
**1**  
**1**





**SURVEY LEGEND**

- STORM DRAIN
- CATCH BASIN
- GATE VALVE
- HYDRANT
- IRON PIPE SET
- IRON PIPE FOUND
- SANITARY MANHOLE
- GROUND ELEVATION
- PROPOSED ELEVATION
- WETLAND BUFFER POST
- HAND HOLE
- ELECTRIC TRANSFORMER
- TELEPHONE PEDESTAL
- UTILITY PEDESTAL
- SEWER SERVICE ELEVATION
- EXISTING TREE
- PROPOSED TREE
- PROPOSED TREE
- BITUMINOUS
- CONCRETE
- CONTOUR PROPOSED
- CONTOUR EXISTING
- DRAINAGE ARROW
- CONCRETE CURB
- SANITARY SEWER
- STORM SEWER
- WATERMAIN
- PROPOSED SILT FENCE
- DRAIN TILE
- FENCE
- BSBL BUILDING SETBACK LINE

**Property Description:** Outlot B, DUFFNEY ESTATES according to the recorded plat thereof, Hennepin County, Minnesota.

1. Address: 20420 Duffney Circle, Rogers, Minnesota 55374.
2. We have shown the location of utilities on the surveyed property by observed evidence only and by available plans. Please note that we have not placed a Gopher State One Call for this survey. There may or may not be underground utilities in the mapped area, therefore extreme caution must be exercised before any excavation takes place on or near this site. Also, please note that seasonal conditions may inhibit our ability to visibly observe all the utilities located on the subject property. Before digging, you are required by law to notify Gopher State One Call at least 48 hours in advance at 651/454-0002. The contractor shall determine the exact location of any and all existing utilities before commencing work and is responsible for any and all damages arising out of his failure to exactly locate and preserve any and all existing utilities.
3. Must maintain a minimum 2% slope gradient to accommodate positive drainage.
4. All set offset irons are measured to hundredths of a foot and can be used as benchmarks.
5. The proposed driveway shown is conceptual only and does not purport to show exactly how the driveway shall be built.
6. A title opinion was not furnished to the surveyor as part of this survey. Only easements per the recorded plat are shown unless otherwise denoted hereon.
7. Proposed grades shown adjacent to building foundation refers to top of black dirt.
8. Verify sanitary service invert prior to any concrete work.
9. The building offsets will be staked after the trees have been cleared.

**Proposed Elevations**  
 Proposed Garage Floor Elevation = 927.0



DRAINAGE AND UTILITY EASEMENTS ARE SHOWN HEREON FROM RECORDED PLAT AND LABELED AS SHOWN

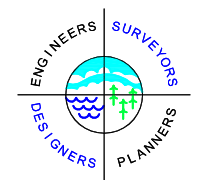
I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 23rd day of August 23, 2022.

*Daniel L. Schmidt*

Daniel L. Schmidt, PLS Minnesota License No. 26147  
 schmidt@sathre.com

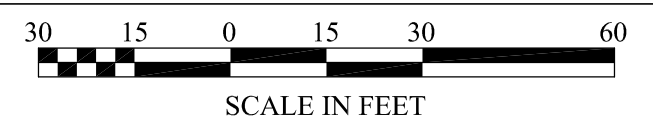
JOB #: 89760-001	REVISIONS
FIELD CREW: DM	
DRAWN BY: WJC	
CHECKED BY: DLS	
DATE: 08-22-22	



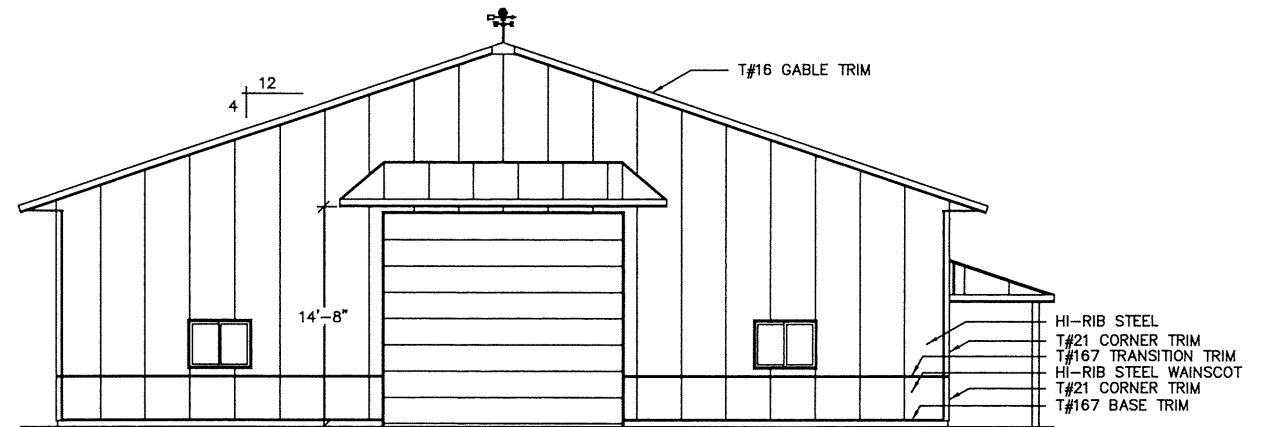
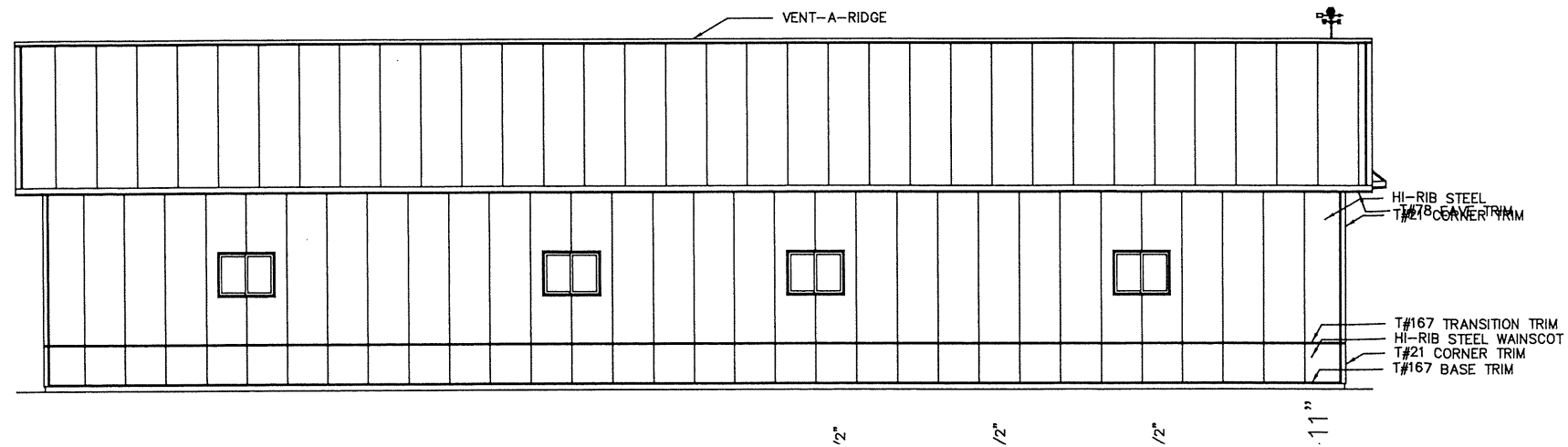
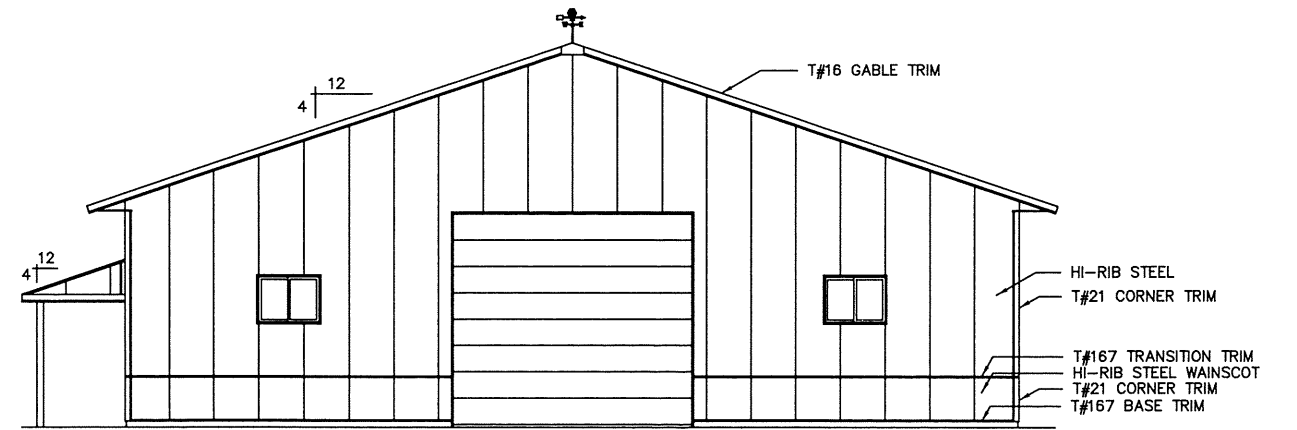
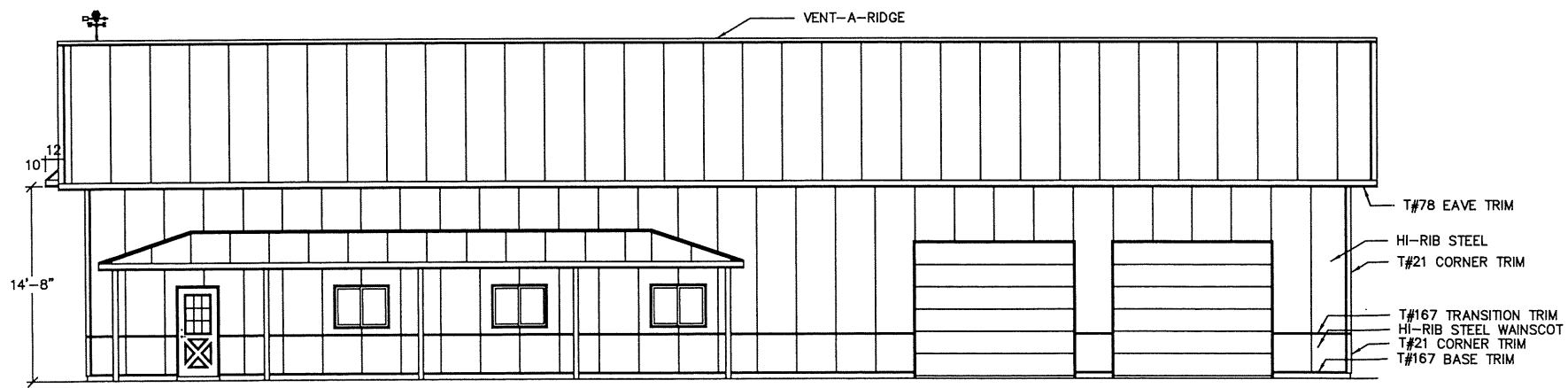
**SATHRE-BERGQUIST, INC.**  
 14000 25TH AVENUE NORTH, SUITE 120  
 PLYMOUTH MN 55447 (952) 476-6000  
 WWW.SATHRE.COM

**CERTIFICATE OF SURVEY**  
 PREPARED FOR  
**SHAWN THARP**

Section 11 - Township 119 - Range 23















---

To: Kevin Mattson, PE Public Works  
Director

From: Kent Torve, PE City Engineer

Project: Tharp CUP

Date: September 26, 2022

**Summary**

These items were identified related to the CUP:

- A formal delineation is required to grade up to the wetland limits. Alternatively, grading plan shall be modified to remain 2 vertical feet above the preliminary wetland shown.
- If disturbed area is over an acre, WMO permit is required.
- An access may be constructed onto Duffney Drive if one access on Duffney Circle is removed.



## STAFF REPORT

## Agenda Item 6d.

<b>Planning Commission Meeting:</b> October 6, 2022	<b>Prepared By:</b> Chris Hong through Kendra Lindahl, AICP
<b>Topic:</b> Preliminary Plat, Site Plan, Variance and Final Plat for “Corcoran Water Tower” Located at 19951 Oswald Farm Road (PID 11-119-23-14-0004) (City File No. 22-057)	<b>Action Required:</b> Recommendation for approval

---

**60-Day Review Deadline (site plan, variance):** November 26, 2022

**120-Day Review Deadline (preliminary plat):** January 25, 2023

### 1. Request

This is a City-initiated request for the recommendation for approval of a preliminary plat, site plan, variance and final plat to construct a water tower on the property located at 19951 Oswald Farm Road.

### 2. Background

Hope Community Church was approved in 2001. As part of the original approvals, the landowner provided concept plans for future build out of the entire church property including senior housing, office/retail on the property east of the church and a future cemetery west of the church. No approvals for future phases were granted as they were conceptual plans only.

In 2004, the church submitted a request for a zoning ordinance amendment and a conditional use permit to allow a daycare on site. The request was approved in 2005 (Resolution 2005-50/Ordinance 221).

In 2006, the church submitted a request for a zoning ordinance amendment to allow development of land in the MUSA prior to availability of municipal services, subject to several conditions. This request was approved in 2006 (Resolution 2006-66/Ordinance 239).

In 2012, the City approved a conditional use permit and a site plan amendment to allow a 498-plot cemetery on 1.50 acres of land west of the existing church.

### 3. Context

#### *Zoning and Land Use*

The site is guided Public/Semi-Public and zoned Public/Institutional (PI) district. The site is located within the 2040 Metropolitan Urban Service Area (MUSA) boundary and the

Northeast District. The purpose of the PI district is to provide a zoning district specifically for uses oriented to the general public and semi-public uses. This district is unique in that it generally provides services to the public (churches, schools, city buildings, etc.) rather than sale of goods.

#### *Surrounding Properties*

Surrounding properties to the south and east are guided Mixed Use and zoned General Mixed Use (GMU). The property to the west is guided Mixed Residential and zoned Urban Reserve (UR). The properties to the north are guided Existing Residential and zoned Urban Reserve. The existing land use of the surrounding properties are undeveloped, agricultural and single family detached.

#### *Natural Characteristics of the Site*

There are no natural resources on site identified in the Natural Resources Inventory Areas map from the Comprehensive Plan nor are there any on the surrounding properties.

### **4. Analysis**

Staff has reviewed the application for consistency with the Comprehensive Plan, Zoning Ordinance and City Code requirements, as well as City policies. The City is the applicant for this project and the City engineer will ensure compliance with City engineering standards.

#### **A. Level of City Discretion in Decision-Making**

The City's discretion in approving or denying a preliminary plat is limited to whether or not the proposed plat meets the standards outlined in the City's subdivision and zoning ordinance. If it meets these standards, the City must approve the preliminary plat.

The City's discretion in approving a site plan is limited to whether or not the plans meet the standards outlined in the Zoning Ordinance and Comprehensive Plan. If it meets these standards, the City must approve the site plan.

The City has a higher level of discretion with a variance because the burden of proof is on the applicant to show that variance standards have been met.

The City's discretion in approving a final plat is limited to whether the proposed plat meets the standards outlined in the City's subdivision and zoning ordinance. If it meets these standards, the City must approve the final plat.

#### **B. Consistency with the Ordinance Standards**

#### **Preliminary Plat**

The preliminary plat for "Hope Place Second Addition" would create two parcels from the existing 28.93-acre lot. Lot 1 with the existing church and cemetery would be 27.73 acres and Lot 2 with the proposed water tower would be 1.2 acres. A variance from the

10-acre minimum lot size is required and discussed in the variance section of the staff report.

The plat shows a 10-foot drainage and utility easement along the existing lot perimeter and a drainage and utility easement over the wetland, which were provided with the Hope Place plat. These easements will remain unchanged.

### **Site Plan**

The request is for approval of a site plan to allow a water tower in the PI district.

The water tower is considered an “essential service” by the Zoning Ordinance. Essential Services are defined as *“the erection, construction, alteration or maintenance by private or public utilities, or municipal departments of underground or overhead telephone, gas, electrical, steam, hot water, waste, or water transmission, distribution, collection, supply*

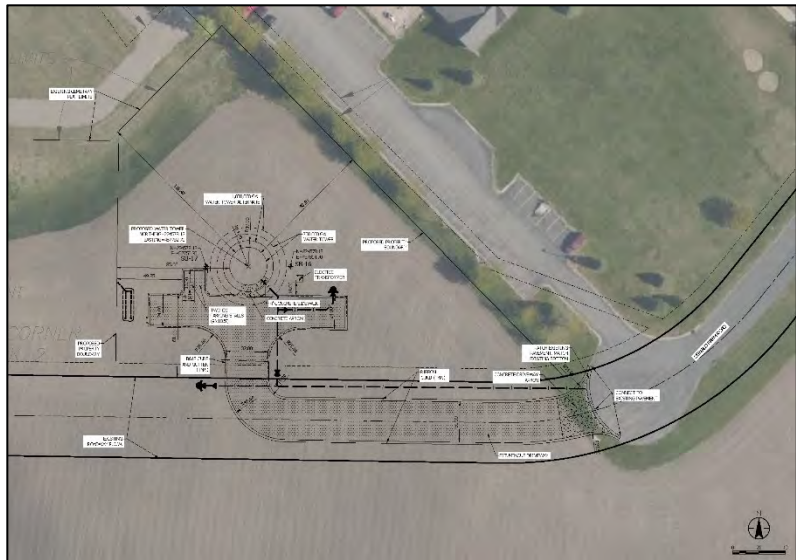


Figure 1: Site Plan

*or disposal systems, including poles, wires, mains, drains, sewers, pipes, conduits, cables, fire alarm boxes, police call boxes, traffic signals, hydrants and other similar equipment and accessories in connection therewith for the furnishing of adequate service by such private or public utilities or municipal departments. Essential services shall not include waste facilities.”*

Essential services are allowed in all districts subject to the standards in Section 1030.090 of the Zoning Ordinance. They are allowed in all districts because they are essential utilities that the City needs to function and the Council developed an ordinance with performance standards to ensure transition to adjacent uses. These types of services are likely to be located near development because development drives the need.

A site plan must be submitted for review and approval for essential services with permanent structures.

The proposed development plan includes a 750,000-gallon water tower. When the project is bid, the City will include a bid alternative to increase the size to a 1,000,000-gallon water tower. The City Council will make the decision based on the bid costs and this site plan approval would grant approval for either option.



The water tower will be 156 feet in height, 28 feet in diameter at its base and 62 feet in diameter at its widest. The site plan has been reviewed for compliance with the proposed plan for a 750,000-gallon water tower. An electric transformer will be located just east of the water tower's south entrance.

Lot Standards and Setbacks

Lot standards for the PI district are as follows:

	Public/Institutional District	Water Tower Site (Lot 2)	Church Site (Lot 1)
<b>Minimum Lot Area</b>	10 acres	1.2 acres	27.73 acres
<b>Minimum Lot Width</b>	200 feet	340.44 feet	500 feet
<b>Minimum Principal Structure Setbacks:</b>			
<b>Front, From Major Roadways*</b>	100 feet	n/a	n/a
<b>Front, From all other streets</b>	50 feet	69 feet	250 feet
<b>Side</b>	50 feet	85.7 feet	100 feet
<b>Rear</b>	50 feet	98.0 feet	n/a
<b>Maximum Principal Building Height</b>	45 feet	156 feet**	n/a
<b>Maximum Impervious Surface Coverage</b>	70%	12%	n/a

*\*Major Roadways are Principal Arterial, A Minor Reliever, A Minor Expander and A Minor Connector Roadways as shown on the 2040 Roadway Functional Classification map in the 2040 Comprehensive Plan.*

*\*\*Water towers are exempt from district building height limits per Sec. 1030.080 Subd. 1.J.*

The proposed lot has frontage on unimproved right-of-way on Oswald Farm Road. The right-of-way is platted, but the improved street section ends 15 feet east of the proposed Lot 2. There is an undeveloped parcel between the proposed water tower and County Road 30, creating 500 feet of separation between the water tower and County Road 30.

The transformer is set back 125 feet from the closest lot line.

Access

A driveway is proposed to extend from the existing cul-de-sac in the Oswald Farm Road right-of-way to give access to the water tower. The street will be constructed to the west property line of Lot 1 when the adjacent parcel to the south of the project site is developed.

Parking and Drive Aisles

Two parking stalls are proposed for the water tower. The parking is adequate to serve the site. The stalls are situated 15 feet to the west of the water tower. The access driveway provides access to both the water tower and the parking stalls. Proposed parking complies with the minimum 100-foot front setback and 10-foot side yard setback. Because there are only two parking stalls proposed and there is no adjacent public sidewalk, no screening is required by either the Zoning Ordinance or the Northeast District Design Guidelines.

## Landscaping

The site complies with the minimum landscape standards required by Section 1060.070 of the Zoning Ordinance. The Zoning Ordinance requires one overstory tree per 50 linear feet of site perimeter and one understory shrub per 30 linear feet of site perimeter. The landscape plan shows plantings at sizes and percentages that comply with the ordinance requirements. The plans show 11 deciduous overstory trees, 10

coniferous overstory trees and 35 understory shrubs. A salt, shade and drought tolerant turf grass seed mix will be planted in the remaining unoccupied land area.

The proposed landscaping complies with the Northeast District required plant materials list, utilizing a full complement of native overstory trees, native understory shrubs, and ground covers.

The Northeast District also requires the use of three resiliency options in each development. The landscaping plans satisfy three required resiliency options through landscaping with native species, rain gardens/bioretention systems and xeriscaping. At least 50% of the plantings provided will be native species as specified in the Northeast District guidelines. The majority of species provided also qualify for xeriscaping, which utilizes plants that have lower water use requirements and are able to withstand periods of drought. The plans show a rain garden that will be planted with a mixture of native, drought-resistant perennial and ornamental grasses.

Section 1060.070, Subd. 2.H. of the Zoning Ordinance requires underground irrigation for all new non-residential development where municipal water is available. However, the Northeast District guidelines impose greater restrictions on landscaping that abrogate the requirement for irrigation. The proposed plant materials are also more resilient and do not require regular watering.

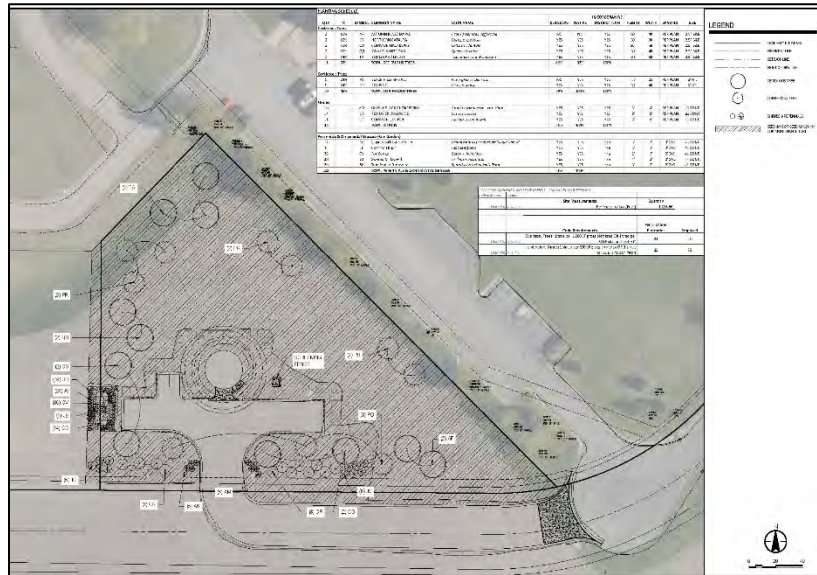


Figure 2. Landscape Plan

## Buildings and Architecture

The primary structure complies with the building standards in Section 1060.050 of the Zoning Ordinance and additional standards for buildings for the Northeast District. Current architecture plans show that the water tower will have a steel body as is typical for a water tower. Final paint colors and logo details will be approved by the City Council.

## Screening

The water tower includes an electric transformer on site, which is required to be screened from off-site views. Plans show a 6-foot screening fence that will enclose the transformer as required by the Northeast District guidelines.

## Stormwater

A rain garden is proposed on the site west of the water tower. The Northeast District Guidelines require the use of at least three resiliency options for new developments, one of which is a rain garden. As a City-owned and operated facility, additional easement or a stormwater maintenance agreement is not required. If the facility changed ownership at a future date, the City could establish additional easement and a maintenance agreement for the pond at that time.

## Parks and Trails

The Comprehensive Plan Parks and Trails Plan Map shows a proposed off-road trail on the east side of County Road 116 and existing on-road trails within the County Road 116 and 30 rights-of-way.

The final alignment of the Three Rivers Park District Diamond Lake trail was not known at the time the Comprehensive Plan was adopted but the trail was contemplated. The June 2022 Diamond Lake Regional Trail Draft Master Plan routes this off-road trail through the existing parcel.

Because no new development is proposed on Lot 1 and Lot 2 will be developed for public purposes,

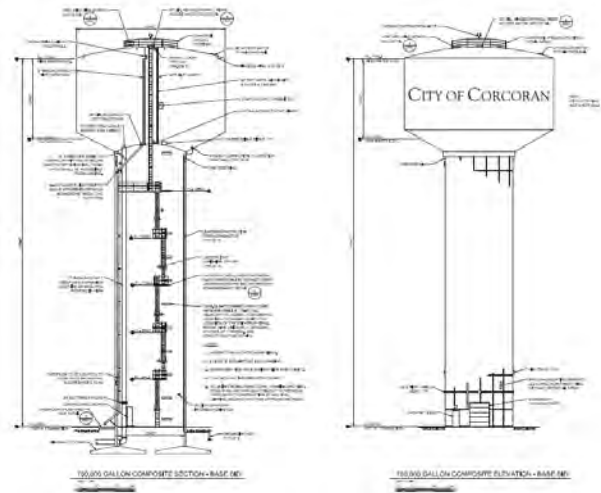


Figure 3. Section and Elevation Plan



Figure 4: Diamond Lake Regional Trail route through Corcoran in purple. The site location is marked with a red dot.



no park dedication is required at this time. Park dedication would be required if Lot 1 was further subdivided in the future. We will work with the applicant to acquire easements when said development occurs and park dedication would be due that time.

### Public Safety

The Public Safety Committee reviewed the plans and provided a memo dated September 27, 2022 (attached). Prior to initiation of grading, or any other site work, the applicant must address these comments.

### Variances

There are three variances requested and they are discussed individually below.

#### Lot Size Variance

A variance has been requested to allow the proposed water tower on a 1.2-acre lot. The City Code requires a minimum lot size of 10 acres in the PI district. However, lots for essential services must be at least 1.5 times the minimum lot area required in the zoning district (Sect 1030.090 Subd. 4.A.). This means that the minimum lot area for this water tower would be 15 acres.

The burden of proof is on the applicant to show that all of the following criteria have been met:

1. *There are practical difficulties in complying with the Zoning Ordinance.*

There are practical difficulties in complying the Zoning Ordinance. The proposed water tower lot is boxed in by the existing cemetery, church parking lot and a public right-of-way and could therefore not be expanded to meet the 15-acre requirement. It is appropriate to locate this type of public use in the PI zoning district.

The other essential services recently approved by the City were located in residential zoning districts and Section 1030.090 of the Zoning Ordinance requires a minimum lot size of one acre in those districts.

If the variance is denied, the City could rezone the property and a variance would not be required.

2. *The conditions upon which a petition for a variation is based are unique to the parcel of land for which the variance is sought and were not created by the landowner.*

The conditions are unique to the parcel and were not created by the landowner. As noted above, the proposed lot abuts a cemetery to the northwest, a church parking lot to the northeast and a public right-of-way to the south. Abutting these properties effectively restricts the size of the proposed lot.

3. *The granting of the variation will not alter the essential character of the locality.*

Granting the variation will not alter the essential character of the locality. The PI district was created to provide municipal services to the general public, so a water tower is consistent with the purpose of the district. Siting the water tower on a smaller lot that is more in line with the needs for the operation of a water tower will not create any harmful effects to nearby properties nor alter the overall character of the area.

4. *The proposed variance would be in harmony with the general purposes and intent of the Ordinance.*

The proposed variance is in harmony with the general purposes and intent of the Ordinance. Section 1030.090 requires that parcels of land for essential services in Agricultural and Residential zoning districts be at least one acre in size. In all other districts, the minimum lot area is required to be at least 1.5 times the minimum lot area required in the zoning district. This is to account for districts where the minimum lot size is significantly smaller than one acre.

The minimum lot size in PI districts is 10 acres in order to accommodate typical uses such as educational facilities and places of worship. This requirement does not reflect instances where essential services would be sited in a PI district, which need a much smaller area to operate from. The one-acre lot size requirement is more in line with the intent of the Ordinance.

5. *The variance is consistent with the Comprehensive Plan.*

The variance will enable the development of this facility which will support the existing and future development of the Northeast District. The Comprehensive Plan expects the City to develop its own municipal water supply to supplement projected future demands. Approval of the variance will allow the water tower to be built as identified in the Comprehensive Plan.

### Overhead Door Variance

A variance has been requested to allow an overhead door visible from County Road 30. The Northeast District guidelines require that no loading docks or overhead doors shall be visible from County Roads or residential property.

The burden of proof is on the applicant to show that all of the following criteria have been met:

1. *There are practical difficulties in complying with the Zoning Ordinance.*

There are practical difficulties in complying with the Northeast District standard that no overhead doors shall be visible from County Roads. The water tower site is currently about 500 feet north of County Road 30 and is separated by Oswald Farm Road and a vacant parcel that is planned for future development. The water tower entrance must face south to be accessible from the driveway and to minimize disturbance to the adjacent cemetery and church. Moving the overhead

door location would require additional paving to extend the driveway. The overhead door is necessary for the operation of the water tower and will be least impactful on neighboring uses in the current location. Additionally, once development on the vacant lot just south of the water tower site has occurred, the overhead door will not be visible from County Road 30.

The Planning Commission could find that redesigning the site and shifting the overhead door to the north does create a practical difficulty and that the tower could be reoriented to face the door to the north.

2. *The conditions upon which a petition for a variation is based are unique to the parcel of land for which the variance is sought and were not created by the landowner.*

The conditions are unique to the parcel and the water tower use and were not created by the landowner but are results of the characteristics of the parcel of land available for a water tower. As noted above, the water tower abuts a cemetery to the northwest and faces County Road 30 to the south on the other side of vacant property.

3. *The granting of the variation will not alter the essential character of the locality.*

Granting the variation will not alter the essential character of the locality. The overhead door will face the least intrusive direction, towards the public street and away from the church. The door will be buffered by landscaping proposed between the water tower and Oswald Farm Road. Moving the water tower door to the east or west would make the overhead door visible from County Road 116 or residential property. Turning the water tower to face would require additional paving for access and would face the existing cemetery and church rather than a street.

4. *The proposed variance would be in harmony with the general purposes and intent of the Ordinance.*

The water tower is necessary to provide municipal water to support current and future development in northeast Corcoran. The proposed variance is in harmony with the general purposes and intent of the Ordinance. The overhead door is proposed to face south, which is less intrusive for the existing adjacent uses. The purpose of this design guideline was to prevent visible industrial equipment and overhead doors on properties abutting County Roads. The water tower site will be abutting a local road in keeping with the intent of the Ordinance.

5. *The variance is consistent with the Comprehensive Plan.*

The variance will enable the development of this facility which will support the existing and future development of the Northeast District. The Comprehensive Plan expects the City to develop its own municipal water supply to supplement projected future demands.



## Drive Lane Setback Variance

A variance has been requested to allow a drive aisle 37 feet from the lot line. Parking must meet the minimum front setback for principal structures in the zoning district, which is 50 feet in the PI district. There are no additional requirements in the Northeast District guidelines.

The burden of proof is on the applicant to show that all of the following criteria have been met:

1. *There are practical difficulties in complying with the Zoning Ordinance.*

There are practical difficulties in complying with the City Code requirement that drive lanes be set back at least 50 feet from the front property line. The water tower is set back as far as possible while leaving enough room between it and the existing cemetery and church. The proposed location is 126 feet from the cemetery, 98 feet from the church parking lot and 200 feet from the church building. The entrance and the drive aisle must face south as outlined in the Overhead Door Screening Variance section.

If the Planning Commission finds that standards are not met and the variance is denied, the water tower would need to be shifted north 13 feet closer to the church and cemetery.

2. *The conditions upon which a petition for a variation is based are unique to the parcel of land for which the variance is sought and were not created by the landowner.*

The conditions are unique to the parcel and were not created by the landowner. As noted above, the water tower abuts a cemetery to the northwest and a church parking lot to the northeast. The location of these existing uses and a desire to keep separate from them restricts the placement of the water tower and the drive aisle to access it.

3. *The granting of the variation will not alter the essential character of the locality.*

Granting the variance will not alter the essential character of the locality. The water tower is located so as not to disturb the existing cemetery, while still allowing space for a substantial drive aisle setback.

4. *The proposed variance would be in harmony with the general purposes and intent of the Ordinance.*

The water tower is also necessary to provide water utilities to support current and future development in northeast Corcoran. The proposed variance is in harmony with the general purposes and intent of the Ordinance. The drive aisle is needed to access the water tower and its location is the least intrusive option for the existing adjacent uses.

5. *The variance is consistent with the Comprehensive Plan.*

The variance will enable the development of this facility which will support the existing and future development of the Northeast District. The Comprehensive Plan expects the City to develop its own municipal water supply to supplement projected future demands.

**Final Plat**

The final plat is not reviewed by the Planning Commission but will be reviewed by the Council at the October 27<sup>th</sup> Council Meeting. The final plat is consistent with the preliminary plat.

**Conclusion**

Staff finds the proposed plan is consistent with the Comprehensive Plan and Zoning Ordinance and finds that the standards for a site plan and variance have been met with conditions. The staff report notes outstanding issues that must be addressed, and staff has included conditions in the attached resolutions to address these issues.

However, the Commission could find that the variance standards have not been met and recommend denial of one or more of the variances. Staff has included findings in the staff report for both approval and denial of the variances.

**5. Recommendation**

Staff recommends that the Planning Commission recommend approval of the following:

- a. Draft resolution approving the preliminary plat
- b. Draft resolution approving site plan and variances

**Attachments**

- 1. Draft Resolution approving the preliminary plat
- 2. Draft Resolution approving site plan and variances
- 3. Project description
- 4. Location map
- 5. Preliminary Plat dated September 16, 2022
- 6. Section and Elevation Plans dated August 18, 2022
- 7. Site Plans dated September 28, 2022
- 8. Civil and Landscape Plans dated September 28, 2022
- 9. Final Plat dated September 16, 2022
- 10. Public Safety Memo dated September 27, 2022

**RESOLUTION NO. 2022-XX**

**Motion By:**  
**Seconded By:**

**A RESOLUTION TO APPROVE A PRELIMINARY PLAT FOR “HOPE PLACE  
SECOND ADDITION” AT 19951 OSWALD FARM ROAD (PID 11-119-23-14-0004)  
(CITY FILE NO. 22-057)**

**WHEREAS**, the City of Corcoran and Hope Ministries International Inc. have requested approval of a preliminary plat to allow for the subdivision of the property legally described as:

*Lot 1, Block 2, HOPE PLACE, Hennepin County, Minnesota*

**WHEREAS**, the Planning Commission reviewed the submitted preliminary plat at a duly called Public Hearing, and;

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CIT OF CORCORAN, MINNESOTA**, that it should and hereby does approve the request for a preliminary plat, subject to the following conditions:

1. A preliminary plat is approved, in accordance with the plans received by the City on August 19, 2022, and additional materials received on September 6, 2022, September 19, 2022 September 27, 2022, and September 28, 2022, except as amended by this resolution.
2. The new lot being created for development will be for municipal services; therefore, park dedication is not required.
3. Park dedication will be required if Lot 1 is subdivided for development in the future.
4. When the vacant lot south of Lot 2 is developed, a new public street must be constructed to replace the proposed driveway.
5. Prior to issuance of building permits:
  - a. Lot monuments shall be installed as required by the Subdivision Ordinance.
  - b. Record the approving resolutions, mylar and all related documents at Hennepin County and provide proof of recording to the City.
6. Approval of the preliminary plat shall expire within one year of the date of approval unless the applicant has filed a complete application for approval of a final plat.



**RESOLUTION NO. 2022-XX**

**VOTING AYE**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

**VOTING NAY**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this XX<sup>th</sup> day of October 2022.

\_\_\_\_\_  
Tom McKee - Mayor

**ATTEST:**

\_\_\_\_\_  
Jessica Beise – City Administrator

*City Seal*

**RESOLUTION NO. 2022-XX**

**Motion By:**  
**Seconded By:**

**A RESOLUTION TO APPROVE A SITE PLAN AND VARIANCES FOR “HOPE PLACE SECOND ADDITION” AT 19951 OSWALD FARM ROAD (PID 11-119-23-14-0004) (CITY FILE NO. 22-057)**

**WHEREAS**, the City of Corcoran and Hope Ministries International Inc. have requested approval of a site plan and variances to allow for the development of a water tower on the property legally described as:

*Lot 1, Block 2, HOPE PLACE, Hennepin County, Minnesota*

**WHEREAS**, the Planning Commission reviewed the site plan and variances at a public meeting, and;

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CIT OF CORCORAN, MINNESOTA**, that it should and hereby does approve the request for a site plan and variances, subject to the following conditions:

1. Site plan and variances are approved to allow for the construction of a water tower as shown on the applicant and plans received by the City on August 19, 2022 and additional materials received on September 6, 2022, September 19, 2022 September 27, 2022, and September 28, 2022, except as amended by this resolution.
2. The approvals are granted for either the 750,000 gallon or 1,000,000 gallon capacity water tower option.
3. The applicant must comply with the Public Safety Plan review comments dated September 27, 2022.
4. The administrative permit required for essential services is approved, subject to the conditions in this resolution.
5. A 6-foot screening fence shall be built to enclose the electric transformer as required by the Northeast District Plan and Design Guidelines.
6. The variance to allow the 1.2-acre lot in the PI zoning district, where 15 acres is required for essential services is approved based on the following findings:
  - a. There are practical difficulties in complying the Zoning Ordinance. The proposed water tower lot is boxed in by the existing cemetery, church parking lot and a public right-of-way and could therefore not be expanded to meet the 15-acre requirement. It is appropriate to locate this type of public use in the PI zoning district. The lot size is appropriate for essential services

**RESOLUTION NO. 2022-XX**

and is consistent with the minimum lot size required in all other zoning districts. The PI district lot size is larger to accommodate planned institutional uses.

- b. The conditions are unique to the parcel and were not created by the landowner. As noted above, the proposed lot abuts a cemetery to the northwest, a church parking lot to the northeast and a public right-of-way to the south. Abutting these properties effectively restricts the size of the proposed lot.
  - c. Granting the variation will not alter the essential character of the locality. The PI district was created to provide municipal services to the general public, so a water tower is consistent with the purpose of the district. Siting the water tower on a smaller lot that is more in line with the needs for the operation of a water tower will not create any harmful effects to nearby properties nor alter the overall character of the area.
  - d. The proposed variance is in harmony with the general purposes and intent of the Ordinance. Section 1030.090 requires that parcels of land for essential services in Agricultural and Residential zoning districts be at least one acre in size. In all other districts, the minimum lot area is required to be at least 1.5 times the minimum lot area required in the zoning district. This is to account for districts where the minimum lot size is significantly smaller than one acre.  
  
The minimum lot size in PI districts is 10 acres in order to accommodate typical uses such as educational facilities and places of worship. This requirement does not reflect instances where essential services would be sited in a PI district, which need a much smaller area to operate from. The one-acre lot size requirement is more in line with the intent of the Ordinance.
  - e. The variance will enable the development of this facility which will support the existing and future development of the Northeast District. The Comprehensive Plan expects the City to develop its own municipal water supply to supplement projected future demands. Approval of the variance will allow the water tower to be built as identified in the Comprehensive Plan.
7. The variance to allow an overhead door visible from County Road 30 is approved based on the following findings:
- a. There are practical difficulties in complying with the Northeast District standard that no overhead doors shall be visible from County Roads. The water tower site is currently about 500 feet north of County Road 30 and is separated by Oswald Farm Road and a vacant parcel that is planned for future development. The water tower entrance must face south to be accessible from the driveway and to minimize disturbance to the adjacent



**RESOLUTION NO. 2022-XX**

cemetery and church. Moving the overhead door location would require additional paving to extend the driveway. The overhead door is necessary for the operation of the water tower and will be least impactful on neighboring uses in the current location. Additionally, once development on the vacant lot just south of the water tower site has occurred, the overhead door will not be visible from County Road 30.

- b. The conditions are unique to the parcel and the water tower use and were not created by the landowner but are results of the characteristics of the parcel of land available for a water tower. As noted above, the water tower abuts a cemetery to the northwest and faces County Road 30 to the south on the other side of vacant property.
  - c. Granting the variation will not alter the essential character of the locality. The overhead door will face the least intrusive direction, towards the public street and away from the church. The door will be buffered by landscaping proposed between the water tower and Oswald Farm Road. Moving the water tower door to the east or west would make the overhead door visible from County Road 116 or residential property. Turning the water tower to face would require additional paving for access and would face the existing cemetery and church.
  - d. The water tower is necessary to provide municipal water to support current and future development in northeast Corcoran. The proposed variance is in harmony with the general purposes and intent of the Ordinance. The overhead door is proposed to face south, which is less intrusive for the existing adjacent uses. The purpose of this design guideline was to prevent visible industrial equipment and overhead doors on properties abutting County Roads. The water tower site will be abutting a local road in keeping with the intent of the Ordinance.
  - e. The variance will enable the development of this facility which will support the existing and future development of the Northeast District. The Comprehensive Plan expects the City to develop its own municipal water supply to supplement projected future demands.
8. The variance to allow for a 37-foot drive aisle setback is approved based on the following findings:
- a. There are practical difficulties in complying with the City Code requirement that drive lanes be set back at least 50 feet from the front property line. The water tower is set back as far as possible while leaving enough room between it and the existing cemetery and church. The proposed location is 126 feet from the cemetery, 98 feet from the church parking lot and 200 feet from the church building.

**RESOLUTION NO. 2022-XX**

- b. The conditions are unique to the parcel and were not created by the landowner. As noted above, the water tower abuts a cemetery to the northwest and a church parking lot to the northeast. The location of these existing uses and a desire to keep separate from them restricts the placement of the water tower and the drive aisle to access it.
  - c. Granting the variance will not alter the essential character of the locality. The water tower is located so as not to disturb the existing cemetery, while still allowing space for a substantial drive aisle setback.
  - d. The water tower is also necessary to provide water utilities to support current and future development in northeast Corcoran. The proposed variance is in harmony with the general purposes and intent of the Ordinance. The drive aisle is needed to access the water tower and its location is the least intrusive option for the existing adjacent uses.
  - e. The variance will enable the development of this facility which will support the existing and future development of the Northeast District. The Comprehensive Plan expects the City to develop its own municipal water supply to supplement projected future demands.
9. A building permit is required prior to beginning construction.

FURTHER, that the following conditions must be met prior to issuance of building permits

- 10. Record the approving resolution and associated documents at Hennepin County and provide proof of recording to the City.
- 11. Approvals shall expire within one year of the date of approval unless the applicant commences the authorized use and completes the required improvements.
- 12. Facilities and equipment shall be removed within six months of becoming unnecessary or obsolete.

**RESOLUTION NO. 2022-XX**

**VOTING AYE**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

**VOTING NAY**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this XX<sup>th</sup> day of October 2022.

\_\_\_\_\_  
Tom McKee - Mayor

**ATTEST:**

\_\_\_\_\_  
Jessica Beise – City Administrator

*City Seal*



**Please attach a brief description of your project/reason for your request.**

We are requesting the preliminary and final plat approvals for the NE Corcoran Water Tower as well as a site plan review of the plan. The application includes the bid alternates for both a 750,000 gallon and 1,000,000 gallon option.

The facility is being designed and constructed on behalf of the City of Corcroan with the intention of being bid in the fall/winter of 2022 and being operational by the end of 2024.



# Hennepin County Property Map

Date: 9/27/2022



PARCEL ID: 1111923140004

OWNER NAME: Hope Ministries Interntl Inc

PARCEL ADDRESS: 19951 Oswald Farm Rd, Corcoran MN 55374

PARCEL AREA: 28.93 acres, 1,260,174 sq ft

A-T-B: Abstract

SALE PRICE:

SALE DATE:

SALE CODE:

ASSESSED 2021, PAYABLE 2022

PROPERTY TYPE: Farm

HOMESTEAD: Non-Homestead

MARKET VALUE: \$61,200

TAX TOTAL: \$655.48

ASSESSED 2022, PAYABLE 2023

PROPERTY TYPE: Farm

HOMESTEAD: Non-Homestead

MARKET VALUE: \$61,200

## Comments:

This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

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COUNTY 2022















































# HOPE PLACE SECOND ADDITION

R.T. DOC. NO. \_\_\_\_\_  
C.R. DOC. NO. \_\_\_\_\_

KNOW ALL PERSONS BY THESE PRESENTS: That Shady Oak Office Center LLC, a Minnesota limited liability company, owner of the following described property situated in the County of Hennepin, State of Minnesota to wit:

Lot 1, Block 2, HOPE PLACE, Hennepin County, Minnesota, according to the recorded plat thereof.

(Abstract property)

Has caused the same to be surveyed and platted as HOPE PLACE SECOND ADDITION and does hereby dedicate to the public for public use the drainage and utility easements as created by this plat.

In witness whereof said Hope Ministries International Inc. a Minnesota corporation, has caused these presents to be signed by its proper officer this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Signed: Hope Ministries International Inc.

By: \_\_\_\_\_ Its: President

STATE OF MINNESOTA  
COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ by \_\_\_\_\_, the President of Hope Ministries International Inc., a Minnesota corporation, on behalf of the company.

\_\_\_\_\_  
(Notary's Signature) (Notary's Name Printed)

Notary Public, \_\_\_\_\_ County, Minnesota

My Commission Expires: \_\_\_\_\_

## SURVEYOR CERTIFICATE

I Gary Bjorklund do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Gary Bjorklund, Licensed Land Surveyor  
Minnesota License No. 46563

STATE OF MINNESOTA  
COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me on this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by Gary Bjorklund.

\_\_\_\_\_  
(Notary's Signature) (Notary's Name Printed)

Notary Public, \_\_\_\_\_ County, Minnesota

My Commission Expires: \_\_\_\_\_

## CITY COUNCIL, CITY OF MINNETONKA, MINNESOTA

This plat of HOPE PLACE SECOND ADDITION was approved and accepted by the City Council of the City of Corcoran, Minnesota at a regular meeting thereof held this \_\_\_\_ day of \_\_\_\_\_, 2022, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

City Council, City of Corcoran, Minnesota

By: \_\_\_\_\_ By: \_\_\_\_\_  
Mayor Clerk

## RESIDENT AND REAL ESTATE SERVICES, Hennepin County, Minnesota

I hereby certify that taxes payable in 20\_\_\_\_ and prior years have been paid for land described on this plat, dated this \_\_\_\_ day of \_\_\_\_\_, 2022.

Mark V. Chapin, County Auditor By \_\_\_\_\_ Deputy

## SURVEY DIVISION, Hennepin County, Minnesota

Pursuant to MN. STAT. Sec. 383B.565 (1969) this plat has been approved this \_\_\_\_ day of \_\_\_\_\_, 2022.

Chris F. Mavis, County Surveyor By \_\_\_\_\_

## COUNTY RECORDER, Hennepin County, Minnesota

I hereby certify that the within plat of HOPE PLACE SECOND ADDITION was recorded in this office this \_\_\_\_ day of \_\_\_\_\_, 2022, at \_\_\_\_ o'clock \_\_\_\_M.

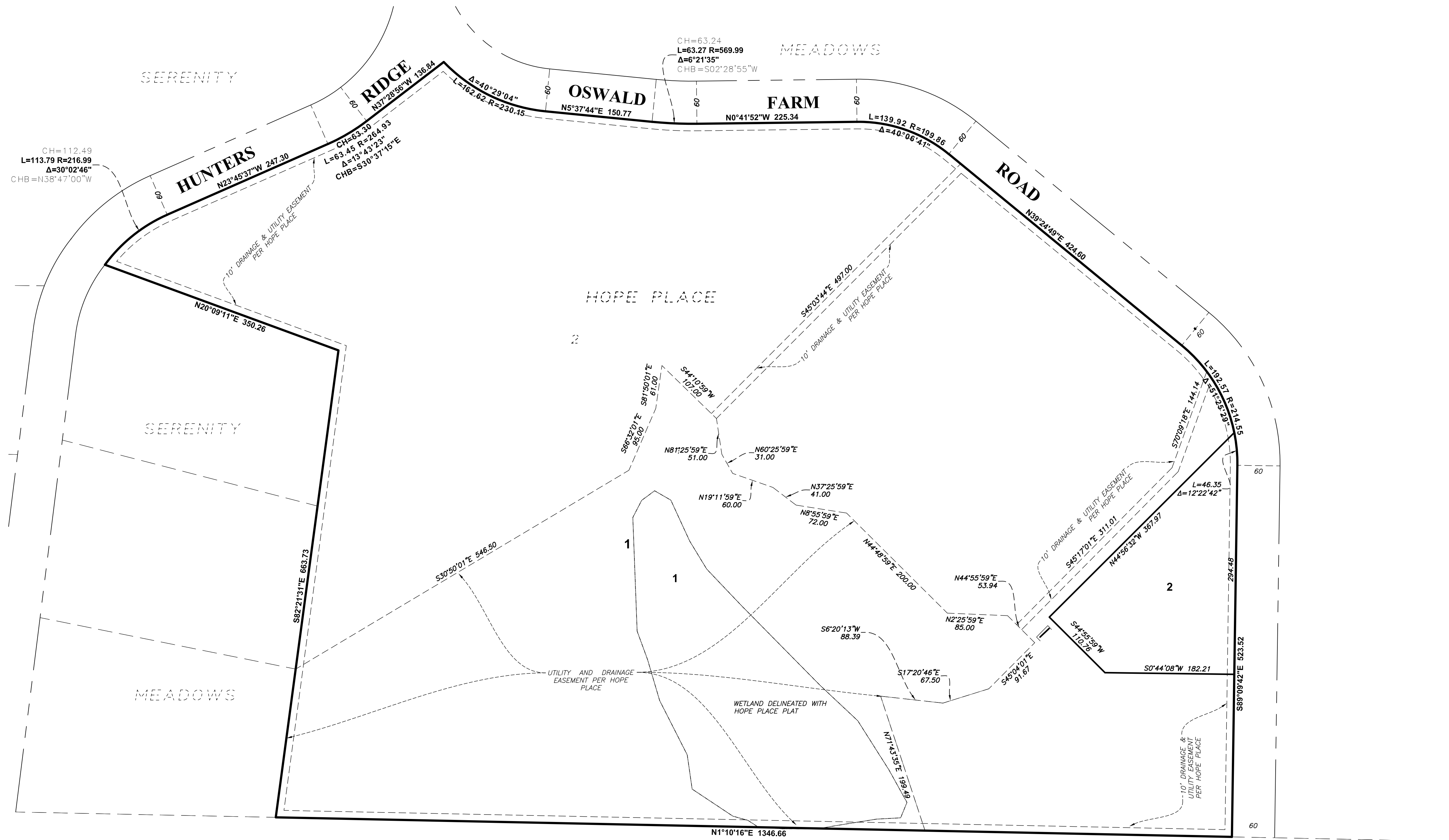
Amber Bougie, County Recorder By \_\_\_\_\_ Deputy





# HOPE PLACE SECOND ADDITION

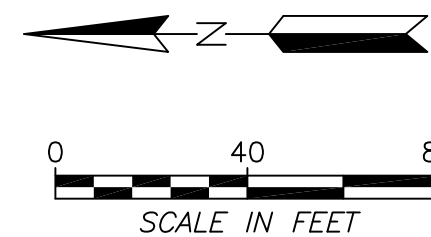
C.R. DOC. NO. \_\_\_\_\_



W 1/2 OF NE 1/4 SECTION 11, TWP 119, RGE 23

**LEGEND**

- SET 3/4 INCH O.D. x 15 INCH IRON PIPE WITH PLASTIC CAP MARKED 46563
- FOUND MONUMENT AS DESCRIBED



BEARINGS ARE BASED ON THE WEST LINE OF LOT 1, BLOCK 2, OF HOPE PLACE WHICH IS ASSUMED TO BEAR N01°10'16\"/>





## CITY OF CORCORAN

8200 County Road 116, Corcoran, MN 55340

763.420.2288

E-mail - [general@ci.corcoran.mn.us](mailto:general@ci.corcoran.mn.us) / Web Site - [www.corcoranmn.gov](http://www.corcoranmn.gov)

# Memo

**To:** Planning (Planners Lindahl and Davis McKeown)  
**From:** Lieutenant Burns  
**Date:** September 27, 2022  
**Re:** City File 22-057 Water Tower  
Preliminary Plat & Site Plan

---

A Public Safety plan review meeting was held on September 7, 2022. In attendance were: Lieutenant Ryan Burns, Police Chief Gottschalk, Planner Davis McKeown, Fire Chief Feist, Fire Chief Leuer, Building Official Geske, and Construction Services Specialist Pritchard. The comments below are based on the concept plans received by the City on August 31, 2022 and are intended as initial feedback as further plan review will need to be completed as construction plans are available.

1. If the parking stalls will be delineated, the parking lot must still satisfy the hammerhead specifications.
2. A fire hydrant should be located on the south side of the cul-de-sac entrance to the site.
3. No parking signs should be located along the entrance road.
4. If this site will not be located, "no trespassing" signs should be installed.
5. The tower must meet the same specifications as the City's emergency outdoor warning points for wireless network connection.

# STAFF REPORT

# Agenda Item 6e.

<b>Planning Commission Meeting:</b> October 6, 2022	<b>Prepared By:</b> Natalie Davis McKeown
<b>Topic:</b> Northeast District Plan Zoning Ordinance Amendment (City File No. 22-060)	<b>Action Required:</b> Recommendation

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**Review Deadline:** N/A

## 1. Request

City staff recommends approval of a zoning ordinance amendment to the Northeast District Plan and Design Guidelines (Appendix C of the Zoning Ordinance).

## 2. Background

The Northeast District Plan was adopted on May 26, 2022. Since adoption of the plan, the City processed a site plan application for a water treatment plant located at 10120 County Road 116, and a preliminary plat and site plan application for a water tower at 19951 Oswald Farm Road is also under review. Both sites required variances to the new district standards for these essential services. Staff recommends the zoning amendment to address these issues.

## 3. Analysis

### Overhead Doors

The screening requirements within the Northeast District Plan includes the following language (page 13):

*No loading docks or overhead doors shall be visible from County Roads or residential property.*

Staff believes this requirement is doable and makes sense for large properties guided for industrial, business park, and mixed-use as these parcels will have space to orient overhead doors internally. However, smaller sites along County Roads will likely need to request a variance from this requirement.

Our water treatment plant is located on a relatively small piece of land along CR 116 and is surrounded by residential property. So, there was no way to orient the building that wouldn't result in the overhead door being visible from the County Road or the residential properties.

The water tower site is a 1.2-acre site surrounded by property developed as Hope Community Church and vacant land planned for mixed use development. The overhead



door is a necessary part of the facility and cannot be oriented away from the street without sacrificing the functionality required by Public Works.

The standard for required screening elsewhere within the Zoning Ordinance is a year-round opacity of 80% with the use of plantings, fences or walls, and berms depending on the topography. Staff recommends including this as an option to allow as an alternative where it can be shown that it isn't feasible to orient the loading docks and overhead doors away from County Roads and residential property. However, the intent of the new language is to allow a screening alternative only when staff and the City find that the overhead doors cannot be reasonably reoriented.

Staff recommends the language be modified to read as follows:

*Loading docks or overhead doors shall be oriented away from County Roads or residential property wherever reasonable, as determined by the City. If not reasonable and the loading docks or overhead doors are visible from County Roads or residential property, they shall be screened to 80% opacity year-round consistent with Section 1060.070 Subd. 2(J) of the City Code.*

#### Required Screening Fence

The second proposed amendment is to address the following clause:

*Utility service structures (such as utility meters, utility lines, transformers, aboveground tanks); refuse and recycling handling, loading docks; maintenance structures; and other ancillary equipment must be inside a building or be entirely screened from off-site view utilizing a privacy fence or wall that is at least six feet in height. A chain link fence with slats shall not be accepted as screening.*

The requirement for ancillary equipment to be screened by a privacy fence or wall of at least 6 feet tall felt excessive when we evaluated plans for the City's water treatment plant. There is a 6-foot-tall generator that will be located outside the building. Easy access to the generator is necessary. However, the requested variance was denied by Council and a wall or fence will be required to be constructed to enclose the generator. Similarly, a fence will be required to screen a 3-foot-tall transformer at the water tower site. A 6-foot fence or wall will likely draw more attention than a 3-foot generator screened with landscaping as an alternative.

Staff recommends modifying this standard to allow for landscaping to also be used for the required screening, which is consistent with standards elsewhere within our code. Our code specifically states that vegetation is the preferred method of screening, so this standard appears inconsistent without a correction. Staff believes it was an oversight on our part to not include vegetation as an acceptable method of screening and would like to correct it.

Section 1060.060 of the Zoning Ordinance requires more comprehensive loading dock screening than the Northeast District standards. Specifically, this Section states the following:

*Loading areas established after March 23, 2004 shall be prohibited within 300 feet of residentially zoned or guided property unless completely screened by an intervening building. Loading areas not requiring screening by an intervening building shall be screened from adjacent residentially zoned or guided property by the use of berms, fences, or walls to provide 100 percent opacity to a height of at least 10 feet. The height of the screening shall be measured from the grade of the loading areas.*

We recommend referencing and relying on the above standard within the Northeast District Design Guidelines.

The suggested language for the revision is as follows:

*All ground mounted mechanical equipment shall be screened from off-site views utilizing landscaping, a privacy fence or a wall at the same height as the equipment it is screening or six feet, whichever is less. When the equipment exceeds six feet in height coniferous trees must be used to provide screening.*

*Loading areas must be screened as required by Section 1060.060, Subd. 3(B)(9). Utility service structures must be screened from off-site views utilizing a double row of landscaping, a privacy fence or a wall that is at the same height as the structure it is screening or six feet, whichever is less to screen from off-site views. A chain-link fence with slats shall not be accepted as screening.*

#### Additional Verbiage Change

In addition to the above changes, staff recommends changing the use of “a full complement of” within the second paragraph of the landscape standards section to “a mix of.” This change is based on feedback as to how this could be interpreted, and the updated verbiage clarifies the section’s intent to allow different mixes of plantings but not necessarily require plants from each category of landscaping.

#### **4. Next Steps**

Following a recommendation from the Planning Commission, the zoning ordinance amendment will be presented to the City Council at the October 27<sup>th</sup> meeting.

#### **5. Recommendation**

Staff recommends approval of the following:

- a. Ordinance 2022-XX amending the Northeast District Plan and Design Guidelines (Appendix C of the Zoning Ordinance)

- b. Resolution 2022-xx approving findings of fact

**Attachments**

1. Draft Ordinance 2022-XX amending the Northeast District Plan
2. Draft Resolution 2022-XX with Findings of Fact



# ORDINANCE NO. 2022-XX

Motion By:  
Seconded By:

## CITY OF CORCORAN

### AN ORDINANCE AMENDING THE TEXT OF CHAPTER 10 (THE ZONING ORDINANCE) OF THE CORCORAN CITY CODE (CITY FILE 22-060)

#### THE CITY OF CORCORAN ORDAINS:

**SECTION 1.** Amendment of the City Code. The text of Title 10 (Zoning Ordinance), Appendix C (Northeast District Plan and Design Guidelines) of the Corcoran City Code is hereby amended by removing the existing ~~striketrough~~ text adding the new underlined text as follows:

#### Screening

In addition to the standards in Section 1060.030, the additional standards in this section are intended to preserve the rural character of Corcoran while allowing new development to bring jobs and homes to the community.

~~No loading docks or overhead doors shall be visible from County Roads or residential property. Loading docks or overhead doors shall be oriented away from County Roads or residential property wherever reasonable, as determined by the City. If not reasonable and the loading docks or overhead doors are visible from County Roads or residential property, they shall be screened to 80% opacity year-round consistent with Section 1060.070 Subd. 2(J) of the City Code.~~

The visual impact of rooftop equipment shall be minimized using one of the following methods:

1. A parapet wall.
2. A fence the height of which extends at least one foot above the top of the rooftop equipment and incorporates the architectural features of the building.
3. The rooftop equipment shall be painted to match the roof or the sky, whichever is most effective.

~~All ground mounted mechanical equipment shall be screened from off-site views utilizing landscaping, a privacy fence or a wall at the same height as the equipment it is screening.~~

~~Utility service structures (such as utility meters, utility lines, transformers, aboveground tanks); refuse and recycling handling; loading docks; maintenance structures; and other ancillary equipment must be inside a building or Loading areas must be screened as required by Section 1060.060 Subd. 3.B.9. Utility service structures must be entirely screened from off-site views utilizing a double row of landscaping, a privacy fence or a wall that is at least six feet in height at the same height as the structure it is screening or six feet, whichever is less to screen from off-site views.~~ A chain link fence with slats shall not be accepted as screening.

All utility services shall be underground except as provided in Section 1060 of the Zoning Ordinance.

## Landscape Standards

Site design and landscaping should be designed to work with the existing topography of the area, wooded areas, wetlands and natural viewsheds and corridors. Sustainability, in terms of the landscape, is the ability of plant species to maintain healthy growth with minimal human assistance. Selecting plants suited for a specific condition is key to their sustainability over time. Benefits of utilizing sustainable plant species include less time spent towards maintenance, less maintenance costs, and positive contributions to the larger environment and its ability to perpetuate itself.

Development landscaping shall include a ~~full complement~~ mix of overstory, ornamental and evergreen trees, shrubbery and ground covers which are hardy and appropriate for the locations in which they are planted and provide year-long color and interest. Development in the Northeast District shall select from the following list of preferred trees and shrubs that suit unique conditions and environments found in Corcoran. The following plant materials shall be used in the Northeast District:

**SECTION 2. Effective Date.** This Ordinance shall be in full force and effect upon its passage.

**ADOPTED** by the City Council on the xx<sup>th</sup> day of October 2022.

### VOTING AYE

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

### VOTING NAY

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

---

Tom McKee - Mayor

**ATTEST:**

---

Jessica Beise – City Administrator

*City Seal*

**RESOLUTION NO. 2022-XX**

**Motion By:**  
**Seconded By:**

**A RESOLUTION APPROVING FINDINGS OF FACT FOR AN ORDINANCE AMENDING THE TEXT OF TITLE 10 (ZONING ORDINANCE), APPENDIX C (NORTHEAST DISTRICT PLAN AND DESIGN GUIDELINES) OF THE CORCORAN CITY CODE (CITY FILE 22-060)**

WHEREAS, staff prepared an ordinance amendment to revise the screening and landscape requirements in Appendix C of the Zoning Ordinance; and

WHEREAS, the amendment is consistent with the 2040 Comprehensive Plan; and

WHEREAS, the amendment is consistent with other City Code standards and City policies; and

WHEREAS, the Planning Commission reviewed the proposed text amendment at a duly called Public Hearing and recommends approval;

NOW, THEREFORE, BE IT HEREBY RESOLVED BY THE CITY COUNCIL OF THE CITY OF CORCORAN, MINNESOTA, that it should and hereby does approve the amendment based upon the finding that:

1. The proposed amendment is consistent with State law, the City's Comprehensive Plan, and other provisions of the City Code.
2. The proposed amendment is consistent with the screening standards in other sections of the City Code, which state that landscaping is the preferred method of screening.
3. The proposed amendment allows flexibility in design for small lots and essential services while still meeting the City's screening goals in the Northeast District.



**RESOLUTION NO. 2022-XX**

**VOTING AYE**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

**VOTING NAY**

- McKee, Tom
- Bottema, Jon
- Nichols, Jeremy
- Schultz, Alan
- Vehrenkamp, Dean

Whereupon, said Resolution is hereby declared adopted on this 27<sup>th</sup> day of October 2022.

\_\_\_\_\_  
Tom McKee - Mayor

ATTEST:

\_\_\_\_\_  
Jessica Beise – City Administrator

*City Seal*



# CITY OF CORCORAN

8200 County Road 116, Corcoran, MN 55340  
763-420-2288

email: [general@corcoranmn.gov](mailto:general@corcoranmn.gov) / website: [www.corcoranmn.gov](http://www.corcoranmn.gov)

## MEMO

Meeting Date: September 22, 2022

To: City Council

From: Natalie Davis McKeown, Planner

Re: Active Corcoran Planning Applications

---

The following is a status summary of active planning projects:

1. **Lots, Fences, and Walls ZOA (City File No. 22-033)**. Staff received direction at the June 9<sup>th</sup> Council meeting on potential solutions for additional fence flexibility within front yards as well as identifying a primary front yard for lots with multiple frontages. The City Council reviewed a draft ordinance at the August 11<sup>th</sup> meeting and directed staff to limit the focus of the amendment to reduce the setback for fences to 25'. This item was identified as a Top 4 priority for staff to focus efforts in 2022 and was scheduled for a public hearing at the September 1<sup>st</sup> Planning Commission meeting. *The Commission forwarded a recommendation to approve with some changes to the proposed amendment. The City Council is expected to make a final decision at the September 22<sup>nd</sup> meeting.*
2. **Transition/Buffer Zones ZOA (City File 22-034)**. At the July 14<sup>th</sup> City Council confirmed, this item was confirmed as a Top 4 priority for staff to focus efforts on in the remainder of 2022. Staff is working on preparing a draft based on feedback provided at the May 12<sup>th</sup> work session. The draft is tentatively scheduled to go back in front of City Council in October before being sent to the Planning Commission for a public hearing.
3. **MS4 Update (City File 22-035)**. Public Works is working on a code update to incorporate new MS4 requirements. The proposed verbiage is tentatively scheduled for City Council review and action at the October 13<sup>th</sup> regular meeting. A public hearing is not required.
4. **Walcott Glen Final Plat and PUD (PIDs 36-119-23-44-0013, 36-119-23-44-0009, 36-119-23-44-0008, 36-119-23-44-0010, 36-119-23-44-0014, 36-119-23-44-0031, 36-119-23-44-0024, 36-119-23-44-0033, and 36-119-23-c44-0030) (City File No. 22-036)**. Pulte submitted an application for the final plat and PUD plan for Walcott Glen. *The City Council approved the final plat and PUD plan at the August 25<sup>th</sup> meeting.*
5. **Vollrath Ag Shop CUP (PID 20-119-23-22-0003) (City File No. 22-038)**. Trent Vollrath submitted an application for a conditional use permit to allow an agricultural building as the primary structure on an otherwise vacant lot that is actively farmed. The application was deemed incomplete and is not currently scheduled for review by the Planning Commission or

City Council.

6. **Pioneer Trail Industrial Park, Rezoning and Preliminary Plat and PUD (PID 32-119-23-34-0013, 32-119-23-34-0007, 32-119-23-43-0005 and 32-119-23-43-0006) (City File No. 22-039)**. An application was submitted to move forward with the preliminary approvals for the Pioneer Trail Industrial Park off Highway 55. The item is still incomplete as of this memo, but their expected to finalize their submittal by August 1<sup>st</sup>. *This item is still incomplete and is not yet scheduled for a public hearing with the Planning Commission.*
7. **Wright Hennepin Energy Final Plat (PID 25-119-23-23-0001) (City File No. 22-041)**. WHE submitted their final plat application. *Final approvals were granted at the August 11<sup>th</sup> Council meeting.*
8. **Corcoran Farms Business Park Rezoning and Preliminary Plat and PUD at 20130 Larkin Road (PID 26-119-23-13-0006) (City File No. 22-044)**. The City received a second industrial PUD application. *This item is scheduled for a public hearing with the Planning Commission on October 6<sup>th</sup>.*
9. **PUD Standards ZOA (City File No. 22-045)**. At their July 14<sup>th</sup> meeting, the City Council identified updating the PUD ordinance as a Top 4 priority for staff to focus efforts on in the remainder of 2022. The Council held a work session on July 28<sup>th</sup> to establish further direction on the desired updates to the PUD ordinance. Staff will take this feedback to establish a first draft for further review by the Council at an upcoming meeting. *Review of the first draft is tentatively scheduled for October 27<sup>th</sup>.*
10. **Rental Ordinance (City File No. 22-046)**. At their July 14<sup>th</sup> meeting, the City Council identified establishing a rental ordinance as a Top 4 priority for staff to focus efforts on in the remainder of 2022. *Staff prepared a first draft of a rental ordinance to be discussed at the September 22<sup>nd</sup> work session.*
11. **Brown Riding Arena CUP (PID 05-119-23-13-0008) (City File No. 22-047)**. An application was submitted to allow a horse-riding arena on a ten-acre parcel as the structure, in conjunction with the necessary horse barn, will be in excess of the accessory structure footprint permitted by right. *The public hearing was held by the Planning Commission on September 1<sup>st</sup>, and the Commission unanimously recommended approval of the CUP. Council is expected to take final action at the September 22<sup>nd</sup> meeting.*
12. **Pro-Tech Site Plan, CUP, and Variance (PID 26-119-23-11-0020) (City File No. 22-048)**. An application was submitted to move forward with the site plan, two CUPs, and three variances for an expansion of Pro-Tech Auto. *The public hearing was held at the September 1<sup>st</sup> Planning Commission meeting, and all but one variance was recommended for approval. The Council is expected to make a final decision at the September 22<sup>nd</sup> meeting.*
13. **O'Brien Sketch Plan (PID 32-119-23-44-0003) (City File No. 22-049)**. A sketch plan application was submitted for corporate offices of Crystal Distribution Inc (CDI) spanning 15,000 square feet at 22320 Highway 55. The item was reviewed by Council at the August 25<sup>th</sup> Council meeting.
14. **Water Treatment Plan Site Plan and Variances (PID 12-119-23-22-0010) (City File No. 22-052)**. A site plan application was submitted by Stantec to move forward with the site for the City's water treatment plant located at 10120 County Road 116 in the Northeast District. *The submitted site plan would require three variances related to screening and an accessory structure within the front yard. The item was reviewed by the Planning Commission on September 1<sup>st</sup> with a recommendation to approve the application except for one of the proposed screening-related variances. The City Council is expected to take final action at the September 22<sup>nd</sup> meeting.*



15. **St. Therese Site Plan Amendment (PID 24-119-23-23-0001) (City File No. 22-053).** St. Therese submitted a request to modify their building plan. These changes will allow for the Skilled Nursing portion of the project to be added as a future phase and will expand the Memory Care component from 17 units to 20 units. *Additionally, the changes request allowance of a pitched roof. The change involves less than 10% of the total existing site area and qualifies as a minor change that will be approved administratively. Council will be provided the updated plans within an informational staff report anticipated for the October 27<sup>th</sup> meeting.*
16. **Slabaugh Variance (PID 10-119-23-21-0014) (City File No. 22-054).** Gideon and Heather Slabaugh submitted a variance request to allow a covered porch to encroach within the front setback of their property at 9925 Ebert Road. *This item is scheduled for Planning Commission review at the October 6<sup>th</sup> meeting and City Council review at the October 27<sup>th</sup> meeting.*
17. **Tharp Accessory Structure CUP (PID 11-119-23-31-0011) (City File No. 22-055).** Shawn Tharp applied to allow for an accessory structure that will exceed a footprint of 3,969 square feet. The structure would be located at 20420 Duffney Circle which is over 10 acres in size, so the property owner can exceed the allowable footprint through a CUP. *This item is scheduled for a public hearing at the October 6<sup>th</sup> Planning Commission meeting with a final decision expected at the October 27<sup>th</sup> Council meeting.*
18. **Bellwether Drainage and Utility Easement Vacations (City File No. 22-056).** Pulte submitted a request to vacate several easements previously established over various outlots in Bellwether and Bellwether 6<sup>th</sup>. These outlots are being re-platted as a part of Amberly 2<sup>nd</sup>, Bellwether 8<sup>th</sup>, and Bellwether 9<sup>th</sup>. New easements are to be deeded with these new subdivisions. *A public hearing was held at the September 8<sup>th</sup> City Council meeting, and the vacation requests were approved by Council.*
19. **Water Tower Preliminary Plat & Site Plan (PID 11-119-23-14-0004) (City File No. 22-057).** *An application to move forward with the water tower at 19951 Oswald Farm Road was submitted. Staff is reviewing the application, and it is likely a variance will be needed for the submitted plans. This item is scheduled for a public hearing at the October 6<sup>th</sup> Planning Commission meeting with Council review anticipated at the October 27<sup>th</sup> meeting.*
20. **Kariniemi Meadows Final Plat (PID 18-119-23-11-0002) (City File No. 22-059).** *An application for the final plat of Kariniemi Meadows was received by the City. The item is currently under review for completeness. If deemed complete, the earliest this item would be reviewed is the October 27<sup>th</sup> Council meeting.*